



VARIANCE

Application submittals must include all documents on the checklist as well as this page. Please use the reference guide (pg. 2) included in this packet for more information on each submittal item.

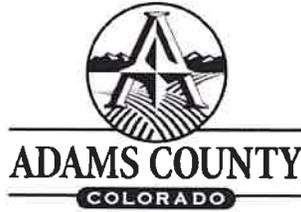
All applications shall be submitted electronically to epermitcenter@adcogov.org. If the submittal is too large to email as an attachment, the application may be sent as an unlocked OneDrive link. Alternatively, the application may be delivered on a flash drive to the One-Stop Customer Service Center. All documents should be combined in a single PDF. Once a complete application has been received, fees will be invoiced and payable online at <https://permits.adcogov.org/CitizenAccess/>.

- 1. Development Application Form (pg. 3)
- 2. Application Fees (see table below)
- 3. Number of variance requests:

Variance Request:	# of Requests:
Setback	9'-0" Rear Setback Encroachment
Height	N/A
Lot Coverage	N/A
Other:	N/A

- 4. Written Narrative of the Request and Hardship Statement (pg. 5)
- 5. Site Plan Showing Proposed Development/Variance, including:
 - Proposed Building Dimensions, Location, and Setbacks
 - Location of Well
 - Location of Septic Field
 - Location of Easements
- 6. Proof of Ownership (warranty deed or title policy)
- 7. Proof of Water and Sewer Services
- 8. Legal Description
- 9. Certificate of Taxes Paid
- 10. Certificate of Notice to Mineral Estate Owner/and Lessees (pg.6)
- 11. Certificate of Surface Development (pg. 7)

Application Fees:	Amount:	Due:
Variance	\$500-residential \$700-non-residential *\$100 per additional request	After complete application received
Tri-County Health	\$150 (TCHD Level 1)	After complete application received



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DEVELOPMENT APPLICATION FORM

Application Type:

<input type="checkbox"/> Conceptual Review	<input type="checkbox"/> Preliminary PUD	<input type="checkbox"/> Temporary Use
<input type="checkbox"/> Subdivision, Preliminary	<input type="checkbox"/> Final PUD	<input checked="" type="checkbox"/> Variance
<input type="checkbox"/> Subdivision, Final	<input type="checkbox"/> Rezone	<input type="checkbox"/> Conditional Use
<input type="checkbox"/> Plat Correction/ Vacation	<input type="checkbox"/> Special Use	<input type="checkbox"/> Other: _____

PROJECT NAME:

APPLICANT

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

OWNER

Name(s): Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

TECHNICAL REPRESENTATIVE (Consultant, Engineer, Surveyor, Architect, etc.)

Name: Phone #:

Address:

City, State, Zip:

2nd Phone #: Email:

DESCRIPTION OF SITE

Address: 56841 E COLFAX AVE

City, State, Zip: Strasburg, CO 80103

Area (acres or square feet): 0.2200 (9,583.20)

Tax Assessor Parcel Number: 0181333423006

Existing Zoning: C-5

Existing Land Use: Office

Proposed Land Use: Restaurant

Have you attended a Conceptual Review? YES NO

If Yes, please list PRE#:

I hereby certify that I am making this application as owner of the above described property or acting under the authority of the owner (attached authorization, if not owner). I am familiar with all pertinent requirements, procedures, and fees of the County. I understand that the Application Review Fee is non-refundable. All statements made on this form and additional application materials are true to the best of my knowledge and belief.

Name: Jorge Eguiarte Date: 04-18-2023

Owner's Printed Name

Name: 

Owner's Signature

HARDSHIP STATEMENT

Using the following hardship criteria for granting a variance, please provide an explanation of how the criteria have been satisfied (see Section Section 2-02-21-06 of the Adams County Development Standards and Regulations for the full text of the criteria). Please feel free to attach your statements using a separate piece of paper.

1. There exists special physical requirements or circumstances of the subject property such as irregularity, narrowness, shallowness, or slope.

Existing building is not set to a 90 degree angle and gets narrowed on the east side.

2. Because of these physical circumstances, the strict application of the code would deprive the applicant of rights commonly enjoyed by other properties in the same district.

Yes.

3. Granting the variance will not confer on the applicant any special privilege.

No.

4. Due to the physical circumstances or conditions, the property cannot be developed in conformity with the regulations.

Yes. It's a building originally from the 1950's

5. The special circumstances or hardship is not self-imposed.

NO.

6. That the variance, if granted, will be in harmony with the general purpose and intent of the Adams County regulations and with the Adams County Comprehensive Plan.

Yes.

7. That the variance, if granted, will not cause substantial detriment to the public good or impair the intent of these standards and regulations.

NO.

8. That the variance, if granted, would not allow a use which is not otherwise permitted in the zone district in which the property is located, would not result in the extension of a non-conforming use, or would change the zone classification on the property.

NO and this is not a non-conforming use of change of zoning.

April 18, 2023

Adams County Community & Economic
Development Department.
Building Permit Number # BDP22-1981
Little Mario's Mexican Food
56841 E. Colfax Ave.
Strasburg, CO 80103

To Whom It May Concern,

I am the project manager from EG Studio, LLC. I am in charge of all the building permit due-diligence for the new east building addition, tenant finish, new kitchen, and rear setback encroachment variance for the Little Mario's Mexican Food restaurant project. I'm also acting on behalf of the property and business owners.

This is a formal request of a variance for a 9'-0" rear setback encroachment. The need for this encroachment is due to the original build from the 1950's having been set on the north side of the property, right in the middle. As a result, the addition can only be constructed on the east side with the minimum square footage footprint needed for the adequate operation of the restaurant business, thereby resulting in a 9'-0" encroachment of the rear set back.

This encroachment variance, if granted, will not cause substantial detriment to the public good or impair the intent of these standards and regulations. On the contrary, the creation of this new restaurant will help in the renovation and beautification of that section of East Colfax Ave. that has been blighted for some time now.

Please see attached:

Land Survey Plat.

Site Plan.

Photo of Existing Building and Conceptual Rendering of the New Restaurant Building.

Please let me know if you have any questions.

Sincerely,



Jorge Eguiarte
Project Manager
EG Studio, LLC
863 Santa Fe Dr.
Denver, CO 80204
jorge@egsfa.com
720-232-5975

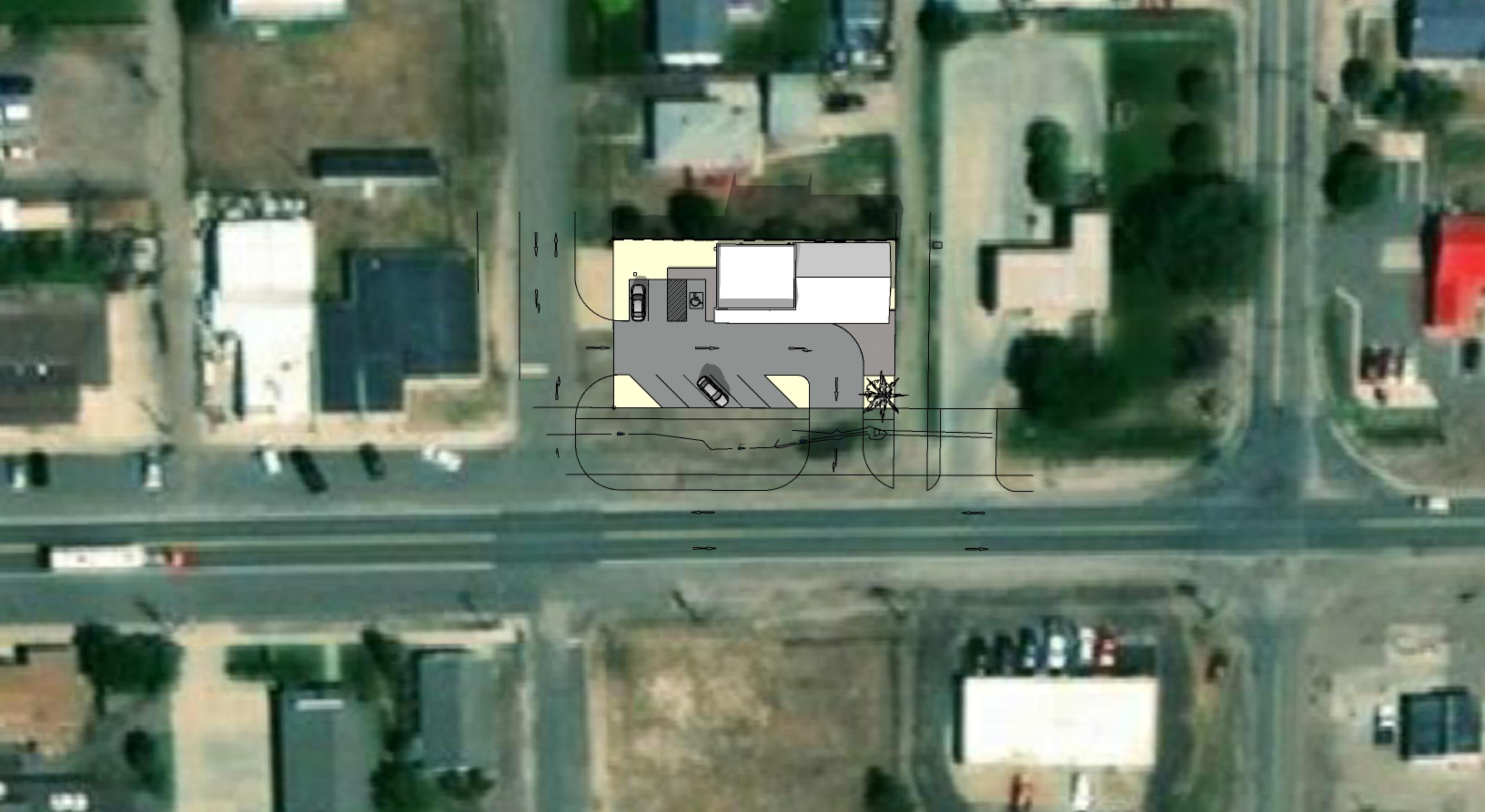


Cottex Ave

QUESTA

BRICK BUILDING







Little Mario's Mexican Food

Little Mario's Mexican Food

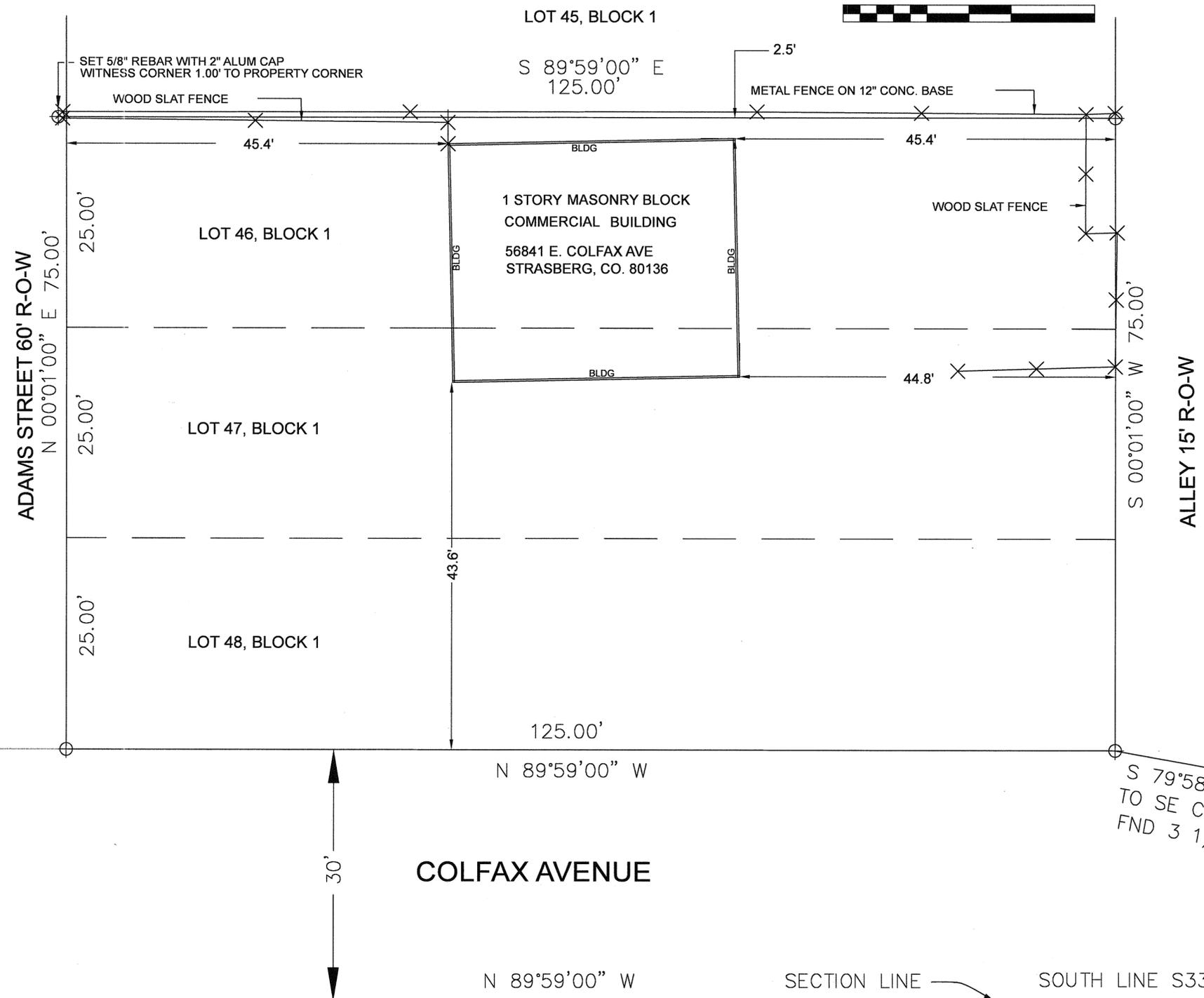
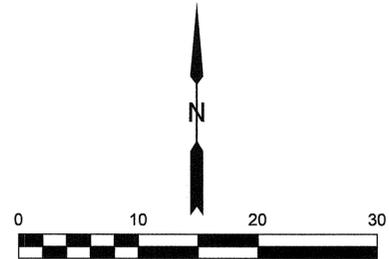




Little Mario's Mexican Food

LAND SURVEY PLAT

A TRACT OF LAND LOCATED IN THE
SOUTHEAST CORNER OF SECTION 33,
TOWNSHIP 3 SOUTH, RANGE 67 WEST
OF THE 6TH P.M.



LEGAL DESCRIPTION-LOTS 46,47 & 48 BLOCK 1
GRANDVIEW ADDITION TO STRASBERG
COUNTY OF ADAMS, STATE OF COLORADO

BASIS OF BEARING N 89°59'00" W

PLAT RECORD BEARING BETWEEN FOUND REBARS WITH YELLOW PLASTIC CAPS MARKED "RM BAYER & ASSOC. PLS 6973 AT LOTS 32/33 BLOCK 1

NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON DEFECT IN THIS SURVEY WITHIN 3 YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN 10 YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

THIS PLAT IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE WITHIN THE STATE OF COLORADO.

THIS PLAT IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

THE LINEAL UNIT USED AND SHOWN HEREON IS U.S. SURVEY FOOT.

EXCEPT AS SHOWN OR SPECIFICALLY STATED, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF MAKING THIS SURVEY, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING OR OTHER LAND USE REGULATIONS, OR ANY OTHER FACTS.

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY MORNINGSTAR SURVEYING, LLC OF THE PROPERTY SHOWN AND DESCRIBED HEREON TO DETERMINE OWNERSHIP, MINERAL INTEREST OWNERSHIP, COMPATIBILITY OF THIS DESCRIPTION WITH THOSE OF ADJACENT TRACTS OF LAND OR RIGHT-OF-WAYS, DEDICATIONS, EASEMENTS OR ENCUMBRANCES OF RECORD AFFECTING THIS TRACT OF LAND.

CERTIFICATE OF SURVEY:

I, W. WARD EICHER, A PROFESSIONAL LAND SURVEYOR, REGISTERED IN THE STATE OF COLORADO, HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON WAS MADE BY ME OR UNDER MY DIRECTION AND IS SHOWN TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.



W. WARD EICHER
COLORADO PLS #32435

COUNTY SURVEYOR'S CERTIFICATE:

DEPOSITED THIS ___ DAY OF ___ 20__ AT ___, IN BOOK ___ OF THE COUNTY SURVEYORS LAND SURVEY PLATS/RIGHTS-OF-WAY SURVEYS AT PAGE ___.

LAND SURVEY PLAT COMPLIES WITH SECTION 38-51-106, COLORADO REVISED STATUTES.

COUNTY SURVEYOR

⊕ SET 5/8" REBAR WITH PLASTIC CAP
STAMPED MSTAR PLS 32435

S 79°58'31" E 172.63'
TO SE COR S33 T3S R67W
FND 3 1/4" ALUM. CAP IN RANGE BOX

MORNINGSTAR SURVEYING, LLC.
1120 COUNTRY ACRES DR.
JOHNSTOWN, CO. 80534
970-691-6580

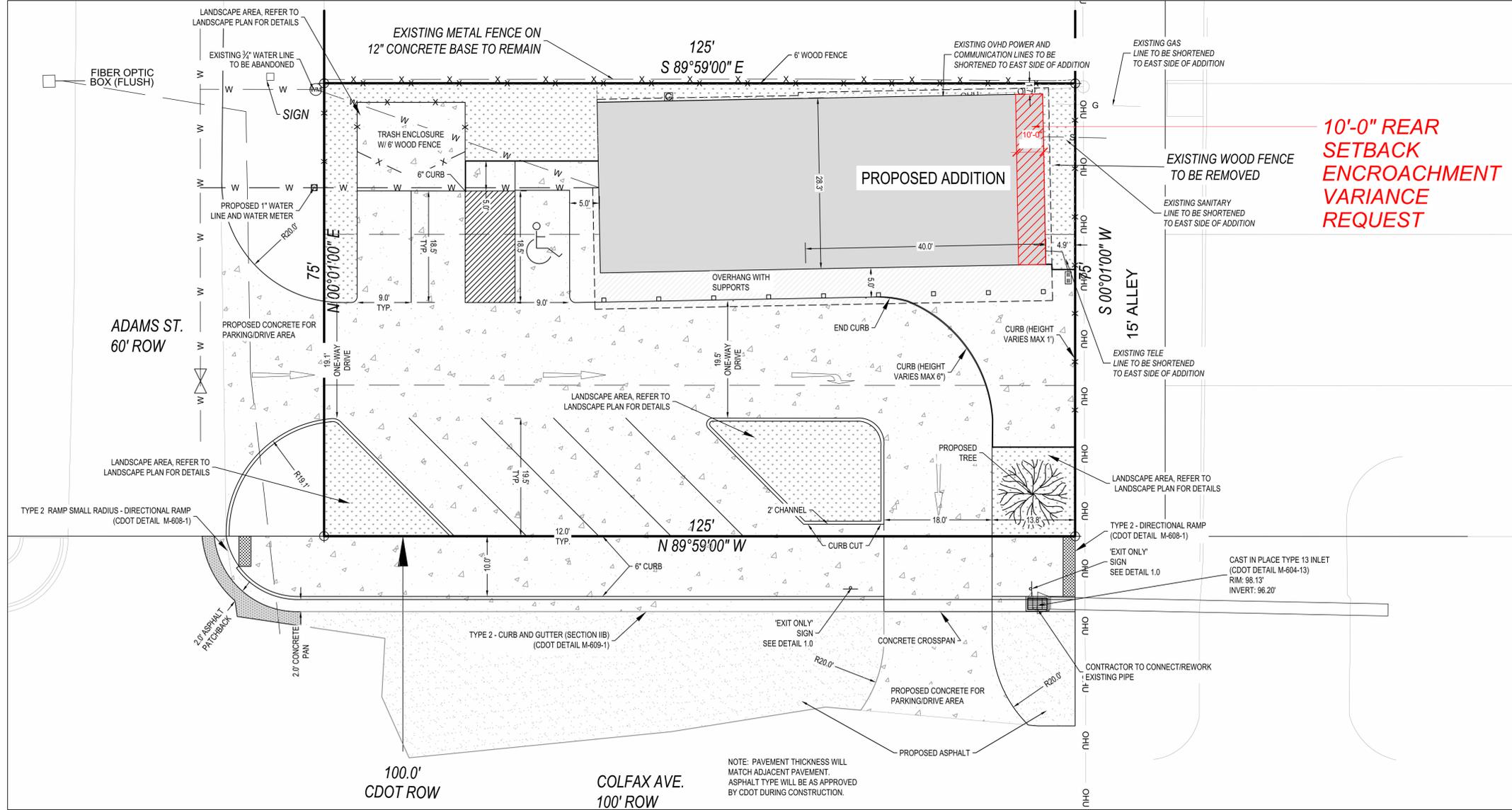
LAND SURVEY PLAT
LOTS 46, 47 AND 48 BLOCK 1 GRANDVIEW ADDITION TO STRASBERG
SECTION 33, TOWNSHIP 3 SOUTH, R67 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF ADAMS, STATE OF COLORADO

SCALE 1"=10"	DATE DECEMBER 23, 2021	DRAWN BY W.E.	CHECKED BY W.E.	PROJECT VARGAS
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NEW EAST SIDE ADDITION 56841 E. COLFAX AVE. CDOT ACCESS PERMIT

A PART OF THE SOUTHEAST 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
LOTS 46-48, BLOCK 1, GRANDVIEW ADDITION TO STRASBERG, CITY OF STRASBURG, COUNTY OF ADAMS, STATE OF COLORADO.
(LOCATED AT: 56841 EAST COLFAX AVENUE)

ALTITUDE
LAND CONSULTANTS
CIVIL | SURVEY | PLANNING | LANDSCAPE
3461 RINGSBY CT., SUITE #125
DENVER, CO 80216
2727 N. CASCADE AVE., SUITE #160
COLORADO SPRINGS, CO 80907
720.594.9494
INFO@ALTITUDELANDCO.COM
WWW.ALTITUDELANDCO.COM



**10'-0" REAR
SETBACK
ENCROACHMENT
VARIANCE
REQUEST**

LEGEND:

—	PROPERTY LINE
---	ADJACENT PROPERTY LINE
- - - -	INTERIOR PROPERTY LINE
- - - -	EASEMENT
⊕	ACCESSIBLE PARKING
▬	ASPHALT
⊙	BOLLARD
⊙	EXISTING BOLLARD
▬	CONCRETE
▬	EXISTING CONCRETE
⊕	DOWNSPOUT
⊕	EXISTING DOWNSPOUT
X	FENCE
X	EXISTING FENCE
⊕	FIRE HYDRANT
⊕	EXISTING FIRE HYDRANT
⊕	GAS METER
⊕	EXISTING GAS METER
▬	GRAVEL
⊕	LIGHT POLE
⊕	EXISTING LIGHT POLE
⊕	MANHOLE
⊕	SANITARY CLEANOUT
⊕	EXISTING SANITARY CLEANOUT
⊕	SANITARY MANHOLE
⊕	EXISTING SANITARY MANHOLE
⊕	SIGN
⊕	EXISTING SIGN
⊕	STORM MANHOLE
⊕	EXISTING STORM MANHOLE
⊕	TREE
⊕	EXISTING TREE
⊕	UTILITY POLE
⊕	EXISTING UTILITY POLE
⊕	WATER METER
⊕	EXISTING WATER METER
⊕	RIPRAP

GENERAL CDOT NOTES:

- ANY WORK WITHIN CDOT RIGHT-OF-WAY MUST BE PERFORMED ACCORDING TO THE STANDARDS SET FORTH IN THE LATEST EDITIONS OF THE STANDARD PLANS, M & S STANDARDS, CDOT COLORADO HIGHWAY SPECIFICATIONS, AND ANY NEW AND REVISED STANDARDS AND SPECIFICATIONS. MOREOVER, ANY SUCH WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE PROJECT SPECIAL PROVISIONS AND STANDARD SPECIAL PROVISIONS.
- WHERE IT IS REQUIRED TO CUT EXISTING PAVEMENT, THE CUTTING SHALL BE DONE TO A NEAT WORK LINE, FULL DEPTH WITH A PAVEMENT-CUTTING SAW.
- FOR PRELIMINARY PLAN QUANTITIES OF PAVEMENT MATERIAL, THE FOLLOWING RATES OF APPLICATION WERE USED: AGGREGATE BASE COURSE (CLASS 6) @133 LBS / FT³ HMA @110 LBS / SQ. YD. / NCH. TACK COAT DILUTED EMULSIFIED ASPHALT (SLOW SETTING) @0.10 GAL / SQ. YD. (DILUTED)
- A TACK COAT IS REQUIRED BETWEEN LAYERS OF BITUMINOUS PAVEMENT. DILUTED EMULSIFIED ASPHALT FOR TACK COAT SHALL CONSIST OF 1 PART EMULSIFIED ASPHALT AND 1 PART WATER. RATES OF APPLICATION SHALL BE 0.10 GAL / SQ. YD. (DILUTED) OR AS DETERMINED BY THE ENGINEER AT THE TIME OF APPLICATION.
- ANY LAYER OF BITUMINOUS PAVEMENT THAT IS TO HAVE A SUCCEEDING LAYER PLACED THEREON SHALL BE COMPLETED FULL-WIDTH BEFORE A SUCCEEDING LAYER IS PLACED.
- PATCHING SHALL BE TO THE DEPTH OF THE SURROUNDING EXISTING PAVEMENT AS DIRECTED BY THE ENGINEER. THE TOP LIFT OF PATCHING SHALL CONFORM TO THE REQUIREMENTS OF HMA (GRADING SX) (100) (PG 76-28). LOWER LIFTS SHALL CONFORM TO THE REQUIREMENTS OF HMA (GRADING SX) (100) (PG 76-R8) OR HMA (GRADING S) (100) (PG 64-22). THE MINIMUM AND MAXIMUM LIFT THICKNESSES SHALL BE 2 AND 3 INCHES, RESPECTIVELY. FOR HMA (GRADING SX) (100) (PG 76-28) AND 2.25 AND 3.5 INCHES, RESPECTIVELY. FOR HMA (GRADING S) (100) (PG 64-22). THE THICKNESS OF EACH LIFT SHALL BE LESS THAN OR EQUAL TO THE THICKNESS OF LIFT DIRECTLY BENEATH IT. ALL PATCHING SHALL BE PER THE ENGINEER.
- HOT MIX ASPHALT SHALL NOT BE SUBJECT TO INCENTIVE OR DISINCENTIVE PAYMENT.
- PAVEMENT SMOOTHNESS SHALL BE EVALUATED PER SECTION 105.07 HA) 2 OF THE 2019 CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- AGGREGATE BASE COURSE CLASS 6 SHALL BE UNDERLAIN BY TWO FEET OF MINIMUM R-20 MATERIAL.
- AGGREGATE BASE COURSE CLASS 6 SHALL EXTEND FOR A DISTANCE OF ONE FOOT BEHIND THE BACK FACE OF THE CURB AS REQUIRED IN [HTTPS://WWW.CODOT.GOV/BUSINESS/DESIGNSUPPORT/BULLETINS_MANUALS/ROADWAY-SE3IGN-GUIDE/CHAP-4-TYP-SECS-ONLY/VIEW](https://www.codot.gov/business/designsupport/bulletins_manuals/roadway-se3ign-guide/chap-4-typ-secs-only/view).
- BASES OF CUTS AND FILLS SHALL BE MOISTURE CONDITIONED TO A MINIMUM DEPTH OF 6 INCHES BELOW THE BOTTOM OF PROPOSED AGGREGATE BASE COURSE.
- TO PROVIDE FOR ADEQUATE SULFATE RESISTANCE IN ALL CONCRETE SUPPLIED, SEVERITY OF POTENTIAL EXPOSURE SHALL BE CLASS 2 FOR THIS PROJECT. IMPORTED EMBANKMENT/FILL SHALL HAVE SULFATE LEVELS LESS THAN 2 PERCENT (WATER-SOLUBLE SULFATE (SO4) IN DRY SOIL. THE SULFATE LEVELS OF IMPORTED EMBANKMENT SHOULD NOT BE GREATER THAN THOSE CORRESPOND TO THE SEVERITY OF SULFATE EXPOSURE SPECIFIED.
- ALL COMPACTION WITHIN THE SH040C PAVEMENT PRISM AND WITHIN CDOT ROW SHALL BE PER SECTION 203 OF THE 2019 CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- ALL MATERIAL PLACED IN CDOT ROW SHALL FOLLOW THE TESTING PROTOCOL(S) OUTLINED IN THE LATEST FIELD MATERIALS MANUAL WHICH IS AVAILABLE HERE:[HTTPS://WWW.CODOT.GOV/BUSINESS/DESIGNSUPPORT/MATERIALS-AND-GEOTECHNICAL/MANUALS/2021-FMM](https://www.codot.gov/business/designsupport/materials-and-geotechnical/manuals/2021-fmm)

GENERAL NOTES:

- ALL TOPOGRAPHIC AND PLANIMETRIC INFORMATION CONTAINED HEREIN WAS GATHERED IN THE FIELD IN MAY, 2021 BY MORNINGSTAR SURVEYING, LLC.
- UTILITIES SHOWN HEREON ARE BASED ON GRAPHICAL EVIDENCE, UTILITY MAPS FROM THE GOVERNING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.
- SITE ADDRESS IS: 56841 E. COLFAX AVE, STRASBURG, CO 80136.
- SITE BENCHMARK IS: SITE BENCHMARK IS BASED ON A FOUND SET CHISELED CROSS IN TOP BACK CURB ON NORTHWEST CORNER OF THE INTERSECTION OF ADAMS ST. AND E. COLFAX AVE. ASSUMED ELEVATION=100.00'.
- BASIS OF BEARINGS: BEARINGS ARE BASED ON PLAT RECORD BEARING BETWEEN FOUND REBARS WITH YELLOW PLASTIC CAPS MARKED "RM BAYER & ASSOC. PLS 6973" AT LOTS 32/33 BLOCK 1.
- CONTRACTOR SHALL SLOPE ALL FINED GRADES DOWN AWAY FROM ALL BUILDING DOOR LOCATIONS, AS SHOWN.
- PAVING SPECIFICATIONS TO BE DETERMINED BY GEOTECHNICAL ENGINEER

DOWNSPOUT / DRAINAGE NOTES:

- RE-GRADING OF THE PRIMARY STREET SETBACK AREA SHALL NOT RESULT IN A DIFFERENCE BETWEEN ORIGINAL AND FINISHED GRADE OF MORE THAN 1 FOOT AT ANY POINT THAT IS WITHIN 10 FEET OF THE PRIMARY STREET ZONE LOT LINE, EXCEPT AS SPECIFICALLY PERMITTED IN SECTION 10.8.5 OF DCC.
- RE-GRADING OF SIDE INTERIOR SETBACK AREAS IS NOT PERMITTED EXCEPT AS DESCRIBED IN SECTION 10.6.6 OF DCC.

DOWNSPOUT / DRAINAGE NOTES:

- STORM DRAINAGE MUST FOLLOW HISTORIC FLOWS AND FLOWS MAY NOT BE DIRECTED TO ADJACENT PROPERTIES
- ALL DISCHARGE POINTS FOR DOWNSPOUTS AND SLUMP PUMP LINES MUST BE AT LEAST 6-INCHES FROM ALLEYS, 3-FEET FROM SIDE YARD PROPERTY LINES, AND 10-FEET BACK OF ANY PUBLIC SIDEWALK ADJACENT PROPERTY LINES AND NOT BE DIRECTED ONTO PEDESTRIAN SIDEWALKS / WALKWAYS.

**NEW EAST SIDE ADDITION
56841 E. COLFAX AVE.
CDOT ACCESS PERMIT
ADDRESS: 56841 EAST COLFAX AVENUE, STRASBURG, CO 80136
CITY OF STRASBERG, COUNTY OF ADAMS, STATE OF COLORADO**

22-059

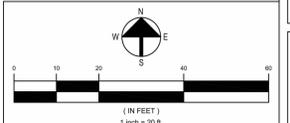
COPYRIGHT 2023
THIS DOCUMENT IS AN INSTRUMENT OF SERVICE, AND AS SUCH REMAINS THE PROPERTY OF THE ENGINEER. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH ALTITUDE LAND CONSULTANTS.

NO.	DATE	REVISION:	BY

DATE: 06.01.2022
DRAWN BY: MJH
CHECKED BY: SCC

SITE PLAN

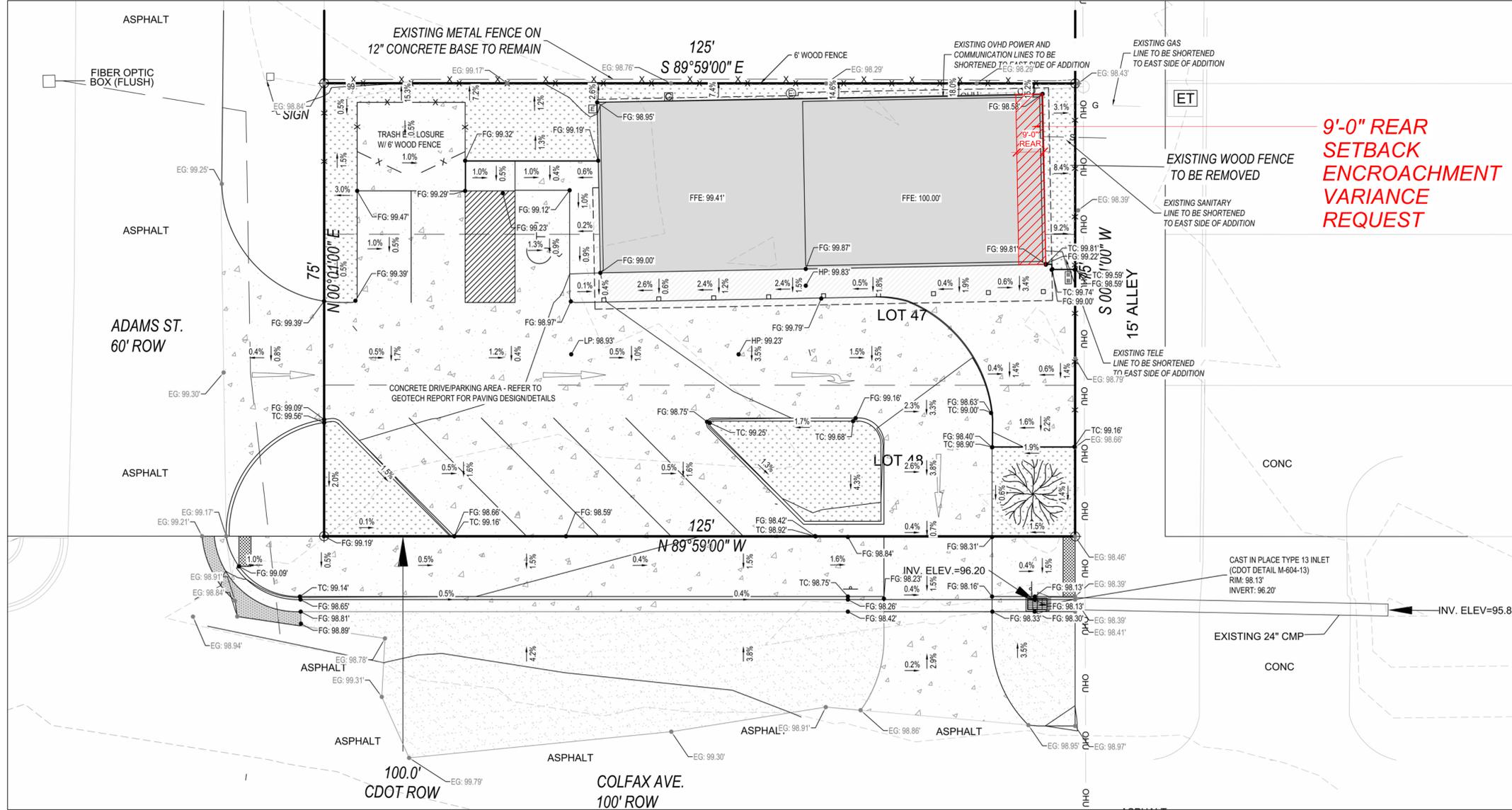
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SHEET 1 OF 2



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2727 N. CASCADE AVE., SUITE #160
COLORADO SPRINGS, CO 80907
720.594.9494
INFO@ALTITUDELANDCO.COM
WWW.ALTITUDELANDCO.COM



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- BASES OF CUTS AND FILLS SHALL BE MOISTURE CONDITIONED TO A MINIMUM DEPTH OF 6 INCHES BELOW THE BOTTOM OF PROPOSED AGGREGATE BASE COURSE.
- TO PROVIDE FOR ADEQUATE SULFATE RESISTANCE IN ALL CONCRETE SUPPLIED, SEVERITY OF POTENTIAL EXPOSURE SHALL BE CLASS 2 FOR THIS PROJECT. IMPORTED EMBANKMENT/FILL SHALL HAVE SULFATE LEVELS LESS THAN 2 PERCENT (WATER-SOLUBLE SULFATE (SO4) IN DRY SOIL. THE SULFATE LEVELS OF IMPORTED EMBANKMENT SHOULD NOT BE GREATER THAN THOSE CORRESPOND TO THE SEVERITY OF SULFATE EXPOSURE SPECIFIED.
- ALL COMPACTION WITHIN THE SH040C PAVEMENT PRISM AND WITHIN CDOT ROW SHALL BE PER SECTION 203 OF THE 2019 CDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- ALL MATERIAL PLACED IN CDOT ROW SHALL FOLLOW THE TESTING PROTOCOL(S) OUTLINED IN THE LATEST FIELD MATERIALS MANUAL WHICH IS AVAILABLE HERE: [HTTPS://WWW.CODOT.GOV/BUSINESS/DESIGNSUPPORT/MATERIALS-AND-GEOTECHNICAL/MANUALS/2021-FMM](https://www.codot.gov/business/designsupport/materials-and-geotechnical/manuals/2021-fmm)

GENERAL NOTES:

- ALL TOPOGRAPHIC AND PLANIMETRIC INFORMATION CONTAINED HEREIN WAS GATHERED IN THE FIELD IN MAY, 2021 BY MORNINGSTAR SURVEYING, LLC.
- UTILITIES SHOWN HEREON ARE BASED ON GRAPHICAL EVIDENCE, UTILITY MAPS FROM THE GOVERNING JURISDICTIONS AND SURVEYED EVIDENCE IN THE FIELD.
- SITE ADDRESS IS: 56841 E. COLFAX AVE, STRASBURG, CO 80136.
- SITE BENCHMARK IS: SITE BENCHMARK IS BASED ON A FOUND SET CHISELED CROSS IN TOP BACK CURB ON NORTHWEST CORNER OF THE INTERSECTION OF ADAMS ST. AND E. COLFAX AVE. ASSUMED ELEVATION= 100.00.
- BASIS OF BEARINGS: BEARINGS ARE BASED ON PLAT RECORD BEARING FOUND REBARS WITH YELLOW PLASTIC CAPS MARKED "RM BAYER & ASSOC. PLS 6973" AT LOTS 32/33 BLOCK 1.
- CONTRACTOR SHALL SLOPE ALL FINED GRADES DOWN AWAY FROM ALL BUILDING DOOR LOCATIONS, AS SHOWN.
- PAVING SPECIFICATIONS TO BE DETERMINED BY GEOTECHNICAL ENGINEER

DOWNSPOUT / DRAINAGE NOTES:

- RE-GRADING OF THE PRIMARY STREET SETBACK AREA SHALL NOT RESULT IN A DIFFERENCE BETWEEN ORIGINAL AND FINISHED GRADE OF MORE THAN 1 FOOT AT ANY POINT THAT IS WITHIN 10 FEET OF THE PRIMARY STREET ZONE LOT LINE, EXCEPT AS SPECIFICALLY PERMITTED IN SECTION 10.6.5 OF DCC.
- RE-GRADING OF SIDE INTERIOR SETBACK AREAS IS NOT PERMITTED EXCEPT AS DESCRIBED IN SECTION 10.6.6 OF DCC.

DOWNSPOUT / DRAINAGE NOTES:

- STORM DRAINAGE MUST FOLLOW HISTORIC FLOWS AND FLOWS MAY NOT BE DIRECTED TO ADJACENT PROPERTIES
- ALL DISCHARGE POINTS FOR DOWNSPOUTS AND SLUMP PUMP LINES MUST BE AT LEAST 6-INCHES FROM ALLEYS, 3-FEET FROM SIDE YARD PROPERTY LINES, AND 10-FEET BACK OF ANY PUBLIC SIDEWALK ADJACENT PROPERTY LINES AND NOT BE DIRECTED ONTO PEDESTRIAN SIDEWALKS / WALKWAYS.

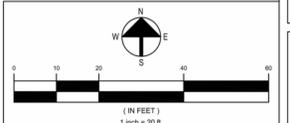
ABBREVIATION LEGEND

- FG: FINISHED GRADE
- EG: EXISTING GRADE
- FL: FLOW LINE
- TC: TOP OF CURB
- BC: BOTTOM OF CURB
- TS: TOP OF STEP
- BS: BOTTOM OF STEP
- TW: TOP OF WALL
- BW: BOTTOM OF WALL
- DS: DOWNSPOUT
- GB: GRADE BREAK
- GS: GROUND SHOT
- HP: HIGH POINT
- LP: LOW POINT
- FFE: FINISHED FLOOR ELEVATION

LEGEND:

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- INTERIOR PROPERTY LINE
- EASEMENT
- ASPHALT
- DOWNSPOUT
- EXISTING DOWNSPOUT
- CONCRETE
- EXISTING CONCRETE
- GRAVEL
- PROPOSED CONTOUR
- EXISTING CONTOUR
- SPOT ELEVATION
- EXISTING SPOT ELEVATION
- STORM MANHOLE
- EXISTING STORM MANHOLE
- STORM SEWER
- EXISTING STORM SEWER
- CURB INLET
- EXISTING CURB INLET
- COMBINATION INLET
- EXISTING COMBINATION INLET
- GRATE INLET
- EXISTING GRATE INLET
- FLARED END SECTION
- EXISTING FLARED END SECTION
- HEADWALL
- EXISTING HEADWALL
- RIPRAP

ALL PLANIMETRIC LINWORK THAT IS FADED BACK SHOWN HEREIN INDICATES AN EXISTING FEATURE (IMPROVEMENT, TOPOGRAPHY, UTILITY, ETC.). ALL PLANIMETRIC TEXT THAT IS FADED BACK AND ITALICIZED SHOWN HEREIN INDICATES A CALLOUT TO AN EXISTING FEATURE.



**NEW EAST SIDE ADDITION
56841 E. COLFAX AVE.
CDOT ACCESS PERMIT
ADDRESS: 56841 EAST COLFAX AVENUE, STRASBURG, CO 80136
CITY OF STRASBERG, COUNTY OF ADAMS, STATE OF COLORADO**

22-059

COPYRIGHT 2023
THIS DOCUMENT IS AN INSTRUMENT OF SERVICE, AND AS SUCH REMAINS THE PROPERTY OF THE ENGINEER. PERMISSION FOR USE OF THIS DOCUMENT IS LIMITED AND CAN BE EXTENDED ONLY BY WRITTEN AGREEMENT WITH ALTITUDE LAND CONSULTANTS.

NO.	DATE	REVISION:	BY

DATE: 06.01.2022
DRAWN BY: MJH
CHECKED BY: SCC

GRADING & DRAINAGE PLAN

CD4.0
SHEET 2 OF 2

Electronically Recorded RECEPTION#: 202000060499,
7/1/2020 at 3:11 PM, 1 OF 1,
REC: \$13.00 DocStamp: \$22.00
TD Pgs: 2 Josh Zygielbaum, Adams County, CO.



Certified to be a full, true and correct copy of the
Recorded Document consisting of .../..... pages
In my custody.

Josh Zygielbaum, Adams County Clerk & Recorder

By: *Michael Han* Date: 4/20/23



State Documentary Fee
Date: June 30, 2020
\$22.00

General Warranty Deed
(Pursuant to C.R.S. 38-30-113(1)(a))

Grantor(s), **COYOTE CREEK PROPERTY LLC, A COLORADO LIMITED LIABILITY COMPANY**, whose street address is 2775 Rio Osa Street, Byers, CO 80103, City or Town of Byers, County of Arapahoe and State of Colorado, for the consideration of (\$220,000.00) ***Two Hundred Twenty Thousand and 00/100*** dollars, in hand paid, hereby sell(s) and convey(s) to **MANUEL VARGAS AND DEBBIE VARGAS**, as Joint Tenants whose street address is 750 S. Exmoor Rd, Byers, CO 80103-9821, City or Town of Byers, County of Arapahoe and State of Colorado, the following real property in the County of Adams and State of Colorado, to wit:

LOTS 46, 47 AND 48, BLOCK 1, GRANDVIEW ADDITION TO STRASBURG, COUNTY OF ADAMS, STATE OF COLORADO

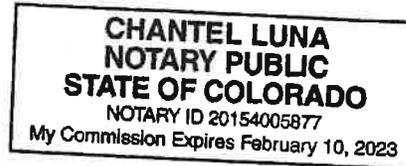
also known by street and number as: **56841 E COLFAX AVENUE, STRASBURG, CO 80136**

with all its appurtenances and warrant(s) the title to the same, subject to Statutory Exceptions.

Signed this day of **June 30, 2020**.

COYOTE CREEK PROPERTY LLC, A COLORADO LIMITED LIABILITY COMPANY

By: *Donna Contento*
Donna Contento, Manager



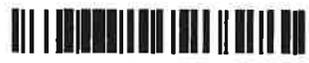
State of *Colorado*)
County of *Douglas*)ss.
)

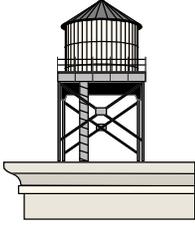
The foregoing instrument was acknowledged before me on this day of **June 30th, 2020** by **Donna Contento as Manager for Coyote Creek Property LLC, a Colorado Limited Liability Company**

Witness my hand and official seal

My Commission expires: *2-10-23* *[Signature]*
Notary Public

When recorded return to: **MANUEL VARGAS AND DEBBIE VARGAS**
750 S. Exmoor Rd, Byers, CO 80103-9821





Strasburg Sanitation and Water District

PO Box 596 Strasburg, CO 80136 (303) 622-4443

June 21, 2022

Debbie Vargas
750 S Exmoor Road
750 S County Road 181
Byers, CO 80103

via email: vargasdebbie26@gmail.com

Re: Request by Debbie Vargas for Water Service by Strasburg Sanitation and Water District (“District”)

Ms. Vargas:

At the District’s June 14, 2022 board meeting you requested the District issue a letter confirming its willingness to provide water service to your property located at 56841 E Colfax Avenue, Strasburg, Colorado 80136 in unincorporated Adams County, Colorado (“Property”). The Property consists of a single commercial building and is planned to be developed as a restaurant. The District’s board of directors has discussed your request and provides this letter to confirm that the District will reserve capacity in its water and sanitation system to serve the Property, subject to the conditions herein.

Conditions of service include:

1. If required by the District’s rules and regulations, the owner of the Property must convey sufficient water rights to the District to serve the Property, or pay a fee in lieu of the conveyance of water rights at the District’s option, as required by the District’s Rules and Regulations.
2. All water and sanitation infrastructure must be constructed by the Property’s owner to District-approved standards.
3. Water and sanitation infrastructure that is proposed to be owned by the District must be conveyed to the District with all rights, warranties, easements, and documentation required by the District.
4. The Property must be within, and remain within, the boundaries of the District.

5. The owner of the Property or other appropriate entities must pay all applicable District fees and charges, including but not limited to system development fees, tap fees, service fees, and reimbursements for District costs for evaluating, planning, designing, and permitting related to serving the Property, and any applicable fees of Eastern Adams County Metropolitan District, which provides sewage treatment services to the District.
6. The Property, and all tenants, owners, and users within the Property, must adhere to all Rules and Regulations of the District.

The District's commitment to reserve capacity in its water and sanitation system to serve the Property expires on June 17, 2024 after which another request for service must be made by the owner of the Property.

Please feel free to contact our office if you have any questions.

Regards,

Tracy Griffin

Tracy Griffin
District Manager



Down Low Services
Englewood, CO
80110,
(720) 998-1166

Client	
Surveyed By	IanE
Video Link	https://1drv.ms/v/s!AgdrCQst0t_cgrRbfCvDo98KLEtqsQ?e=YnyzMM
Date	05/17/2021
Time	12:51
Location	56841 E Colfax Ave
Remarks	First tried to run the camera from the toilet rough in in the storage room. This is tied in as a back to back toilet and I was unable to get the camera through there. I then moved to the floor drain bypass. From here I was able to push the camera 94' before I was unable to get past a tiny offset joint. I had to use a mini cam to get into the line. There is a low area and a hole in the pipe that will need to be addressed. Since the plan is to add an addition on that side of the building it would be wise to use a schedule 40 material. Check with the local code to determine what material should be used.

Observations



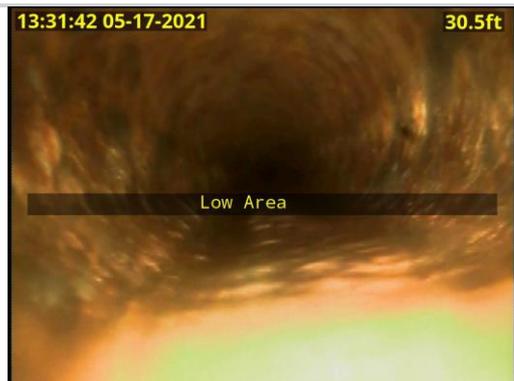
0:00:02
2021_05_17-12_52_35_091.jpg
0.0 (ft)

Toilet rough in – this is located in the storage room that was once a bathroom. I was unable to run the camera from here due to the back to back toilets.



0:00:02
2021_05_17-13_06_01_450.jpg
0.0 (ft)

Access point : Floor drain bypass

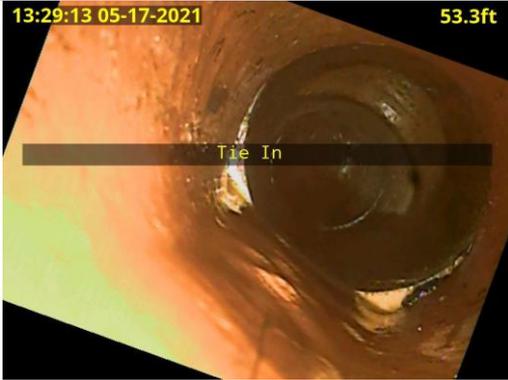


0:10:29
2021_05_17-13_31_42_852.jpg
30.5 (ft)
38 .75

Low Area (slight) – This section of the line is holding less than 1" of water for 8'. Normal use of the line will keep debris moving through this area. Water holding in the cast iron can lead to deterioration of the line. Have Sewer line re-inspected every 2 to 3 years to monitor the condition of this area.

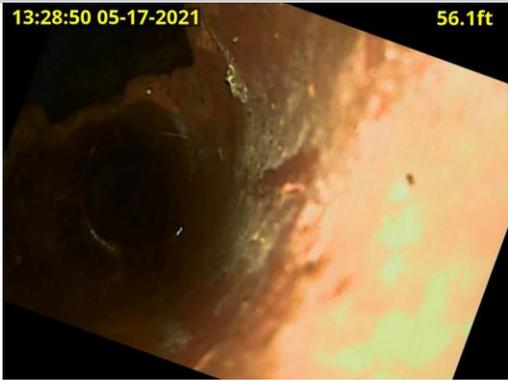


0:09:07
2021_05_17-13_30_07_862.jpg
46.5 (ft)
to hole 2" rep
Low Area (medium) – This section of the line is holding 2" of water for 10'. While the break at 56' is being addressed have this section replaced as well. Since at some point an addition will be done have this section replaced with a schedule 40 (PVC or ABS)



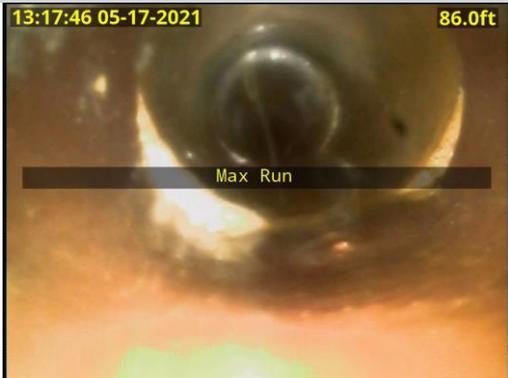
0:08:13
2021_05_17-13_29_13_225.jpg
53.3 (ft)

Tie in – Top of the pipe.



0:07:54
2021_05_17-13_28_50_227.jpg
56.1 (ft)

Hole one the top of the pipe



0:04:42
2021_05_17-13_17_46_252.jpg
86.0 (ft)

Max run I was able to get 5' past this spot. On the top of the pipe at this spot there is a tie in. This may be a cleanout. This area is marked about 1' in front of the white(ish) fence on the east side of the building.

If the findings contained in the pipe inspection report are used in the negotiations of a real estate transaction, the opposing party may request copies of the report and video. Because Down Low Services doesn't archive or have copies on file, if you wish, you may have to provide copies of either the report and video to the other party.
Our services provide video pipe inspection and documentation of pipe two (2) inches or greater inside diameter pipe and helps detect problem areas due to some of the following problems: broken lines, offset joints, crushed lines, major low areas in the pipe, debris in the pipe and other visually identifiable objects, obstructions, or serious problems in the pipe interiors. Down Low Services provides customers with an unbiased video pipe inspection. Our camera are used to get a different perspective (i.e. the inside of the pipe) but neither the equipment or the operator of this equipment are to be used to make engineering, repair, or replacement decisions without consulting a licensed plumber or engineering professional. Down Low Services gives information to assist in your decision-making process.
Down Low Services shall not be liable for any consequential damages.

Parcel Number: 0181333423006

VARGAS MANUEL AND VARGAS DEBBIE

750 S EXMOOR RD
BYERS CO 80103-9821

Legal Description

SUB:GRANDVIEW ADD TO STRASBURG BLK: 1 LOT: 46 - LOT: 48

Subdivision Plat

GRANDVIEW ADD TO STRASBURG

Account Summary

Account Numbers

R0082008

Date Added

01/01/1996

Tax District

406

Mill Levy

96.365



**TREASURER & PUBLIC TRUSTEE
ADAMS COUNTY, COLORADO
Certificate Of Taxes Due**

Account Number R0082008
Parcel 0181333423006
Assessed To
VARGAS MANUEL AND
C/O: VARGAS DEBBIE
750 S EXMOOR RD
BYERS, CO 80103-9821

Certificate Number 2023-233478
Order Number
Vendor ID
JORGE A EGUIARTE SANCHEZ

Legal Description	Situs Address				
SUB:GRANDVIEW ADD TO STRASBURG BLK:1 LOT:46 - LOT:48	56841 E COLFAX AVE				
Year	Tax	Interest	Fees	Payments	Balance
Tax Charge					
2022	\$5,580.50	\$55.81	\$0.00	(\$5,636.31)	\$0.00
Total Tax Charge					\$0.00
Grand Total Due as of 07/17/2023					\$0.00

Tax Billed at 2022 Rates for Tax Area 406 - 406

Authority	Mill Levy	Amount	Values	Actual	Assessed
RANGEVIEW LIBRARY DISTRICT	3.6150000*	\$209.34	COMM LND OFFICES	\$20,625	\$5,980
FIRE DISTRICT 8 - STRASBURG	12.6140000	\$730.48	OFFICES	\$179,075	\$51,930
ADAMS COUNTY	26.9670000	\$1,561.66	Total	\$199,700	\$57,910
NORTH KIOWA BIJOU GROUND WA	0.0230000	\$1.33			
SD 31	44.1360000	\$2,555.92			
STRASBURG PARK & RECREATION	5.0100000	\$290.13			
STRASBURG WATER & SANITATIO	4.0000000	\$231.64			
Taxes Billed 2022	96.3650000	\$5,580.50			

* Credit Levy

ALL TAX SALE AMOUNTS ARE SUBJECT TO CHANGE DUE TO ENDORSEMENT OF CURRENT TAXES BY THE LIENHOLDER OR TO ADVERTISING AND DISTRAINT WARRANT FEES. CHANGES MAY OCCUR; PLEASE CONTACT THE TREASURY PRIOR TO MAKING A PAYMENT AFTER AUGUST 1. TAX LIEN SALE REDEMPTION AMOUNTS MUST BE PAID BY CASH OR CASHIER'S CHECK.

SPECIAL TAXING DISTRICTS AND THE BOUNDARIES OF SUCH DISTRICTS MAY BE ON FILE WITH THE BOARD OF COUNTY COMMISSIONERS, THE COUNTY CLERK, OR, THE COUNTY ASSESSOR.

This certificate does not include land or improvements assessed under a separate account number, personal property taxes, transfer tax, or, miscellaneous tax collected on behalf of other entities, special or local improvement district assessments, or mobile homes, unless specifically mentioned.

I, the undersigned, do hereby certify that the entire amount of taxes due upon the above described parcels of real property and all outstanding lien sales for unpaid taxes as shown by the records in my office from which the same may still be redeemed with the amount required for redemption on this date are as noted herein. In witness whereof, I have hereunto set my hand and seal.



**TREASURER & PUBLIC TRUSTEE
ADAMS COUNTY, COLORADO
Certificate Of Taxes Due**

TREASURER & PUBLIC TRUSTEE, ADAMS COUNTY,
Alexander L Villagran

4430 S. Adams County Parkway
Brighton, CO 80601

A handwritten signature in cursive script, appearing to read "Alexander L. Villagran".





Adams County
4430S.AdamsCountyParkway
Suite C2436
Brighton, CO, 80601
720-523-6160
720-523-6171

Receipt2023-07-17-JM-9707

Product	Name	Extended
2	Certificate of Taxes Due R0082008	\$10.00
		Account #: R0082008
		Effective Date: 7/17/23
		Certificate Number: 2023-233478
		Item ID: R0082008/
Certificate of Taxes Due		\$10.00
COTD		(\$10.00)
COTD3		\$10.00
<hr/>		
Total		\$10.00
Tender (Cash)		\$10.00
Payor	JORGE A EGUIARTE SANCHEZ	

CERTIFICATION OF NOTICE TO MINERAL ESTATE OWNERS

I/We, VARGAS MAURIC AND VARGAS DEBBIE
(the "Applicant") by signing below, hereby declare and certify as follows:

With respect to the property located at:
Physical Address: 56841 E. COLFAX AVE. STRASBURG, CO 80103
Legal Description: SUB: GRANT VIEW ADD TO STRASBURG BLK 1-LOT: 46-47
Parcel #(s): 0181333423006

(PLEASE CHECK ONE):

On the _____ day of _____, 20____, which is not less than thirty days before the initial public hearing, notice of application for surface development was provided to mineral estate owners pursuant to section 24-65.5-103 of the Colorado Revised Statutes;

X or
I/We have searched the records of the Adams County Tax Assessor and the Adams County Clerk and Recorder for the above identified parcel and have found that no mineral estate owner is identified therein.

Date: 04-18-2023 Applicant: VARGAS MAURIC AND VARGAS DEBBIE

By: USPS
Print Name: DEBBIE VARGAS
Address: 56841 E. COLFAX AVE.
STRASBURG, CO 80103

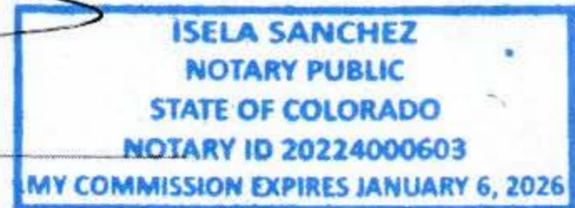
STATE OF COLORADO)
)
COUNTY OF ADAMS)

Subscribed and sworn to before me this 5 day of JULY, 2023 by

[Signature]
Witness my hand and official seal.

My Commission expires: 1/6/24

[Signature]
Notary Public



After Recording Return To:

Name and Address of Person Preparing Legal Description:

A recorded copy of this Certification shall be submitted to the Adams County Community and Economic Development Department with all applicable land use applications.

APPLICANT'S CERTIFICATION CONCERNING QUALIFYING SURFACE DEVELOPMENT.

PURSUANT TO C.R.S. §24-65.5-103.3 (1)(b)

I/We, VARGAS MAURIL AND VARGAS DEBBIE
(the "Applicant") by signing below, hereby declare and certify as follows:

Concerning the property located at:

Physical Address:

Legal Description:

Parcel #(s):

56841 E. COCTAX AVE. STRASBURG CO, 80103

SUB: GRAND VIEW ADD TO STRASBURG BLK 7 - LOT: 46+48

01 81333423006

With respect to qualifying surface developments, that (PLEASE CHECK ONE):



No mineral estate owner has entered an appearance or filed an objection to the proposed application for development within thirty days after the initial public hearing on the application; or

The Applicant and any mineral estate owners who have filed an objection to the proposed application for development or have otherwise filed an entry of appearance in the initial public hearing regarding such application no later than thirty days following the initial public hearing on the application have executed a surface use agreement related to the property included in the application for development, the provisions of which have been incorporated into the application for development or are evidenced by a memorandum or otherwise recorded in the records of the clerk and recorder of the county in which the property is located so as to provide notice to transferees of the Applicant, who shall be bound by such surface use agreements; or

The application for development provides:

- (i) Access to mineral operations, surface facilities, flowlines, and pipelines in support of such operations existing when the final public hearing on the application for development is held by means of public roads sufficient to withstand trucks and drilling equipment or thirty-foot-wide access easements;
- (ii) An oil and gas operations area and existing well site locations in accordance with section 24-65.5-103.5 of the Colorado Revised Statutes; and
- (iii) That the deposit for incremental drilling costs described in section 24-65.5-103.7 of the Colorado Revised Statutes has been made.

Date: 01-18-2023 Applicant: VARGAS MAURIL AND VARGAS DEBBIE

After Recording Return To:

By:

Print Name:

Address:

USPS

DEBBIE VARGAS

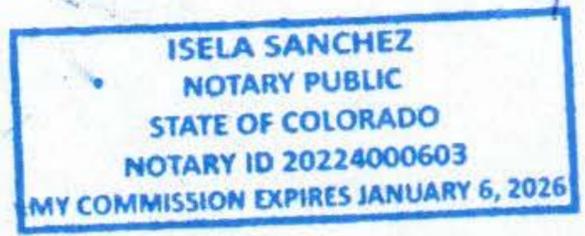
56841 E. COCTAX AVE.
STRASBURG, CO 80103

STATE OF COLORADO)
)
COUNTY OF ADAMS)

Subscribed and sworn to before me this 5 day of July, 2023, by
Dennis Longoria

Witness my hand and official seal.

My Commission expires: 1/6/26
Notary Public



Name and Address of Person Preparing Legal Description:

A recorded copy of this Certification shall be submitted to the Adams County Community and Economic Development Department within thirty days after the initial public hearing on all applicable land use applications.