



Board of County Commissioners

Eva J. Henry - District #1
Charles "Chaz" Tedesco - District #2
Emma Pinter - District #3
Steve O'Dorisio - District #4
Lynn Baca - District #5

PUBLIC HEARING AGENDA

NOTICE TO READERS: The Board of County Commissioners' meeting packets are prepared several days prior to the meeting. This information is reviewed and studied by the Board members to gain a basic understanding, thus eliminating lengthy discussions. Timely action and short discussion on agenda items does not reflect a lack of thought or analysis on the Board's part. An informational packet is available for public inspection in the Board's Office one day prior to the meeting.

THIS AGENDA IS SUBJECT TO CHANGE

Tuesday
June 15, 2021
9:30 AM

1. ROLL CALL

2. PLEDGE OF ALLEGIANCE

3. MOTION TO APPROVE AGENDA

4. AWARDS AND PRESENTATIONS

- A.** Adams County Fair 2021 Announcement

5. PUBLIC COMMENT

A. Citizen Communication

A total of 30 minutes is allocated at this time for public comment and each speaker will be limited to 3 minutes. If there are additional requests from the public to address the Board, time will be allocated at the end of the meeting to complete public comment. The chair requests that there be no public comment on issues for which a prior public hearing has been held before this Board.

B. Elected Officials' Communication

6. CONSENT CALENDAR

- A.** List of Expenditures Under the Dates of May 17-21, 2021
- B.** List of Expenditures Under the Dates of May 24-28, 2021
- C.** Minutes of the Commissioners' Proceedings from May 25, 2021
- D.** Adams County Public Trustee Operational Expense for the Quarter Ending March 2021

- E.** Resolution for Final Acceptance of the Public Improvements Constructed at the Welby Business Park, Phase 2, (Case No's. RWC2015-00026, RWC2015-00027, RWC2015-00038, EGR2016-00042, PLN2018-00008, INF2018-00023, SIA2017-00001 and CSI2018-00008) (File approved by ELT)
- F.** Resolution Accepting Warranty Deed Conveying Property from Patricia R. Gibbons to Adams County for Road Right-of-Way (File approved by ELT)
- G.** Resolution Accepting Warranty Deed Conveying Property from Zakya Ahadi to Adams County for Road Right-of-Way (File approved by ELT)
- H.** Resolution Approving Encroachment Agreement between Copeland Holdings, LLC and Adams County for Improvements in County Right-of-Way (File approved by ELT)
- I.** Resolution Approving Access License Agreement between Public Service Company of Colorado and Adams County for Access to Storm Water Drainage Facilities (File approved by ELT)
- J.** Resolution for Final Acceptance of the Public Improvements Constructed at the TruStile Site, 999 E. 71st Avenue, (Case Numbers: EGR2018-00049, CSI2018-00027, UTL2019-00048, UTL2019-00080, BDP18-6374, SIA2019-00002, INF2019-00030, INF2019-00031) (File approved by ELT)
- K.** Resolution Approving the Urban County and HOME Consortium Intergovernmental Agreements for Federal Fiscal Years 2022, 2023, and 2024 (File approved by ELT)
- L.** Resolution Accepting Warranty Deed Conveying Property from 7480 Dexter Street, LLC to Adams County for Right-of-Way Purposes (File approved by ELT)
- M.** Resolution Adopting Incentive Agreement between Adams County and Karcher, North America, Inc. (File approved by ELT)
- N.** Resolution Accepting Warranty Deed Conveying Property from Integrity Traffic Holding Company, LLC to Adams County for Right-of-Way Purposes (File approved by ELT)
- O.** Resolution Accepting Warranty Deed Conveying Property from Fortenberry Investment Co., LLP to Adams County for Right-of-Way Purposes (File approved by ELT)
- P.** Resolution Accepting a Permanent Drainage Easement from Fortenberry Investment Co., LLP to Adams County for Drainage Purposes (File approved by ELT)
- Q.** Resolution Accepting Warranty Deed Conveying Property from Dennis and Jeff Enterprises, LLC to Adams County for Right-of-Way Purposes (File approved by ELT)
- R.** Resolution Approving Partial Release and Termination of Right of First Refusal Agreement for Unit 5 of South Platte Crossing (File approved by ELT)

7. NEW BUSINESS

A. COUNTY MANAGER

1. Resolution Authorizing Second Supplemental Appropriations to the 2021 Adams County Government Budget
(File approved by ELT)
2. Resolution Authorizing Third Supplemental Appropriations to the 2021 Adams County Government Budget
(File approved by ELT)
3. Resolution Approving Amendment One to the Agreement between Adams County and G5 Biosolutions, Ins., for Polymeric Compaction Aid Materials and Services
(File approved by ELT)
4. Resolution Approving Amendment Two to the Agreement between Adams County and EP&A Envirotac, Inc. for Acrylic Based Soil Stabilizing Polymer
(File approved by ELT)
5. Resolution Approving Amendment One to the Agreement between Adams County and Tri-County Health Department for Pregnancy Prevention Services
(File approved by ELT)
6. Resolution Approving an Agreement between Adams County and Friends First for Pregnancy Prevention Services
(File approved by ELT)
7. Resolution Approving Amendment Four to the Agreement between Adams County and Commercial Cleaning Systems for Custodial Cleaning Services
(File approved by ELT)
8. Resolution Approving Amendment Two to an Agreement between Adams County and Saunders Construction, LLC, for the Government Center Space Utilization Phase 2 Project
(File approved by ELT)
9. Resolution Approving an Agreement between Adams County and Saunders Construction, Inc., for Construction Management General Contract Services for the Addition and Renovation of the Adams County Coroner's Office and Probation Facility
(File approved by ELT)
10. Resolution Approving an Agreement between Adams County and ECI Site Construction Management, Inc., for Construction Management General Contract Services for the Adams County Veterans Memorial
(File approved by ELT)
11. Resolution Approving Amendment Two to the Agreement between Adams County and CBRE, Inc., for Commercial Brokerage Services
(File approved by ELT)
12. Resolution Approving an Agreement between Adams County and Star Farms, Inc., for the Fukaye Open Space Agricultural and Agritourism Lease
(File approved by ELT)

B. COUNTY ATTORNEY

8. LAND USE HEARINGS

A. Cases to be Heard

- 1.** PRC2019-00015 Baseline Lakes
(File approved by ELT)
- 2.** RCU2021-00005 NCLC Rezone
(File approved by ELT)

9. ADJOURNMENT

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE

County of Adams
Net Warrant by Fund Summary

Fund Number	Fund Description	Amount
1	General Fund	1,355,604.52
4	Capital Facilities Fund	18,825.00
5	Golf Course Enterprise Fund	57,402.21
6	Equipment Service Fund	45,714.16
7	Stormwater Utility Fund	114.43
13	Road & Bridge Fund	458,196.89
19	Insurance Fund	965,711.74
27	Open Space Projects Fund	1,950.00
28	Open Space Sales Tax Fund	5,000.00
30	Community Dev Block Grant Fund	113,549.10
31	Head Start Fund	2,400.20
34	Comm Services Blk Grant Fund	49,828.93
35	Workforce & Business Center	16,408.61
43	Colorado Air & Space Port	49,226.15
50	FLATROCK Facility Fund	1,888.96
94	Sheriff Payables	26,856.00
		<u>3,168,676.90</u>

Net Warrants by Fund Detail

1**General Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007549	2284	SENIOR HUB THE	5/18/2021	2,500.00
00007550	2284	SENIOR HUB THE	5/18/2021	2,500.00
00007553	1008782	ANGEL ARMOR LLC	5/20/2021	3,391.80
00007554	1017428	B&R INDUSTRIES	5/20/2021	600.00
00007556	37193	CINA & CINA FORENSIC CONSULTIN	5/20/2021	951.25
00007557	1052521	COCREATE COEVOLVE LLC	5/20/2021	375.00
00007558	320719	DLR GROUP	5/20/2021	15,365.00
00007559	1016895	G4S SECURE SOLUTIONS USA INC	5/20/2021	21,801.47
00007560	5449	NORTH METRO TASK FORCE	5/20/2021	235,893.38
00007562	93290	STOEFLER REBECCA E	5/20/2021	213.75
00007566	1158604	NAVEX GLOBAL INC	5/21/2021	24,921.57
00759473	1117066	AB LITIGATION SERVICES	5/20/2021	687.14
00759476	91631	ADAMSON POLICE PRODUCTS	5/20/2021	3,170.00
00759477	433987	ADCO DISTRICT ATTORNEY'S OFFIC	5/20/2021	254.86
00759479	1582	ALLEN DITCH CO	5/20/2021	1,470.00
00759480	12012	ALSCO AMERICAN INDUSTRIAL	5/20/2021	217.94
00759482	228213	ARAMARK REFRESHMENT SERVICES	5/20/2021	184.93
00759485	1170356	ASIAN CHAMBER OF COMMERCE	5/20/2021	500.00
00759487	993099	BAYAUD ENTERPRISES INC	5/20/2021	21,754.28
00759488	3020	BENNETT TOWN OF	5/20/2021	3,000.00
00759490	13160	BRIGHTON CITY OF (WATER)	5/20/2021	2,042.38
00759491	13160	BRIGHTON CITY OF (WATER)	5/20/2021	496.89
00759492	603131	BRIGHTON YOUTH ASSN OF FOOTBAL	5/20/2021	500.00
00759495	8973	C & R ELECTRICAL CONTRACTORS I	5/20/2021	20,406.00
00759499	661015	CHP METRO NORTH LLC	5/20/2021	1,050.00
00759506	5050	COLO DIST ATTORNEY COUNCIL	5/20/2021	3,364.90
00759507	5050	COLO DIST ATTORNEY COUNCIL	5/20/2021	85.46
00759509	42255	COLO GEOLOGICAL SURVEY	5/20/2021	3,600.00
00759510	460842	COLO INFORMATION SHARING CONSO	5/20/2021	616.00
00759512	2157	COLO OCCUPATIONAL MEDICINE PHY	5/20/2021	661.00
00759513	203990	COLORADO STATE UNIVERSITY	5/20/2021	300.00
00759514	48089	COMCAST BUSINESS	5/20/2021	2,100.00
00759515	612089	COMMERCIAL CLEANING SYSTEMS	5/20/2021	2,450.00
00759516	463378	CONVERGINT TECHNOLOGIES LLC	5/20/2021	4,918.06
00759517	255001	COPYCO QUALITY PRINTING INC	5/20/2021	1,229.98
00759518	1023896	CRAMER SHANNON	5/20/2021	2,500.00

Net Warrants by Fund Detail

1**General Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00759519	1168470	CRUZ MARIA	5/20/2021	600.00
00759521	13663	DELTA DENTAL OF COLORADO	5/20/2021	11.25
00759524	55086	DENVER COUNTY EXTENSION	5/20/2021	200.00
00759525	237568	DESIGN WORKSHOP	5/20/2021	11,994.50
00759528	1151757	ELITE REFRIGERATION	5/20/2021	103,101.60
00759529	691812	EXTREME TOWING & RECOVERY SERV	5/20/2021	200.00
00759534	671123	FOUND MY KEYS	5/20/2021	1,946.77
00759535	12689	GALLS LLC	5/20/2021	5,779.17
00759536	60109	GOODBEE MICHELLE	5/20/2021	21.00
00759540	999746	HAMMERTON N SUSAN	5/20/2021	430.00
00759543	8721	HILL & ROBBINS	5/20/2021	580.00
00759546	298306	HUPFER DETOR LEVON	5/20/2021	840.00
00759547	5814	I70 SCOUT THE	5/20/2021	70.00
00759548	79260	IDEXX DISTRIBUTION INC	5/20/2021	1,736.18
00759550	32276	INSIGHT PUBLIC SECTOR	5/20/2021	566,051.28
00759553	13565	INTERMOUNTAIN REA	5/20/2021	46.73
00759554	746356	J. BROWER PSYCHOLOGICAL SERVIC	5/20/2021	1,300.00
00759555	1127930	JOSHUA B EPEL ESQ PLLC	5/20/2021	10,720.00
00759557	33110	JUSTICE BENEFITS INC	5/20/2021	1,452.00
00759560	1152530	L & A COFFEE LLC	5/20/2021	7,000.00
00759563	192058	LADWIG MICHAEL V MD PC	5/20/2021	256.00
00759564	211203	LEXIPOL LLC	5/20/2021	5,280.00
00759566	1168473	MARES JEESENIA	5/20/2021	1,150.00
00759567	729564	METRO TRANSPORTATION PLANNING	5/20/2021	1,902.75
00759568	32947	MOBILE STORAGE SOLUTIONS	5/20/2021	532.00
00759569	13719	MORGAN COUNTY REA	5/20/2021	209.02
00759570	13720	MOTOROLA SOLUTIONS INC	5/20/2021	42,355.86
00759571	13591	MWI ANIMAL HEALTH	5/20/2021	3,163.01
00759575	829876	NEELY TRACY	5/20/2021	2,500.00
00759576	16428	NICOLETTI-FLATER ASSOCIATES	5/20/2021	411.00
00759577	13778	NORTH WASHINGTON ST WATER & SA	5/20/2021	2,353.90
00759578	33716	OLD VINE PINNACLE ASSOCIATES	5/20/2021	800.00
00759580	669732	PATTERSON VETERINARY SUPPLY IN	5/20/2021	260.50
00759581	192059	POINT SPORTS/ERGOMED	5/20/2021	360.00
00759583	837076	PSYCHOLOGICAL DIMENSIONS	5/20/2021	2,175.00
00759584	216245	PUSH PEDAL PULL INC	5/20/2021	1,135.00

Net Warrants by Fund Detail

1**General Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00759585	317909	RAFTELIS FINANCIAL CONSULTANTS	5/20/2021	15,000.00
00759588	422902	ROADRUNNER PHARMACY INCORPORAT	5/20/2021	666.38
00759594	46792	SECURE HORIZONS	5/20/2021	1,500.00
00759596	451943	SECURITY & SAFE OF COLORADO IN	5/20/2021	388.80
00759599	13538	SHRED IT USA LLC	5/20/2021	892.00
00759600	12431	SPACE CONCEPTS INC	5/20/2021	864.18
00759602	13949	STRASBURG SANITATION	5/20/2021	86.32
00759603	293662	SUMMIT LABORATORIES INC	5/20/2021	480.00
00759604	80267	SWIMS DISPOSAL	5/20/2021	95.00
00759605	644904	SYNERGETIC STAFFING LLC	5/20/2021	12,432.00
00759607	47341	T MOBILE	5/20/2021	30.91
00759609	1094	TRI COUNTY HEALTH DEPT	5/20/2021	3,870.00
00759610	122941	TRI-COUNTY HEALTH DEPT	5/20/2021	13,794.56
00759611	666214	TYGRET DEBRA R	5/20/2021	120.00
00759612	240959	UNITED HEALTHCARE	5/20/2021	8,000.00
00759616	1007	UNITED POWER (UNION REA)	5/20/2021	20,310.49
00759617	1007	UNITED POWER (UNION REA)	5/20/2021	72.60
00759618	1007	UNITED POWER (UNION REA)	5/20/2021	2,548.00
00759619	1007	UNITED POWER (UNION REA)	5/20/2021	21,215.00
00759620	1007	UNITED POWER (UNION REA)	5/20/2021	3,850.16
00759621	1007	UNITED POWER (UNION REA)	5/20/2021	6,732.57
00759622	1007	UNITED POWER (UNION REA)	5/20/2021	660.24
00759623	1007	UNITED POWER (UNION REA)	5/20/2021	19,469.58
00759624	1007	UNITED POWER (UNION REA)	5/20/2021	67.13
00759625	1007	UNITED POWER (UNION REA)	5/20/2021	7,072.45
00759626	1007	UNITED POWER (UNION REA)	5/20/2021	51.35
00759630	20730	UNITED STATES POSTAL SERVICE	5/20/2021	1,320.00
00759631	28566	VERIZON WIRELESS	5/20/2021	370.84
00759633	57006	WOBBEKIND RICHARD	5/20/2021	1,038.18
00759634	13822	XCEL ENERGY	5/20/2021	4,062.63
00759635	13822	XCEL ENERGY	5/20/2021	1,318.13
00759636	13822	XCEL ENERGY	5/20/2021	1,131.76
00759637	13822	XCEL ENERGY	5/20/2021	3,097.00
00759638	13822	XCEL ENERGY	5/20/2021	6,938.30
00759639	13822	XCEL ENERGY	5/20/2021	3,567.62
00759640	13822	XCEL ENERGY	5/20/2021	7,500.62

Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00759641	13822	XCEL ENERGY	5/20/2021	7,455.75
00759642	13822	XCEL ENERGY	5/20/2021	2,234.28
00759643	13822	XCEL ENERGY	5/20/2021	596.74
00759644	13822	XCEL ENERGY	5/20/2021	267.42
00759645	13822	XCEL ENERGY	5/20/2021	307.61
00759646	13822	XCEL ENERGY	5/20/2021	444.03
00759647	13822	XCEL ENERGY	5/20/2021	504.19
00759648	13822	XCEL ENERGY	5/20/2021	670.29
00759649	13822	XCEL ENERGY	5/20/2021	715.86
00759650	13822	XCEL ENERGY	5/20/2021	5,566.13
00759651	13822	XCEL ENERGY	5/20/2021	351.96
00759652	13822	XCEL ENERGY	5/20/2021	89.24
00759653	13822	XCEL ENERGY	5/20/2021	248.99
00759654	13822	XCEL ENERGY	5/20/2021	195.87
00759657	378168	ZOETIS US LLC	5/20/2021	343.80
Fund Total				1,355,604.52

County of Adams
Net Warrants by Fund Detail

<u>4</u>		<u>Capital Facilities Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00759592	248870	ROTH SHEPPARD ARCHITECTS	5/20/2021	18,825.00	
Fund Total				18,825.00	

Net Warrants by Fund Detail

5Golf Course Enterprise Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007561	6177	PROFESSIONAL RECREATION MGMT I	5/20/2021	51,636.77
00759478	8579	AGFINITY INC	5/20/2021	1,179.75
00759481	12012	ALSCO AMERICAN INDUSTRIAL	5/20/2021	56.13
00759494	9822	BUCKEYE WELDING SUPPLY CO INC	5/20/2021	90.70
00759544	649113	HOSEPOWER USA AND/OR COMPLETE	5/20/2021	333.46
00759558	4958	KIMBALL MIDWEST	5/20/2021	299.77
00759561	11496	L L JOHNSON DIST	5/20/2021	1,126.08
00759573	41651	NAPA	5/20/2021	332.83
00759587	430098	REPUBLIC SERVICES #535	5/20/2021	633.11
00759655	13822	XCEL ENERGY	5/20/2021	605.16
00759656	13822	XCEL ENERGY	5/20/2021	1,108.45
Fund Total				57,402.21

County of Adams
Net Warrants by Fund Detail

6 Equipment Service Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00759549	682207	INSIGHT AUTO GLASS LLC	5/20/2021	785.34
00759593	16237	SAM HILL OIL INC	5/20/2021	43,168.49
00759608	790907	THE GOODYEAR TIRE AND RUBBER C	5/20/2021	1,760.33
Fund Total				45,714.16

County of Adams
Net Warrants by Fund Detail

<u>7</u>		<u>Stormwater Utility Fund</u>			
<u>Warrant</u>		<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00759498		1170375	CHEA ENG	5/20/2021	63.56
00759565		1170374	LOPEZ DIANA	5/20/2021	50.87
				Fund Total	114.43

Net Warrants by Fund Detail

13Road & Bridge Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007565	171233	LAND TITLE GUARANTEE COMPANY	5/21/2021	67,111.00
00007568	982994	WESTERN STATES LAND SERVICES L	5/21/2021	331.12
00759520	1165651	DEASY SEAN M	5/20/2021	200.00
00759541	92426	HDR ENGINEERING INC	5/20/2021	91,007.75
00759556	28851	JR ENGINEERING LTD	5/20/2021	149,617.43
00759572	1130185	MYERS AND SONS CONSTRUCTION LL	5/20/2021	53,638.13
00759589	147080	ROCKSOL CONSULTING GROUP INC	5/20/2021	70,283.21
00759601	173676	STANTEC CONSULTING CORPORATION	5/20/2021	26,008.25
Fund Total				458,196.89

Net Warrants by Fund Detail

19**Insurance Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007563	37223	UNITED HEALTH CARE INSURANCE C	5/20/2021	302,217.00
00007567	523053	TRISTAR RISK MANAGEMENT	5/21/2021	5,002.00
00759486	1170194	BAUMGARTNER LAW LLC	5/20/2021	74,000.00
00759489	31729	BOBCAT OF THE ROCKIES	5/20/2021	1,584.41
00759508	17565	COLO FRAME & SUSPENSION	5/20/2021	9,043.22
00759522	13663	DELTA DENTAL OF COLORADO	5/20/2021	15,377.85
00759530	346750	FACTORY MOTOR PARTS	5/20/2021	1,469.30
00759532	947425	FIRST AMERICAN ADMINISTRATORS	5/20/2021	172.87
00759542	883606	HENDERSON CONSULTING AND EAP S	5/20/2021	249.00
00759545	1170210	HUMAN RIGHTS DEFENSE CENTER	5/20/2021	115,000.00
00759562	1101992	LACHANCE SCOTT J	5/20/2021	3,050.00
00759574	61886	NATHAN DUMM & MAYER PC	5/20/2021	182.00
00759579	434013	OWENS, DIANE	5/20/2021	1,043.63
00759586	1167369	RAMOS LAW	5/20/2021	321,582.89
00759595	46792	SECURE HORIZONS	5/20/2021	14,458.44
00759598	16349	SHIPLEY DAVID M	5/20/2021	80.00
00759613	37507	UNITED HEALTHCARE	5/20/2021	1,626.12
00759614	240958	UNITED HEALTHCARE	5/20/2021	17,421.80
00759615	240959	UNITED HEALTHCARE	5/20/2021	39,659.36
00759632	377265	WEATHERCALL SERVICES LLC	5/20/2021	2,491.85
00759658	68455	ANDERSON MANDY L	5/21/2021	40,000.00
Fund Total				965,711.74

County of Adams
Net Warrants by Fund Detail

<u>27</u>		<u>Open Space Projects Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00759493	523308	BROTHERS PAINTING	5/20/2021	1,950.00	
Fund Total				1,950.00	

County of Adams
Net Warrants by Fund Detail

<u>28</u>		<u>Open Space Sales Tax Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00007555	1019665	BRIGHTON CITY OF	5/20/2021	5,000.00	
Fund Total				5,000.00	

Net Warrants by Fund Detail

30Community Dev Block Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007546	1152902	LUCEROS LLC	5/18/2021	11,046.00
00007548	866134	PG CONSTRUCTION SERVICES INC	5/18/2021	33,677.00
00007551	29064	TIERRA ROJO CORPORATION	5/18/2021	14,675.60
00007552	1130188	UNTERSEHER ORTHODONTICS PLLC	5/18/2021	10,746.50
00759484	1142735	ARROW DENTAL	5/20/2021	8,270.00
00759523	1128771	DENVER BEVERAGE	5/20/2021	17,500.00
00759533	1139556	FLOODSTAGE ALE WORKS LLC	5/20/2021	8,734.00
00759537	1152907	GOODY'S EATERY	5/20/2021	8,900.00
Fund Total				113,549.10

Net Warrants by Fund Detail

31Head Start Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00759496	37266	CENTURY LINK	5/20/2021	149.86
00759497	37266	CENTURY LINK	5/20/2021	149.68
00759500	327250	CINTAS CORPORATION NO 2	5/20/2021	160.89
00759503	5078	COLO DEPT OF HUMAN SERVICES	5/20/2021	35.00
00759504	54679	COLO DEPT OF HUMAN SERVICES	5/20/2021	444.00
00759526	1052031	DFA DAIRY BRANDS CORPORATE LLC	5/20/2021	255.00
00759606	13770	SYSCO DENVER	5/20/2021	1,205.77
Fund Total				2,400.20

Net Warrants by Fund Detail

34Comm Services Blk Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00759474	30283	ACCESS HOUSING	5/20/2021	5,782.47
00759475	258636	ADAMS COUNTY FOOD BANK	5/20/2021	13,522.04
00759527	190240	ECPAC	5/20/2021	178.90
00759531	8818069	FAMILY TREE INC	5/20/2021	1,853.78
00759538	44825	GROWING HOME INC	5/20/2021	6,163.52
00759551	32276	INSIGHT PUBLIC SECTOR	5/20/2021	233.98
00759582	189016	PROJECT ANGEL HEART	5/20/2021	14,052.71
00759597	58925	SERVICIOS DE LA RAZA INC	5/20/2021	8,041.53
Fund Total				49,828.93

County of Adams
Net Warrants by Fund Detail

<u>35</u>		<u>Workforce & Business Center</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00759539	44825	GROWING HOME INC	5/20/2021	618.75	
00759552	32276	INSIGHT PUBLIC SECTOR	5/20/2021	15,789.86	
			Fund Total	16,408.61	

Net Warrants by Fund Detail

43

Colorado Air & Space Port

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007547	80249	OFFEN PETROLEUM INC	5/18/2021	1,955.99
00007564	709816	CITY SERVICEVALCON LLC	5/21/2021	29,669.88
00759483	228213	ARAMARK REFRESHMENT SERVICES	5/20/2021	133.16
00759559	358103	KIMLEY-HORN AND ASSOCIATES INC	5/20/2021	11,880.12
00759590	44131	ROGGEN FARMERS ELEVATOR ASSN	5/20/2021	2,387.00
00759591	109815	ROOD & ASSOCIATES	5/20/2021	3,200.00
Fund Total				<hr/> 49,226.15

County of Adams
Net Warrants by Fund Detail

50 FLATROCK Facility Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00759627	1007	UNITED POWER (UNION REA)	5/20/2021	1,689.75
00759628	1007	UNITED POWER (UNION REA)	5/20/2021	49.30
00759629	1007	UNITED POWER (UNION REA)	5/20/2021	149.91
Fund Total				1,888.96

Net Warrants by Fund Detail

94Sheriff Payables

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00759501	95935	CLERK OF THE COUNTY COURT	5/20/2021	830.00
00759502	5556	COLO BUREAU INVESTIGATION-IDEN	5/20/2021	24,923.00
00759505	92474	COLO DEPT OF HUMAN SERVICES	5/20/2021	1,020.00
00759511	44915	COLO JUDICIAL DEPT	5/20/2021	83.00
Fund Total				26,856.00

County of Adams
Net Warrants by Fund Detail

Grand Total 3,168,676.90

County of Adams
Vendor Payment Report

<u>2051</u>	<u>ANS - Admin & Customer Care</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	ARAMARK REFRESHMENT SERVICES	00001	996105	392005	5/19/2021	184.93
					Account Total	184.93
					Department Total	184.93

County of Adams
Vendor Payment Report

<u>1074</u>	<u>CA- Risk Management</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Safety - Training					
	WEATHERCALL SERVICES LLC	00019	995650	391403	5/11/2021	2,491.85
					Account Total	2,491.85
					Department Total	2,491.85

County of Adams
Vendor Payment Report

<u>4</u>	<u>Capital Facilities Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	ROTH SHEPPARD ARCHITECTS	00004	996157	392107	5/20/2021	18,825.00
					Account Total	18,825.00
					Department Total	18,825.00

County of Adams
Vendor Payment Report

<u>4302</u>	<u>CASP Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Coffee					
	ARAMARK REFRESHMENT SERVICES	00043	996139	392033	5/19/2021	66.58
					Account Total	66.58
	Other Professional Serv					
	ROOD & ASSOCIATES	00043	995942	391742	5/14/2021	3,200.00
					Account Total	3,200.00
					Department Total	3,266.58

County of Adams
Vendor Payment Report

<u>4303</u>	<u>CASP FBO</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Coffee					
	ARAMARK REFRESHMENT SERVICES	00043	996139	392033	5/19/2021	66.58
					Account Total	66.58
					Department Total	66.58

County of Adams
Vendor Payment Report

<u>4304</u>	<u>CASP Operations/Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	ROGGEN FARMERS ELEVATOR ASSN	00043	995940	391742	5/14/2021	2,079.00
	ROGGEN FARMERS ELEVATOR ASSN	00043	995941	391742	5/14/2021	308.00
					Account Total	2,387.00
	Gasoline					
	OFFEN PETROLEUM INC	00043	995939	391741	5/14/2021	1,955.99
					Account Total	1,955.99
					Department Total	4,342.99

County of Adams
Vendor Payment Report

<u>941018</u>	<u>CDBG 2018/2019</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Inst.-Pgm. Cst					
	ARROW DENTAL	00030	994714	390285	4/27/2021	8,270.00
	DENVER BEVERAGE	00030	995697	391426	5/11/2021	17,500.00
	FLOODSTAGE ALE WORKS LLC	00030	995191	390496	4/29/2021	8,734.00
	GOODY'S EATERY	00030	995698	391427	5/11/2021	8,900.00
	LUCEROS LLC	00030	995477	390973	5/5/2021	11,046.00
					Account Total	54,450.00
	Grants to Other Institutions					
	PG CONSTRUCTION SERVICES INC	00030	995644	391238	5/7/2021	4,240.00
	PG CONSTRUCTION SERVICES INC	00030	995357	390851	5/4/2021	14,262.00
	PG CONSTRUCTION SERVICES INC	00030	995358	390852	5/4/2021	15,175.00
	TIERRA ROJO CORPORATION	00030	995696	391425	5/11/2021	14,675.60
	UNTERSEHER ORTHODONTICS PLLC	00030	995359	390853	5/4/2021	10,746.50
					Account Total	59,099.10
					Department Total	113,549.10

County of Adams
Vendor Payment Report

<u>1020</u>	<u>CLK Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Printing External					
	COPYCO QUALITY PRINTING INC	00001	996112	392009	5/19/2021	80.00
					Account Total	80.00
					Department Total	80.00

County of Adams
Vendor Payment Report

<u>1022</u>	<u>CLK Elections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Destruction of Records					
	SHRED IT USA LLC	00001	996115	392009	5/19/2021	892.00
					Account Total	892.00
	Printing External					
	COPYCO QUALITY PRINTING INC	00001	996113	392009	5/19/2021	120.00
					Account Total	120.00
	Subscrip/Publications					
	170 SCOUT THE	00001	996114	392009	5/19/2021	70.00
					Account Total	70.00
					Department Total	1,082.00

County of Adams
Vendor Payment Report

1023	CLK Motor Vehicle	Fund	Voucher	Batch No	GL Date	Amount
	Printing External					
	COPYCO QUALITY PRINTING INC	00001	996109	392009	5/19/2021	49.98
	COPYCO QUALITY PRINTING INC	00001	996110	392009	5/19/2021	80.00
	COPYCO QUALITY PRINTING INC	00001	996111	392009	5/19/2021	600.00
					Account Total	729.98
					Department Total	729.98

County of Adams
Vendor Payment Report

<u>1021</u>	<u>CLK Recording</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Printing External					
	COPYCO QUALITY PRINTING INC	00001	996108	392009	5/19/2021	300.00
					Account Total	300.00
					Department Total	300.00

County of Adams
Vendor Payment Report

<u>97745</u>	<u>CO Responds Program</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Clnt Trng-Work Experience					
	GROWING HOME INC	00035	996025	391926	5/18/2021	618.75
					Account Total	618.75
					Department Total	618.75

County of Adams
Vendor Payment Report

<u>43</u>	<u>Colorado Air & Space Port</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	CITY SERVICEVALCON LLC	00043	996258	392212	5/21/2021	29,669.88
	KIMLEY-HORN AND ASSOCIATES INC	00043	996037	391986	5/19/2021	11,880.12
					Account Total	41,550.00
					Department Total	41,550.00

County of Adams
Vendor Payment Report

<u>34</u>	<u>Comm Services Blk Grant Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	INSIGHT PUBLIC SECTOR	00034	996208	392107	5/20/2021	233.98
					Account Total	233.98
					Department Total	233.98

County of Adams
Vendor Payment Report

<u>9264</u>	<u>Community Recovery</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Institutions					
	L & A COFFEE LLC	00001	996141	392037	5/19/2021	7,000.00
					Account Total	7,000.00
	Janitorial Services					
	COMMERCIAL CLEANING SYSTEMS	00001	996021	391918	5/18/2021	2,450.00
					Account Total	2,450.00
	Operating Supplies					
	SYNERGETIC STAFFING LLC	00001	995651	391403	5/11/2021	6,227.84
	SYNERGETIC STAFFING LLC	00001	995652	391403	5/11/2021	6,204.16
					Account Total	12,432.00
					Department Total	21,882.00

County of Adams
Vendor Payment Report

<u>1013</u>	<u>County Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	AB LITIGATION SERVICES	00001	996135	392024	5/19/2021	687.14
					Account Total	687.14
					Department Total	687.14

County of Adams
Vendor Payment Report

<u>951016</u>	<u>CSBG</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	ACCESS HOUSING	00034	995701	391430	5/11/2021	5,782.47
	ADAMS COUNTY FOOD BANK	00034	995702	391430	5/11/2021	13,522.04
	ECPAC	00034	995703	391430	5/11/2021	178.90
	FAMILY TREE INC	00034	995704	391430	5/11/2021	1,853.78
	GROWING HOME INC	00034	995959	391900	5/13/2021	1,912.37
	GROWING HOME INC	00034	995960	391900	5/13/2021	4,251.15
	PROJECT ANGEL HEART	00034	995705	391430	5/11/2021	4,489.87
	PROJECT ANGEL HEART	00034	995706	391430	5/11/2021	9,562.84
	SERVICIOS DE LA RAZA INC	00034	995707	391430	5/11/2021	8,041.53
					Account Total	49,594.95
					Department Total	49,594.95

County of Adams
Vendor Payment Report

<u>1051</u>	<u>District Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Business Meetings					
	COLO DIST ATTORNEY COUNCIL	00001	996116	392014	5/19/2021	85.46
					Account Total	85.46
	Court Reporting Transcripts					
	GOODBEE MICHELLE	00001	996118	392014	5/19/2021	21.00
	STOEFFLER REBECCA E	00001	995951	391819	5/17/2021	213.75
					Account Total	234.75
	Other Professional Serv					
	CINA & CINA FORENSIC CONSULTIN	00001	995952	391820	5/17/2021	211.25
	CINA & CINA FORENSIC CONSULTIN	00001	995952	391820	5/17/2021	505.00
	CINA & CINA FORENSIC CONSULTIN	00001	995952	391820	5/17/2021	235.00
	COLO INFORMATION SHARING CONSO	00001	996117	392014	5/19/2021	308.00
	COLO INFORMATION SHARING CONSO	00001	996117	392014	5/19/2021	308.00
	HAMMERTON N SUSAN	00001	996119	392014	5/19/2021	430.00
					Account Total	1,997.25
	Witness Fees					
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	996120	392014	5/19/2021	20.79
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	996121	392014	5/19/2021	21.06
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	996121	392014	5/19/2021	21.12
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	996121	392014	5/19/2021	14.10
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	996121	392014	5/19/2021	14.10
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	996122	392014	5/19/2021	12.72
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	996122	392014	5/19/2021	12.72
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	996122	392014	5/19/2021	11.92
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	996122	392014	5/19/2021	21.28
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	996122	392014	5/19/2021	11.92
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	996123	392014	5/19/2021	21.30
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	996124	392014	5/19/2021	24.02
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	996125	392014	5/19/2021	12.21
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	996125	392014	5/19/2021	23.38
	ADCO DISTRICT ATTORNEY'S OFFIC	00001	996125	392014	5/19/2021	12.22
					Account Total	254.86
					Department Total	2,572.32

County of Adams
Vendor Payment Report

<u>6</u>	<u>Equipment Service Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	INSIGHT AUTO GLASS LLC	00006	996064	391986	5/19/2021	281.73
	INSIGHT AUTO GLASS LLC	00006	996065	391986	5/19/2021	40.00
	INSIGHT AUTO GLASS LLC	00006	996211	392107	5/20/2021	40.00
	INSIGHT AUTO GLASS LLC	00006	996212	392107	5/20/2021	423.61
	SAM HILL OIL INC	00006	996210	392107	5/20/2021	17,140.02
	SAM HILL OIL INC	00006	996067	391986	5/19/2021	16,076.22
	SAM HILL OIL INC	00006	996068	391986	5/19/2021	8,959.89
	SAM HILL OIL INC	00006	996054	391986	5/19/2021	992.36
	THE GOODYEAR TIRE AND RUBBER C	00006	996069	391986	5/19/2021	1,141.13
	THE GOODYEAR TIRE AND RUBBER C	00006	996066	391986	5/19/2021	619.20
					Account Total	45,714.16
					Department Total	45,714.16

County of Adams
Vendor Payment Report

9244	Extension- 4-H/Youth	Fund	Voucher	Batch No	GL Date	Amount
	Operating Supplies					
	COLORADO STATE UNIVERSITY	00001	995897	391721	5/14/2021	300.00
	DENVER COUNTY EXTENSION	00001	995896	391721	5/14/2021	200.00
					Account Total	500.00
					Department Total	500.00

County of Adams
Vendor Payment Report

<u>1091</u>	<u>FO - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Rental					
	BENNETT TOWN OF	00001	996016	391918	5/18/2021	3,000.00
					Account Total	3,000.00
					Department Total	3,000.00

County of Adams
Vendor Payment Report

<u>1060</u>	<u>FO - Community Corrections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11693	00001	995901	391735	5/5/2021	4,062.63
					Account Total	4,062.63
					Department Total	4,062.63

County of Adams
Vendor Payment Report

<u>1114</u>	<u>FO - District Attorney Bldg.</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11671	00001	995925	391735	5/5/2021	6,732.57
	Energy Cap Bill ID=11683	00001	995926	391735	4/26/2021	715.86
					Account Total	7,448.43
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=11667	00001	995927	391735	5/5/2021	496.89
					Account Total	496.89
					Department Total	7,945.32

County of Adams
Vendor Payment Report

<u>2090</u>	<u>FO - Flatrock Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11675	00050	995934	391735	5/5/2021	1,689.75
	Energy Cap Bill ID=11676	00050	995935	391735	5/5/2021	49.30
	Energy Cap Bill ID=11677	00050	995936	391735	5/5/2021	149.91
	Energy Cap Bill ID=11680	00050	995937	391735	4/26/2021	89.24
	Energy Cap Bill ID=11682	00050	995938	391735	4/26/2021	248.99
					Account Total	2,227.19
					Department Total	2,227.19

County of Adams
Vendor Payment Report

<u>1077</u>	<u>FO - Government Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	SECURITY & SAFE OF COLORADO IN	00001	996019	391918	5/18/2021	388.80
					Account Total	388.80
	Gas & Electricity					
	Energy Cap Bill ID=11661	00001	995912	391735	5/5/2021	2,548.00
	Energy Cap Bill ID=11663	00001	995913	391735	5/5/2021	21,215.00
	Energy Cap Bill ID=11681	00001	995914	391735	4/27/2021	3,567.62
					Account Total	27,330.62
	Maintenance Contracts					
	SUMMIT LABORATORIES INC	00001	996020	391918	5/18/2021	480.00
					Account Total	480.00
					Department Total	28,199.42

County of Adams
Vendor Payment Report

<u>1070</u>	<u>FO - Honnen/Plan&Devel/MV Ware</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11660	00001	995902	391735	5/3/2021	1,318.13
	Energy Cap Bill ID=11684	00001	995903	391735	4/23/2021	1,131.76
	Energy Cap Bill ID=11688	00001	995904	391735	4/23/2021	3,097.00
					Account Total	5,546.89
					Department Total	5,546.89

County of Adams
Vendor Payment Report

<u>1079</u>	<u>FO - Human Services Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11686	00001	995915	391735	4/28/2021	7,500.62
	Energy Cap Bill ID=11689	00001	995916	391735	4/28/2021	7,455.75
	Energy Cap Bill ID=11690	00001	995917	391735	4/28/2021	2,234.28
					Account Total	17,190.65
	Other Communications					
	T MOBILE	00001	996018	391918	5/18/2021	30.91
					Account Total	30.91
					Department Total	17,221.56

County of Adams
Vendor Payment Report

<u>1071</u>	<u>FO - Justice Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11670	00001	995905	391735	5/5/2021	20,310.49
	Energy Cap Bill ID=11672	00001	995906	391735	5/5/2021	72.60
					Account Total	20,383.09
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=11665	00001	995907	391735	5/5/2021	2,042.38
					Account Total	2,042.38
					Department Total	22,425.47

County of Adams
Vendor Payment Report

<u>1019</u>	<u>FO - Mailroom & Dock</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Postage & Freight					
	UNITED STATES POSTAL SERVICE	00001	996014	391917	5/18/2021	1,320.00
					Account Total	1,320.00
					Department Total	1,320.00

County of Adams
Vendor Payment Report

<u>1111</u>	<u>FO - Parks Facilities</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11678	00001	995918	391735	4/27/2021	596.74
	Energy Cap Bill ID=11679	00001	995919	391735	4/27/2021	267.42
	Energy Cap Bill ID=11692	00001	995920	391735	4/27/2021	307.61
	Energy Cap Bill ID=11694	00001	995921	391735	4/27/2021	444.03
	Energy Cap Bill ID=11695	00001	995922	391735	4/27/2021	504.19
	Energy Cap Bill ID=11696	00001	995923	391735	4/27/2021	670.29
	UNITED POWER (UNION REA)	00001	996015	391918	5/18/2021	51.35
					Account Total	2,841.63
					Department Total	2,841.63

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Vendor Payment Report

<u>1123</u>	<u>FO - Riverdale Animal Shelter</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11687	00001	995928	391735	4/27/2021	5,566.13
					Account Total	5,566.13
					Department Total	5,566.13

County of Adams
Vendor Payment Report

<u>1112</u>	<u>FO - Sheriff HQ/Coroner Bldg</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11674	00001	995924	391735	5/5/2021	3,850.16
					Account Total	3,850.16
					Department Total	3,850.16

County of Adams
Vendor Payment Report

<u>2009</u>	<u>FO - Sheriff Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11666	00001	995929	391735	5/5/2021	660.24
	Energy Cap Bill ID=11668	00001	995930	391735	5/5/2021	19,469.58
	Energy Cap Bill ID=11669	00001	995931	391735	5/5/2021	67.13
	Energy Cap Bill ID=11673	00001	995932	391735	5/5/2021	7,072.45
	Energy Cap Bill ID=11685	00001	995933	391735	4/23/2021	351.96
					Account Total	27,621.36
					Department Total	27,621.36

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Vendor Payment Report

<u>1075</u>	<u>FO - Strasburg/Whittier</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11662	00001	995909	391735	4/20/2021	46.73
	Energy Cap Bill ID=11664	00001	995910	391735	5/1/2021	209.02
					Account Total	255.75
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=11659	00001	995911	391735	4/30/2021	86.32
	SWIMS DISPOSAL	00001	996017	391918	5/18/2021	95.00
					Account Total	181.32
					Department Total	437.07

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Vendor Payment Report

<u>1072</u>	<u>FO - West Services Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11691	00001	995908	391735	4/28/2021	6,938.30
					Account Total	6,938.30
					Department Total	6,938.30

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<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Deposits Payable					
	COLO GEOLOGICAL SURVEY	00001	995900	391734	5/14/2021	3,600.00
	TRI COUNTY HEALTH DEPT	00001	995899	391734	5/14/2021	3,870.00
					Account Total	7,470.00
	Received not Vouchered Clrg					
	ADAMSON POLICE PRODUCTS	00001	996213	392107	5/20/2021	1,070.00
	ADAMSON POLICE PRODUCTS	00001	996214	392107	5/20/2021	1,554.00
	ADAMSON POLICE PRODUCTS	00001	996215	392107	5/20/2021	546.00
	ALSCO AMERICAN INDUSTRIAL	00001	996216	392107	5/20/2021	217.94
	ANGEL ARMOR LLC	00001	996142	392040	5/19/2021	3,266.80
	ANGEL ARMOR LLC	00001	996143	392040	5/19/2021	125.00
	B&R INDUSTRIES	00001	996144	392040	5/19/2021	600.00
	BAYAUD ENTERPRISES INC	00001	996160	392107	5/20/2021	21,754.28
	C & R ELECTRICAL CONTRACTORS I	00001	996060	391986	5/19/2021	20,406.00
	CHP METRO NORTH LLC	00001	996155	392107	5/20/2021	1,050.00
	COCREATE COEVOLVE LLC	00001	996145	392040	5/19/2021	125.00
	COCREATE COEVOLVE LLC	00001	996145	392040	5/19/2021	250.00
	COLO DIST ATTORNEY COUNCIL	00001	996029	391986	5/19/2021	3,364.90
	COMCAST BUSINESS	00001	996169	392107	5/20/2021	2,100.00
	CONVERGINT TECHNOLOGIES LLC	00001	996033	391986	5/19/2021	4,918.06
	DESIGN WORKSHOP	00001	996035	391986	5/19/2021	6,523.50
	DESIGN WORKSHOP	00001	996036	391986	5/19/2021	5,471.00
	DLR GROUP	00001	996146	392040	5/19/2021	15,365.00
	ELITE REFRIGERATION	00001	996061	391986	5/19/2021	54,264.00
	ELITE REFRIGERATION	00001	996062	391986	5/19/2021	48,837.60
	FOUND MY KEYS	00001	996218	392107	5/20/2021	604.77
	FOUND MY KEYS	00001	996219	392107	5/20/2021	1,342.00
	G4S SECURE SOLUTIONS USA INC	00001	996147	392040	5/19/2021	4,379.30
	G4S SECURE SOLUTIONS USA INC	00001	996148	392040	5/19/2021	4,454.79
	G4S SECURE SOLUTIONS USA INC	00001	996149	392040	5/19/2021	4,301.58
	G4S SECURE SOLUTIONS USA INC	00001	996150	392040	5/19/2021	4,349.85
	G4S SECURE SOLUTIONS USA INC	00001	996151	392040	5/19/2021	4,315.95
	GALLS LLC	00001	996176	392107	5/20/2021	121.35
	GALLS LLC	00001	996177	392107	5/20/2021	125.82
	GALLS LLC	00001	996178	392107	5/20/2021	108.51

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<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	GALLS LLC	00001	996179	392107	5/20/2021	18.30
	GALLS LLC	00001	996179	392107	5/20/2021	107.52
	GALLS LLC	00001	996180	392107	5/20/2021	276.56
	GALLS LLC	00001	996181	392107	5/20/2021	71.90
	GALLS LLC	00001	996182	392107	5/20/2021	30.24
	GALLS LLC	00001	996183	392107	5/20/2021	41.04
	GALLS LLC	00001	996184	392107	5/20/2021	107.23
	GALLS LLC	00001	996185	392107	5/20/2021	139.97
	GALLS LLC	00001	996186	392107	5/20/2021	174.51
	GALLS LLC	00001	996187	392107	5/20/2021	60.30
	GALLS LLC	00001	996188	392107	5/20/2021	61.30
	GALLS LLC	00001	996189	392107	5/20/2021	61.30
	GALLS LLC	00001	996190	392107	5/20/2021	566.70
	GALLS LLC	00001	996191	392107	5/20/2021	190.92
	GALLS LLC	00001	996192	392107	5/20/2021	534.31
	GALLS LLC	00001	996193	392107	5/20/2021	174.51
	GALLS LLC	00001	996194	392107	5/20/2021	58.17
	GALLS LLC	00001	996195	392107	5/20/2021	132.30
	GALLS LLC	00001	996196	392107	5/20/2021	161.50
	GALLS LLC	00001	996197	392107	5/20/2021	68.91
	GALLS LLC	00001	996198	392107	5/20/2021	157.11
	GALLS LLC	00001	996199	392107	5/20/2021	25.75
	GALLS LLC	00001	996200	392107	5/20/2021	420.00
	GALLS LLC	00001	996201	392107	5/20/2021	66.99
	GALLS LLC	00001	996202	392107	5/20/2021	112.00
	GALLS LLC	00001	996203	392107	5/20/2021	55.65
	GALLS LLC	00001	996204	392107	5/20/2021	1,548.50
	HILL & ROBBINS	00001	996153	392107	5/20/2021	580.00
	IDEXX DISTRIBUTION INC	00001	996056	391986	5/19/2021	1,177.17
	IDEXX DISTRIBUTION INC	00001	996053	391986	5/19/2021	482.01
	IDEXX DISTRIBUTION INC	00001	996175	392107	5/20/2021	77.00
	INSIGHT PUBLIC SECTOR	00001	996158	392107	5/20/2021	3,966.84
	INSIGHT PUBLIC SECTOR	00001	996159	392107	5/20/2021	4,021.35
	INSIGHT PUBLIC SECTOR	00001	996205	392107	5/20/2021	365,930.53
	INSIGHT PUBLIC SECTOR	00001	996206	392107	5/20/2021	192,132.56
	J. BROWER PSYCHOLOGICAL SERVIC	00001	996217	392107	5/20/2021	1,300.00

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<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	JOSHUA B EPEL ESQ PLLC	00001	996057	391986	5/19/2021	10,720.00
	MOBILE STORAGE SOLUTIONS	00001	996058	391986	5/19/2021	532.00
	MOTOROLA SOLUTIONS INC	00001	996167	392107	5/20/2021	19,841.40
	MOTOROLA SOLUTIONS INC	00001	996168	392107	5/20/2021	22,514.46
	MWI VETERINARY SUPPLY CO	00001	996042	391986	5/19/2021	181.46
	MWI VETERINARY SUPPLY CO	00001	996043	391986	5/19/2021	19.50
	MWI VETERINARY SUPPLY CO	00001	996044	391986	5/19/2021	225.60
	MWI VETERINARY SUPPLY CO	00001	996045	391986	5/19/2021	245.86
	MWI VETERINARY SUPPLY CO	00001	996046	391986	5/19/2021	283.88
	MWI VETERINARY SUPPLY CO	00001	996047	391986	5/19/2021	71.57
	MWI VETERINARY SUPPLY CO	00001	996048	391986	5/19/2021	437.34
	MWI VETERINARY SUPPLY CO	00001	996049	391986	5/19/2021	77.28
	MWI ANIMAL HEALTH	00001	996163	392107	5/20/2021	147.11
	MWI ANIMAL HEALTH	00001	996164	392107	5/20/2021	78.28
	MWI ANIMAL HEALTH	00001	996165	392107	5/20/2021	1,269.19
	MWI ANIMAL HEALTH	00001	996166	392107	5/20/2021	125.94
	NAVEX GLOBAL INC	00001	996259	392212	5/21/2021	24,921.57
	OLD VINE PINNACLE ASSOCIATES	00001	996152	392107	5/20/2021	800.00
	PATTERSON VETERINARY SUPPLY IN	00001	996050	391986	5/19/2021	107.96
	PATTERSON VETERINARY SUPPLY IN	00001	996051	391986	5/19/2021	6.56
	PATTERSON VETERINARY SUPPLY IN	00001	996052	391986	5/19/2021	18.00
	PATTERSON VETERINARY SUPPLY IN	00001	996063	391986	5/19/2021	127.98
	PUSH PEDAL PULL INC	00001	996220	392107	5/20/2021	375.00
	ROADRUNNER PHARMACY INCORPORAT	00001	996173	392107	5/20/2021	394.50
	ROADRUNNER PHARMACY INCORPORAT	00001	996173	392107	5/20/2021	169.88
	ROADRUNNER PHARMACY INCORPORAT	00001	996174	392107	5/20/2021	54.00
	ROADRUNNER PHARMACY INCORPORAT	00001	996055	391986	5/19/2021	48.00
	SENIOR HUB THE	00001	995987	391912	5/18/2021	2,500.00
	SENIOR HUB THE	00001	995989	391912	5/18/2021	2,500.00
	SPACE CONCEPTS INC	00001	996222	392107	5/20/2021	864.18
	TYGRET DEBRA R	00001	996221	392107	5/20/2021	120.00
	ZOETIS US LLC	00001	996209	392107	5/20/2021	343.80
Account Total						881,126.25
Department Total						888,596.25

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<u>9252</u>	<u>GF- Admin/Org Support</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Membership Dues					
	ASIAN CHAMBER OF COMMERCE	00001	996140	392035	5/19/2021	500.00
					Account Total	500.00
	Other Professional Serv					
	JUSTICE BENEFITS INC	00001	994250	389571	4/16/2021	1,452.00
	RAFTELIS FINANCIAL CONSULTANTS	00001	995810	391632	5/13/2021	15,000.00
	WOBBEKIND RICHARD	00001	996242	392119	5/20/2021	1,038.18
					Account Total	17,490.18
					Department Total	17,990.18

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<u>5026</u>	<u>Golf Course- Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	PROFESSIONAL RECREATION MGMT I	00005	996132	392020	5/19/2021	31.57
					Account Total	31.57
	Contract Employment					
	PROFESSIONAL RECREATION MGMT I	00005	996132	392020	5/19/2021	22,843.41
	PROFESSIONAL RECREATION MGMT I	00005	996132	392020	5/19/2021	2,715.59
	PROFESSIONAL RECREATION MGMT I	00005	996132	392020	5/19/2021	429.68
					Account Total	25,988.68
	Equipment Rental					
	BUCKEYE WELDING SUPPLY CO INC	00005	996230	392111	5/20/2021	30.60
	BUCKEYE WELDING SUPPLY CO INC	00005	996231	392111	5/20/2021	60.10
					Account Total	90.70
	Gas & Electricity					
	XCEL ENERGY	00005	996239	392111	5/20/2021	605.16
	XCEL ENERGY	00005	996240	392111	5/20/2021	500.81
					Account Total	1,105.97
	Grounds Maintenance					
	AGFINITY INC	00005	996226	392111	5/20/2021	945.00
	AGFINITY INC	00005	996227	392111	5/20/2021	234.75
	L L JOHNSON DIST	00005	996236	392111	5/20/2021	1,126.08
	PROFESSIONAL RECREATION MGMT I	00005	996132	392020	5/19/2021	438.22
	PROFESSIONAL RECREATION MGMT I	00005	996132	392020	5/19/2021	86.66
					Account Total	2,830.71
	Repair & Maint Supplies					
	ALSCO AMERICAN INDUSTRIAL	00005	996228	392111	5/20/2021	56.13
	PROFESSIONAL RECREATION MGMT I	00005	996132	392020	5/19/2021	145.89
					Account Total	202.02
	Vehicle Parts & Supplies					
	HOSEPOWER USA AND/OR COMPLETE	00005	996229	392111	5/20/2021	333.46
	KIMBALL MIDWEST	00005	996232	392111	5/20/2021	357.57
	KIMBALL MIDWEST	00005	996235	392111	5/20/2021	74.06
	KIMBALL MIDWEST	00005	996233	392111	5/20/2021	67.51-
	KIMBALL MIDWEST	00005	996234	392111	5/20/2021	64.35-
	NAPA	00005	996237	392111	5/20/2021	332.83

County of Adams
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<u>5026</u>	<u>Golf Course- Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
					Account Total	966.06
					Department Total	31,215.71

County of Adams
Vendor Payment Report

5021	Golf Course- Pro Shop	Fund	Voucher	Batch No	GL Date	Amount
	Contract Employment					
	PROFESSIONAL RECREATION MGMT I	00005	996132	392020	5/19/2021	18,229.07
	PROFESSIONAL RECREATION MGMT I	00005	996132	392020	5/19/2021	2,234.84
	PROFESSIONAL RECREATION MGMT I	00005	996132	392020	5/19/2021	160.66
					Account Total	20,624.57
	Equipment Rental					
	PROFESSIONAL RECREATION MGMT I	00005	996132	392020	5/19/2021	944.00
					Account Total	944.00
	Gas & Electricity					
	XCEL ENERGY	00005	996240	392111	5/20/2021	607.64
					Account Total	607.64
	Golf Merchandise					
	PROFESSIONAL RECREATION MGMT I	00005	996132	392020	5/19/2021	139.80
					Account Total	139.80
	Insurance Premiums					
	PROFESSIONAL RECREATION MGMT I	00005	996132	392020	5/19/2021	558.56
					Account Total	558.56
	Membership Dues					
	PROFESSIONAL RECREATION MGMT I	00005	996132	392020	5/19/2021	1,894.00
					Account Total	1,894.00
	Other Professional Serv					
	PROFESSIONAL RECREATION MGMT I	00005	996132	392020	5/19/2021	51.71
					Account Total	51.71
	Postage & Freight					
	PROFESSIONAL RECREATION MGMT I	00005	996132	392020	5/19/2021	17.10
					Account Total	17.10
	Security Service					
	PROFESSIONAL RECREATION MGMT I	00005	996132	392020	5/19/2021	647.50
					Account Total	647.50
	Telephone					
	PROFESSIONAL RECREATION MGMT I	00005	996132	392020	5/19/2021	68.51
					Account Total	68.51

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Vendor Payment Report

<u>5021</u>	<u>Golf Course- Pro Shop</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	REPUBLIC SERVICES #535	00005	996238	392111	5/20/2021	633.11
					Account Total	633.11
					Department Total	26,186.50

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Vendor Payment Report

<u>31</u>	<u>Head Start Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	DFA DAIRY BRANDS CORPORATE LLC	00031	996038	391986	5/19/2021	45.00
	DFA DAIRY BRANDS CORPORATE LLC	00031	996039	391986	5/19/2021	60.00
	DFA DAIRY BRANDS CORPORATE LLC	00031	996040	391986	5/19/2021	45.00
	DFA DAIRY BRANDS CORPORATE LLC	00031	996041	391986	5/19/2021	60.00
	DFA DAIRY BRANDS CORPORATE LLC	00031	996223	392107	5/20/2021	45.00
	SYSCO DENVER	00031	996030	391986	5/19/2021	1,025.47
	SYSCO DENVER	00031	996030	391986	5/19/2021	180.30
					Account Total	1,460.77
					Department Total	1,460.77

County of Adams
Vendor Payment Report

<u>935121</u>	<u>HHS Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Licenses and Fees					
	COLO DEPT OF HUMAN SERVICES	00031	995776	391452	5/11/2021	444.00
					Account Total	444.00
	Operating Supplies					
	CINTAS CORPORATION NO 2	00031	995775	391452	5/11/2021	160.89
					Account Total	160.89
	Other Professional Serv					
	COLO DEPT OF HUMAN SERVICES	00031	995774	391452	5/11/2021	35.00
					Account Total	35.00
	Telephone					
	CENTURY LINK	00031	995772	391452	5/11/2021	149.86
	CENTURY LINK	00031	995773	391452	5/11/2021	149.68
					Account Total	299.54
					Department Total	939.43

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Vendor Payment Report

<u>2028</u>	<u>HIDTA Grant - NMTF</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	NORTH METRO TASK FORCE	00001	994393	389773	4/20/2021	62,466.39
	NORTH METRO TASK FORCE	00001	994394	389773	4/20/2021	173,426.99
					Account Total	235,893.38
					Department Total	235,893.38

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Vendor Payment Report

<u>8613</u>	<u>Insurance - UHC EPO Medical</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Claims					
	UNITED HEALTH CARE INSURANCE C	00019	996097	391997	5/19/2021	302,217.00
					Account Total	302,217.00
					Department Total	302,217.00

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<u>19</u>	<u>Insurance Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	COLO FRAME & SUSPENSION	00019	996170	392107	5/20/2021	6,648.71
	COLO FRAME & SUSPENSION	00019	996171	392107	5/20/2021	2,394.51
	FACTORY MOTOR PARTS	00019	996172	392107	5/20/2021	1,469.30
	HENDERSON CONSULTING AND EAP S	00019	996156	392107	5/20/2021	249.00
	NATHAN DUMM & MAYER PC	00019	996154	392107	5/20/2021	182.00
					Account Total	10,943.52
	Retiree Dental - Delta Premier					
	DELTA DENTAL OF COLORADO	00019	996101	392002	5/19/2021	15,377.85
	SHIPLEY DAVID M	00019	996098	392000	5/19/2021	80.00
					Account Total	15,457.85
	Retiree Med - AARP RX					
	UNITED HEALTHCARE	00019	996079	391927	5/19/2021	17,421.80
					Account Total	17,421.80
	Retiree Med - Kaiser					
	OWENS, DIANE	00019	996099	392000	5/19/2021	187.33
	OWENS, DIANE	00019	996099	392000	5/19/2021	856.30
					Account Total	1,043.63
	Retiree Med - Pacificare					
	SECURE HORIZONS	00019	996080	391927	5/19/2021	14,458.44
					Account Total	14,458.44
	Retiree Med - UHC-MED					
	UNITED HEALTHCARE	00019	996026	391927	5/18/2021	39,659.36
					Account Total	39,659.36
					Department Total	98,984.60

County of Adams
Vendor Payment Report

<u>8611</u>	<u>Insurance- Property/Casualty</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Auto Physical Damage					
	BOBCAT OF THE ROCKIES	00019	995653	391403	5/11/2021	1,584.41
					Account Total	1,584.41
	General Liab - Other than Prop					
	ANDERSON MANDY L	00019	996253	392141	5/20/2021	40,000.00
	BAUMGARTNER LAW LLC	00019	996138	392030	5/19/2021	74,000.00
	HUMAN RIGHTS DEFENSE CENTER	00019	996137	392027	5/19/2021	115,000.00
	LACHANCE SCOTT J	00019	996134	392024	5/19/2021	3,050.00
	RAMOS LAW	00019	996136	392026	5/19/2021	321,582.89
					Account Total	553,632.89
					Department Total	555,217.30

County of Adams
Vendor Payment Report

<u>8615</u>	<u>Insurance- UHC Retiree Medical</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Administration Fee					
	UNITED HEALTHCARE	00019	996072	391927	5/19/2021	458.56
	UNITED HEALTHCARE	00019	996072	391927	5/19/2021	57.32
					Account Total	515.88
	Insurance Premiums					
	UNITED HEALTHCARE	00019	996072	391927	5/19/2021	986.88
	UNITED HEALTHCARE	00019	996072	391927	5/19/2021	123.36
					Account Total	1,110.24
					Department Total	1,626.12

County of Adams
Vendor Payment Report

<u>8617</u>	<u>Insurance- Workers Comp</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Workers Compensation					
	TRISTAR RISK MANAGEMENT	00019	995307	390786	5/4/2021	5,002.00
					Account Total	5,002.00
					Department Total	5,002.00

County of Adams
Vendor Payment Report

<u>6107</u>	<u>Open Space Projects</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Infrastruc Rep & Maint					
	BROTHERS PAINTING	00027	995945	391814	5/17/2021	1,950.00
					Account Total	1,950.00
					Department Total	1,950.00

County of Adams
Vendor Payment Report

<u>6202</u>	<u>Open Space Tax- Grants</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	BRIGHTON CITY OF	00028	995965	391901	5/18/2021	5,000.00
					Account Total	5,000.00
					Department Total	5,000.00

County of Adams
Vendor Payment Report

<u>1015</u>	<u>People Services</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Insurance Premiums					
	DELTA DENTAL OF COLORADO	00001	996102	392002	5/19/2021	11.25
	SECURE HORIZONS	00001	996081	391927	5/19/2021	1,500.00
	UNITED HEALTHCARE	00001	996028	391927	5/18/2021	8,000.00
					Account Total	9,511.25
	Tuition Reimbursement					
	CRAMER SHANNON	00001	996023	391925	5/18/2021	2,500.00
	HUPFER DETOR LEVON	00001	996022	391925	5/18/2021	840.00
	NEELY TRACY	00001	996024	391925	5/18/2021	2,500.00
					Account Total	5,840.00
					Department Total	15,351.25

County of Adams
Vendor Payment Report

<u>2061</u>	<u>PKS - Weed & Pest</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	996076	391989	5/19/2021	80.02
					Account Total	80.02
					Department Total	80.02

County of Adams
Vendor Payment Report

<u>5011</u>	<u>PKS- Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Special Assessment Payments					
	ALLEN DITCH CO	00001	995944	391814	5/17/2021	1,470.00
					Account Total	1,470.00
					Department Total	1,470.00

County of Adams
Vendor Payment Report

<u>5010</u>	<u>PKS- Fair</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Communications					
	VERIZON WIRELESS	00001	996077	391989	5/19/2021	200.05
					Account Total	200.05
	Regional Park Rentals					
	CRUZ MARIA	00001	996073	391989	5/19/2021	600.00
	MARES JEESENIA	00001	996074	391989	5/19/2021	1,150.00
					Account Total	1,750.00
					Department Total	1,950.05

County of Adams
Vendor Payment Report

<u>5012</u>	<u>PKS- Regional Complex</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00001	996078	391989	5/19/2021	195.87
					Account Total	195.87
	Other Communications					
	VERIZON WIRELESS	00001	996075	391989	5/19/2021	90.77
					Account Total	90.77
					Department Total	286.64

County of Adams
Vendor Payment Report

<u>5016</u>	<u>PKS- Trail Ranger Patrol</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	NORTH WASHINGTON ST WATER & SA	00001	995946	391814	5/17/2021	1,886.99
	NORTH WASHINGTON ST WATER & SA	00001	995947	391814	5/17/2021	466.91
					Account Total	2,353.90
					Department Total	2,353.90

County of Adams
Vendor Payment Report

<u>3056</u>	<u>PW - Capital Improvement Plan</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Land					
	LAND TITLE GUARANTEE COMPANY	00013	995709	391432	5/11/2021	67,111.00
					Account Total	67,111.00
	Road & Streets					
	DEASY SEAN M	00013	995741	391440	5/11/2021	200.00
					Account Total	200.00
					Department Total	67,311.00

County of Adams
Vendor Payment Report

<u>8624</u>	<u>Retiree-Vision</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Ins. Premium-Vision					
	FIRST AMERICAN ADMINISTRATORS	00019	996092	391927	5/19/2021	172.87
					Account Total	172.87
					Department Total	172.87

County of Adams
Vendor Payment Report

<u>13</u>	<u>Road & Bridge Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	HDR ENGINEERING INC	00013	996161	392107	5/20/2021	91,007.75
	JR ENGINEERING LTD	00013	996241	391986	5/20/2021	86,748.85
	JR ENGINEERING LTD	00013	996034	391986	5/19/2021	62,868.58
	MYERS AND SONS CONSTRUCTION LL	00013	996059	391986	5/19/2021	56,461.19
	ROCKSOL CONSULTING GROUP INC	00013	996032	391986	5/19/2021	70,283.21
	STANTEC CONSULTING CORPORATION	00013	996031	391986	5/19/2021	26,008.25
	WESTERN STATES LAND SERVICES L	00013	996260	392218	5/21/2021	331.12
					Account Total	393,708.95
	Retainages Payable					
	MYERS AND SONS CONSTRUCTION LL	00013	996059	391986	5/19/2021	2,823.06-
					Account Total	2,823.06-
					Department Total	390,885.89

County of Adams
Vendor Payment Report

<u>94</u>	<u>Sheriff Payables</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Brain Trust					
	COLO DEPT OF HUMAN SERVICES	00094	996093	391993	5/19/2021	1,020.00
					Account Total	1,020.00
	Family Friendly Fee					
	COLO JUDICIAL DEPT	00094	996095	391993	5/19/2021	83.00
					Account Total	83.00
	Fingerprint Cards - CBI					
	COLO BUREAU INVESTIGATION-IDEN	00094	996071	391988	5/19/2021	24,923.00
					Account Total	24,923.00
	State Surcharge					
	CLERK OF THE COUNTY COURT	00094	996094	391993	5/19/2021	830.00
					Account Total	830.00
					Department Total	26,856.00

County of Adams
Vendor Payment Report

<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Contract Employment					
	NICOLETTI-FLATER ASSOCIATES	00001	996088	391991	5/19/2021	411.00
					Account Total	411.00
	Other Professional Serv					
	COLO OCCUPATIONAL MEDICINE PHY	00001	996083	391991	5/19/2021	566.00
	LADWIG MICHAEL V MD PC	00001	996085	391991	5/19/2021	256.00
	LEXIPOL LLC	00001	996086	391991	5/19/2021	5,280.00
	POINT SPORTS/ERGOMED	00001	996090	391991	5/19/2021	360.00
	PSYCHOLOGICAL DIMENSIONS	00001	996089	391991	5/19/2021	2,175.00
					Account Total	8,637.00
	Public Relations					
	BRIGHTON YOUTH ASSN OF FOOTBAL	00001	996082	391991	5/19/2021	500.00
					Account Total	500.00
					Department Total	9,548.00

County of Adams
Vendor Payment Report

<u>2075</u>	<u>SHF- Commissary Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	METRO TRANSPORTATION PLANNING	00001	996087	391991	5/19/2021	1,902.75
					Account Total	1,902.75
					Department Total	1,902.75

County of Adams
Vendor Payment Report

<u>2016</u>	<u>SHF- Detective Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	EXTREME TOWING & RECOVERY SERV	00001	996084	391991	5/19/2021	200.00
					Account Total	200.00
					Department Total	200.00

County of Adams
Vendor Payment Report

<u>2071</u>	<u>SHF- Detention Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	COLO OCCUPATIONAL MEDICINE PHY	00001	996083	391991	5/19/2021	95.00
					Account Total	95.00
	Other Repair & Maint					
	PUSH PEDAL PULL INC	00001	996091	391991	5/19/2021	760.00
					Account Total	760.00
					Department Total	855.00

County of Adams
Vendor Payment Report

<u>7</u>	<u>Stormwater Utility Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Stormwater Utility Fee					
	CHEA ENG	00007	996224	392109	5/20/2021	63.56
	LOPEZ DIANA	00007	996225	392109	5/20/2021	50.87
					Account Total	114.43
					Department Total	114.43

County of Adams
Vendor Payment Report

<u>4011</u>	<u>Tri County Health</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	TRI-COUNTY HEALTH DEPT	00001	995632	391194	5/7/2021	7,433.22
	TRI-COUNTY HEALTH DEPT	00001	995633	391194	5/7/2021	6,361.34
					Account Total	13,794.56
					Department Total	13,794.56

County of Adams
Vendor Payment Report

<u>35</u>	<u>Workforce & Business Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	INSIGHT PUBLIC SECTOR	00035	996207	392107	5/20/2021	15,789.86
					Account Total	15,789.86
					Department Total	15,789.86

County of Adams
Vendor Payment Report

Grand Total 3,168,676.90

County of Adams
Net Warrant by Fund Summary

Fund Number	Fund Description	Amount
1	General Fund	1,302,912.92
4	Capital Facilities Fund	84,047.44
5	Golf Course Enterprise Fund	45.00
6	Equipment Service Fund	22,858.02
7	Stormwater Utility Fund	9,937.25
13	Road & Bridge Fund	216,346.07
19	Insurance Fund	21,769.65
27	Open Space Projects Fund	12,873.86
28	Open Space Sales Tax Fund	411,000.00
30	Community Dev Block Grant Fund	27,578.00
31	Head Start Fund	9,017.06
43	Colorado Air & Space Port	39,491.22
50	FLATROCK Facility Fund	4,731.83
		<u>2,162,608.32</u>

Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007569	378404	CARUSO JAMES LOUIS	05/25/21	5,025.00
00007570	37193	CINA & CINA FORENSIC CONSULTIN	05/25/21	21,150.00
00007571	1141178	COLORADO APPRAISAL CONSULTANTS	05/25/21	4,950.00
00007572	320719	DLR GROUP	05/25/21	28,792.00
00007573	737980	WOLD ARCHITECTS AND ENGINEERS	05/25/21	161.64
00007574	40847	WORKPLACE ELEMENTS	05/25/21	825.00
00007575	1116766	GT MOLECULAR LLC	05/27/21	9,755.00
00007580	1174549	BRETSCH CANDACE C	05/28/21	375.00
00007581	1080883	VILLAGE EXCHANGE CENTER	05/28/21	250,000.00
00759659	72554	AAA PEST PROS	05/27/21	2,090.00
00759662	410759	ABC LEGAL SERVICES	05/27/21	19.00
00759663	311872	ADCO COMMUNITY & ECONOMIC DEVE	05/27/21	175.00
00759664	1128011	ADT COMMERCIAL LLC	05/27/21	185.00
00759667	5166	ALLIANCE FOR INNOVATION INC	05/27/21	6,885.00
00759668	9507	ALLIED RECYCLED AGGREGATES	05/27/21	400.28
00759669	14661	AMERIGAS DENVER 1012	05/27/21	1,756.85
00759670	498573	ARBORFORCE LLC	05/27/21	35,802.82
00759671	1173800	ARMENDARIZ-GANDARA JOVANY	05/27/21	19.00
00759672	1173798	BAKER RHONDA	05/27/21	19.00
00759673	1148030	BARRATT ADAM	05/27/21	1,262.50
00759675	3020	BENNETT TOWN OF	05/27/21	86.28
00759676	1029388	BISHOP AMBER	05/27/21	2,500.00
00759677	1173801	BLANCO JOSE DELACRUZ	05/27/21	44.00
00759679	1127138	BOULDER COUNTY COLORADO	05/27/21	35,000.00
00759680	13160	BRIGHTON CITY OF (WATER)	05/27/21	3,327.49
00759681	13160	BRIGHTON CITY OF (WATER)	05/27/21	787.05
00759682	13160	BRIGHTON CITY OF (WATER)	05/27/21	79.48
00759683	13160	BRIGHTON CITY OF (WATER)	05/27/21	15,367.80
00759684	13160	BRIGHTON CITY OF (WATER)	05/27/21	126.60
00759685	13160	BRIGHTON CITY OF (WATER)	05/27/21	10,200.14
00759686	1008426	BUXTON	05/27/21	25,000.00
00759687	726898	CA SHORT COMPANY	05/27/21	450.05
00759688	1173803	CANNATA CHRISTOPHER	05/27/21	19.00
00759689	1173785	CARBON COUNTY ATTORNEY	05/27/21	20.00
00759690	1173780	CARTER SANDRA	05/27/21	66.00
00759692	255194	CHAMBERS HOLDINGS LLC	05/27/21	16,865.85

Net Warrants by Fund Detail

1**General Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00759693	90207	CHARM TEX	05/27/21	8,112.50
00759695	852482	CLEARWAY ENERGY GROUP LLC	05/27/21	1,153.57
00759697	209334	COLO NATURAL GAS INC	05/27/21	618.33
00759701	853061	COLORADO DESIGN INC TILE AND T	05/27/21	7,804.00
00759702	1173797	COLORADO STORAGE SYSTEMS	05/27/21	98.00
00759704	42984	CORECIVIC INC	05/27/21	250,494.74
00759705	930288	CORNELL NICHOLAS	05/27/21	1,039.50
00759706	1041021	CORONADO TIMOTHY	05/27/21	2,500.00
00759707	1174017	CORTEZ CRYSTAL	05/27/21	15.00
00759708	1141597	CRAWFORD LACEE	05/27/21	19.00
00759709	101347	DHM DESIGNS	05/27/21	28,662.10
00759712	921013	DUPONT LAW FIRM LLC	05/27/21	19.00
00759713	808844	DUPRIEST JOHN FIELDEN	05/27/21	65.00
00759714	9496	ENVIRONMENTAL SYSTEMS RESEARCH	05/27/21	17,500.00
00759715	734670	EZ MESSENGER	05/27/21	19.00
00759716	13454	FEDERAL EXPRESS CO	05/27/21	16.61
00759717	698569	FOREST SEAN	05/27/21	65.00
00759718	426777	FRANCY LAW FIRM	05/27/21	52.00
00759720	463649	GABLEHOUSE GRANBERG LLC	05/27/21	9,243.58
00759721	12689	GALLS LLC	05/27/21	1,416.78
00759722	293118	GARNER, ROSIE	05/27/21	65.00
00759723	921985	GMR LANDSCAPE ARCHITECTURE LLC	05/27/21	1,659.20
00759724	742456	GRAY QUARTER INC	05/27/21	22,779.00
00759728	293122	HERRERA, AARON	05/27/21	65.00
00759729	10864	HILLYARD - DENVER	05/27/21	7,533.18
00759731	358482	HOLST AND BOETTCHER	05/27/21	38.00
00759732	418327	IC CHAMBERS LP	05/27/21	7,243.32
00759733	79260	IDEXX DISTRIBUTION INC	05/27/21	142.35
00759736	13565	INTERMOUNTAIN REA	05/27/21	1,461.35
00759737	13565	INTERMOUNTAIN REA	05/27/21	195.64
00759738	44965	INTERVENTION COMMUNITY CORRECT	05/27/21	161,645.08
00759739	535598	JACHIMIAK PETERSON LLC	05/27/21	8,911.00
00759743	1173790	KENT ANGELICA CATHERINE	05/27/21	19.00
00759745	1173781	KOLLATH TINA LEE	05/27/21	19.00
00759746	48078	LARIMER COUNTY COMMUNITY CORRE	05/27/21	195.00
00759750	810888	MARTINEZ JUSTIN PAUL	05/27/21	65.00

Net Warrants by Fund Detail

1**General Fund**

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00759752	1173791	MCGEE BRANDY ANNE	05/27/21	19.00
00759753	300777	MOELLER GRAF PC	05/27/21	19.00
00759754	1068447	MOORE IACOFANO GOLTSMAN INC	05/27/21	5,912.50
00759755	374475	MOORE LAW GROUP APC	05/27/21	19.00
00759756	1173799	MULTNOMAH COUNTY DEPT OF JUSTI	05/27/21	19.00
00759757	1173787	MUSIC JAMES	05/27/21	66.00
00759758	13591	MWI ANIMAL HEALTH	05/27/21	913.15
00759759	193800	NATL SLED PULLERS ASSN LLC	05/27/21	1,500.00
00759760	570347	NELSON AND KENNARD	05/27/21	19.00
00759761	949999	OFFICESCAPES OF DENVER LLLP	05/27/21	1,245.00
00759762	11591	PAPER PROCESSING SOLUTIONS	05/27/21	249.99
00759763	516994	PARK 12 HUNDRED OWNERS ASSOCIA	05/27/21	16,149.88
00759764	1173793	PICKETT SUZANNE	05/27/21	19.00
00759767	669054	PROVEST LITIGATION SERVICES	05/27/21	20.00
00759768	53054	RICHARDSON SHARON	05/27/21	65.00
00759769	1173782	RIVERA LUIS MARIO	05/27/21	19.00
00759770	1173805	RODRIGUEZ ALONSO	05/27/21	47.00
00759772	1129845	ROSE DAVID E	05/27/21	65.00
00759774	327068	SECURITY CAPITAL FUNDING CORP	05/27/21	19.00
00759776	1173783	SHEPARD ARGELIA	05/27/21	66.00
00759777	226456	SIMON HARRY L	05/27/21	38.00
00759778	1173794	SKRETA PETER	05/27/21	134.00
00759779	1173788	SOLIS-NAJERA SANDRA PAOLA	05/27/21	19.00
00759780	13932	SOUTH ADAMS WATER & SANITATION	05/27/21	415.82
00759781	13932	SOUTH ADAMS WATER & SANITATION	05/27/21	48.18
00759782	13932	SOUTH ADAMS WATER & SANITATION	05/27/21	533.13
00759783	13932	SOUTH ADAMS WATER & SANITATION	05/27/21	48.18
00759784	13932	SOUTH ADAMS WATER & SANITATION	05/27/21	1,611.29
00759785	25335	STANLEY CONVERGENT SECURITY S	05/27/21	8,700.62
00759786	42818	STATE OF COLORADO	05/27/21	70.60
00759787	42818	STATE OF COLORADO	05/27/21	228.07
00759788	42818	STATE OF COLORADO	05/27/21	1.22
00759789	42818	STATE OF COLORADO	05/27/21	54.57
00759790	42818	STATE OF COLORADO	05/27/21	30.55
00759791	42818	STATE OF COLORADO	05/27/21	734.83
00759792	42818	STATE OF COLORADO	05/27/21	2,085.88

Net Warrants by Fund Detail

1General Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00759793	42818	STATE OF COLORADO	05/27/21	7.68
00759794	42818	STATE OF COLORADO	05/27/21	366.40
00759795	42818	STATE OF COLORADO	05/27/21	61.84
00759796	42818	STATE OF COLORADO	05/27/21	1,227.19
00759797	42818	STATE OF COLORADO	05/27/21	6,816.23
00759798	42818	STATE OF COLORADO	05/27/21	842.07
00759799	42818	STATE OF COLORADO	05/27/21	11,403.02
00759803	882335	STRATEGY WITH ROX	05/27/21	6,600.00
00759805	599714	SUMMIT FOOD SERVICE LLC	05/27/21	31,543.95
00759806	644904	SYNERGETIC STAFFING LLC	05/27/21	6,802.80
00759807	618144	T&G PECOS LLC	05/27/21	1,800.00
00759809	498722	THERMAL & MOISTURE PROTECTION	05/27/21	2,147.50
00759810	385142	THOMPSON GREGORY PAUL	05/27/21	65.00
00759812	270589	TOP HAT FILE AND SERVE	05/27/21	19.00
00759813	1173806	TOP HAT FILE AND SERVE INC	05/27/21	19.00
00759814	7189	TOSHIBA FINANCIAL SERVICES	05/27/21	6,093.22
00759815	1094	TRI COUNTY HEALTH DEPT	05/27/21	7,684.07
00759816	666214	TYGRET DEBRA R	05/27/21	205.00
00759817	1007	UNITED POWER (UNION REA)	05/27/21	4,838.55
00759818	1007	UNITED POWER (UNION REA)	05/27/21	227.11
00759819	1007	UNITED POWER (UNION REA)	05/27/21	111.52
00759820	1007	UNITED POWER (UNION REA)	05/27/21	886.52
00759821	1007	UNITED POWER (UNION REA)	05/27/21	813.68
00759822	1007	UNITED POWER (UNION REA)	05/27/21	28.21
00759823	1007	UNITED POWER (UNION REA)	05/27/21	10,655.63
00759826	1173789	VALDIVIA EDDYE	05/27/21	19.00
00759828	28617	VERIZON WIRELESS	05/27/21	1,938.14
00759830	196462	VCLASSIS NICOLE	05/27/21	1,776.45
00759831	956168	WERNER W ELIZABETH	05/27/21	303.80
00759833	40340	WINDSTREAM COMMUNICATIONS	05/27/21	1,414.61
00759834	1029314	WISE WAYNE W	05/27/21	500.00
00759835	13822	XCEL ENERGY	05/27/21	961.14
00759836	13822	XCEL ENERGY	05/27/21	29.12
00759840	93970	ZIVARO INC	05/27/21	31,895.35
00759894	3029	MICROSOFT CORP	05/27/21	101,067.00

Fund Total**1,302,912.92**

County of Adams
Net Warrants by Fund Detail

<u>4</u>		<u>Capital Facilities Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00007578	346412	JPMORGAN CHASE BANK	05/27/21	84,047.44	
Fund Total				84,047.44	

County of Adams
Net Warrants by Fund Detail

<u>5</u>		<u>Golf Course Enterprise Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00759660	72554	AAA PEST PROS	05/27/21	45.00	
			Fund Total	45.00	

County of Adams
Net Warrants by Fund Detail

6 Equipment Service Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00759734	682207	INSIGHT AUTO GLASS LLC	05/27/21	453.88
00759766	324769	PRECISE MRM LLC	05/27/21	5,784.00
00759773	16237	SAM HILL OIL INC	05/27/21	16,620.14
Fund Total				22,858.02

County of Adams
Net Warrants by Fund Detail

<u>7</u>		<u>Stormwater Utility Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00759710	128693	DREXEL BARRELL & CO	05/27/21	9,887.45	
00759751	403783	MCATEE GEORGE A/PATRICIA A TRU	05/27/21	49.80	
			Fund Total	9,937.25	

Net Warrants by Fund Detail

13Road & Bridge Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00759674	32682	BEARCOM WIRELESS WORLDWIDE	05/27/21	4,531.00
00759678	37580	BONNIE ROERIG AND ASSOCIATES L	05/27/21	3,405.00
00759694	465316	CLAYTON AND COMPANY INC	05/27/21	14,341.25
00759711	1167373	DUENSING THOMAS A	05/27/21	2,136.00
00759725	727893	HCL ENGINEERING & SURVEYING LL	05/27/21	27,008.88
00759726	92426	HDR ENGINEERING INC	05/27/21	30,870.00
00759740	28851	JR ENGINEERING LTD	05/27/21	54,284.59
00759748	450355	MACTAGGART AND MOSIER INC	05/27/21	4,000.00
00759749	9379	MARTIN MARTIN CONSULTING ENGIN	05/27/21	68,346.62
00759765	1173659	PINNACLE VALUATION & CONSULTIN	05/27/21	5,950.00
00759771	1173656	ROMERO JR HECTOR	05/27/21	1,450.00
00759837	13822	XCEL ENERGY	05/27/21	22.73
Fund Total				216,346.07

Net Warrants by Fund Detail

19Insurance Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00759696	17565	COLO FRAME & SUSPENSION	05/27/21	13,985.76
00759698	2157	COLO OCCUPATIONAL MEDICINE PHY	05/27/21	635.00
00759699	2157	COLO OCCUPATIONAL MEDICINE PHY	05/27/21	320.00
00759727	883606	HENDERSON CONSULTING AND EAP S	05/27/21	566.00
00759735	682207	INSIGHT AUTO GLASS LLC	05/27/21	316.98
00759741	8031	JUDICIAL ARBITER GROUP INC	05/27/21	1,365.00
00759747	13082	LUMIN8 TRANSPORTATION TECHNOLO	05/27/21	2,905.59
00759775	1031727	SGR	05/27/21	1,340.00
00759808	862222	THE ARTWORKS UNLIMITED LLC	05/27/21	230.00
00759827	35731	VERIZON	05/27/21	105.32
Fund Total				21,769.65

County of Adams
Net Warrants by Fund Detail

27 Open Space Projects Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00759804	266133	STREAM LANDSCAPE ARCHITECTURE	05/27/21	12,873.86
Fund Total				12,873.86

County of Adams
Net Warrants by Fund Detail

<u>28</u>		<u>Open Space Sales Tax Fund</u>			
<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>	
00007579	43150	THORNTON CITY OF	05/27/21	411,000.00	
Fund Total				411,000.00	

County of Adams
Net Warrants by Fund Detail

30 Community Dev Block Grant Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00007576	1087759	BLACK EYED PEA	05/27/21	7,741.00
00007577	1163045	HEIDI'S BROOKLYN DELI	05/27/21	7,320.50
00759719	1132731	FROLIC BREWING COMPANY LLC	05/27/21	12,516.50
Fund Total				27,578.00

County of Adams
Net Warrants by Fund Detail

31	Head Start Fund				
	Warrant	Supplier No	Supplier Name	Warrant Date	Amount
	00759691	37266	CENTURY LINK	05/27/21	208.49
	00759700	2157	COLO OCCUPATIONAL MEDICINE PHY	05/27/21	25.00
	00759703	248029	COMMUNITY REACH CENTER FOUNDAT	05/27/21	6,515.84
	00759832	31360	WESTMINSTER PRESBYTERIAN CHURC	05/27/21	2,267.73
	Fund Total				9,017.06

Net Warrants by Fund Detail

43

Colorado Air & Space Port

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00759666	88281	ALBERTS WATER & WASTEWATER SER	05/27/21	4,268.25
00759742	204737	JVIATION, A WOOLPERT COMPANY	05/27/21	602.00
00759744	358103	KIMLEY-HORN AND ASSOCIATES INC	05/27/21	31,290.80
00759800	33604	STATE OF COLORADO	05/27/21	1,773.00
00759801	33604	STATE OF COLORADO	05/27/21	15.94
00759825	300982	UNITED SITE SERVICES	05/27/21	486.72
00759829	80279	VERIZON WIRELESS	05/27/21	50.94
00759838	13822	XCEL ENERGY	05/27/21	16.19
00759839	13822	XCEL ENERGY	05/27/21	987.38
Fund Total				<hr/> 39,491.22

Net Warrants by Fund Detail

50FLATROCK Facility Fund

<u>Warrant</u>	<u>Supplier No</u>	<u>Supplier Name</u>	<u>Warrant Date</u>	<u>Amount</u>
00759661	72554	AAA PEST PROS	05/27/21	60.00
00759665	1128011	ADT COMMERCIAL LLC	05/27/21	185.00
00759730	10864	HILLYARD - DENVER	05/27/21	594.30
00759802	33604	STATE OF COLORADO	05/27/21	.35
00759811	1076372	TIMBER LINE ELECTRIC AND CONTR	05/27/21	3,694.24
00759824	1007	UNITED POWER (UNION REA)	05/27/21	197.94
Fund Total				4,731.83

County of Adams
Net Warrants by Fund Detail

Grand Total 2,162,608.32

County of Adams
Vendor Payment Report

<u>2051</u>	<u>ANS - Admin & Customer Care</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Animal Control/Shelter					
	CORTEZ CRYSTAL	00001	996380	392394	05/25/21	15.00
					Account Total	15.00
					Department Total	15.00

County of Adams
Vendor Payment Report

<u>1074</u>	<u>CA- Risk Management</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Safety-Drug & AI Test/Med Cert					
	COLO OCCUPATIONAL MEDICINE PHY	00019	996129	392015	05/19/21	635.00
	COLO OCCUPATIONAL MEDICINE PHY	00019	996130	392015	05/19/21	320.00
					Account Total	955.00
					Department Total	955.00

County of Adams
Vendor Payment Report

<u>4</u>	<u>Capital Facilities Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Cash With Trustee					
	JPMORGAN CHASE BANK	00004	996780	392620	05/27/21	84,047.44
					Account Total	84,047.44
					Department Total	84,047.44

County of Adams
Vendor Payment Report

<u>4302</u>	<u>CASP Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00043	996441	392517	05/26/21	16.19
					Account Total	16.19
	Telephone					
	VERIZON WIRELESS	00043	996249	392136	05/20/21	10.93
					Account Total	10.93
	Water/Sewer/Sanitation					
	UNITED SITE SERVICES	00043	996247	392136	05/20/21	730.09
	UNITED SITE SERVICES	00043	996248	392136	05/20/21	243.37-
					Account Total	486.72
					Department Total	513.84

County of Adams
Vendor Payment Report

<u>4303</u>	<u>CASP FBO</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Misc Revenues					
	STATE OF COLORADO	00043	996274	392236	05/21/21	.03-
	STATE OF COLORADO	00043	996274	392236	05/21/21	.52-
	STATE OF COLORADO	00043	996273	392236	05/21/21	58.00-
	STATE OF COLORADO	00043	996273	392236	05/21/21	.72-
					Account Total	59.27-
	Telephone					
	VERIZON WIRELESS	00043	996249	392136	05/20/21	40.01
					Account Total	40.01
					Department Total	19.26-

County of Adams
Vendor Payment Report

<u>941018</u>	<u>CDBG 2018/2019</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Inst.-Pgm. Cst					
	BLACK EYED PEA	00030	995612	391086	05/06/21	7,741.00
	FROLIC BREWING COMPANY LLC	00030	996252	392140	05/20/21	12,516.50
	HEIDI'S BROOKLYN DELI	00030	996027	391930	05/18/21	7,320.50
					Account Total	27,578.00
					Department Total	27,578.00

County of Adams
Vendor Payment Report

<u>43</u>	<u>Colorado Air & Space Port</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Colorado Sales Tax Payable					
	STATE OF COLORADO	00043	996273	392236	05/21/21	1,831.72
	STATE OF COLORADO	00043	996274	392236	05/21/21	16.49
					Account Total	1,848.21
	Received not Vouchered Clrg					
	ALBERTS WATER & WASTEWATER SER	00043	996655	392595	05/27/21	3,300.00
	JVIATION, A WOOLPERT COMPANY	00043	996671	392595	05/27/21	602.00
	KIMLEY-HORN AND ASSOCIATES INC	00043	996668	392595	05/27/21	31,290.80
					Account Total	35,192.80
					Department Total	37,041.01

County of Adams
Vendor Payment Report

<u>9264</u>	<u>Community Recovery</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	VILLAGE EXCHANGE CENTER	00001	996796	392739	05/28/21	250,000.00
					Account Total	250,000.00
	Operating Supplies					
	SYNERGETIC STAFFING LLC	00001	996126	392015	05/19/21	6,452.80
	SYNERGETIC STAFFING LLC	00001	996127	392015	05/19/21	150.00
	SYNERGETIC STAFFING LLC	00001	996128	392015	05/19/21	200.00
					Account Total	6,802.80
					Department Total	256,802.80

County of Adams
Vendor Payment Report

<u>1013</u>	<u>County Attorney</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Messenger/Delivery Service					
	FEDERAL EXPRESS CO	00001	996414	392484	05/26/21	16.61
					Account Total	16.61
					Department Total	16.61

County of Adams
Vendor Payment Report

<u>2031</u>	<u>County Coroner</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Medical Services					
	CARUSO JAMES LOUIS	00001	996353	392323	05/24/21	5,025.00
	CINA & CINA FORENSIC CONSULTIN	00001	996354	392325	05/24/21	21,150.00
					Account Total	26,175.00
	Other Professional Serv					
	BRETSCH CANDACE C	00001	996804	392747	05/28/21	375.00
					Account Total	375.00
					Department Total	26,550.00

County of Adams
Vendor Payment Report

<u>7041</u>	<u>Economic Development Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	BUXTON	00001	996246	392135	05/20/21	25,000.00
					Account Total	25,000.00
					Department Total	25,000.00

County of Adams
Vendor Payment Report

<u>6</u>	<u>Equipment Service Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	INSIGHT AUTO GLASS LLC	00006	996730	392605	05/27/21	250.88
	INSIGHT AUTO GLASS LLC	00006	996731	392605	05/27/21	163.00
	INSIGHT AUTO GLASS LLC	00006	996732	392605	05/27/21	40.00
	PRECISE MRM LLC	00006	996729	392605	05/27/21	5,784.00
	SAM HILL OIL INC	00006	996734	392605	05/27/21	2,031.89
	SAM HILL OIL INC	00006	996735	392605	05/27/21	14,588.25
					Account Total	22,858.02
					Department Total	22,858.02

County of Adams
Vendor Payment Report

9244	Extension- 4-H/Youth	Fund	Voucher	Batch No	GL Date	Amount
	Mileage Reimbursements					
	31110	00001	996257	392211	05/21/21	303.80
					Account Total	303.80
					Department Total	303.80

County of Adams
Vendor Payment Report

<u>50</u>	<u>FLATROCK Facility Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Colorado Sales Tax Payable					
	STATE OF COLORADO	00050	993987	389251	04/13/21	.36
					Account Total	.36
	Received not Vouchered Clrg					
	AAA PEST PROS	00050	996635	392595	05/27/21	60.00
	HILLYARD - DENVER	00050	996720	392605	05/27/21	594.30
					Account Total	654.30
					Department Total	654.66

County of Adams
Vendor Payment Report

<u>1076</u>	<u>FO - Adams County Svc Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=11710	00001	996283	392310	05/13/21	1,611.29
					Account Total	1,611.29
					Department Total	1,611.29

County of Adams
Vendor Payment Report

<u>1091</u>	<u>FO - Administration</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Rental					
	CHAMBERS HOLDINGS LLC	00001	996426	392502	05/26/21	16,865.85
	IC CHAMBERS LP	00001	996425	392502	05/26/21	7,243.32
					Account Total	24,109.17
	Consultant Services					
	COLORADO APPRAISAL CONSULTANTS	00001	996305	392313	05/24/21	4,950.00
	WOLD ARCHITECTS AND ENGINEERS	00001	996306	392314	05/24/21	161.64
					Account Total	5,111.64
	Gas & Electricity					
	AMERIGAS DENVER 1012	00001	996309	392316	05/24/21	1,756.85
	Energy Cap Bill ID=11717	00001	996285	392310	05/12/21	195.64
					Account Total	1,952.49
	Other Professional Serv					
	BARRATT ADAM	00001	996428	392502	05/26/21	1,262.50
	THERMAL & MOISTURE PROTECTION	00001	996427	392502	05/26/21	1,147.50
					Account Total	2,410.00
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=11697	00001	996286	392310	05/01/21	86.28
					Account Total	86.28
					Department Total	33,669.58

County of Adams
Vendor Payment Report

<u>1060</u>	<u>FO - Community Corrections</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=11707	00001	996275	392310	05/13/21	415.82
					Account Total	415.82
					Department Total	415.82

County of Adams
Vendor Payment Report

<u>2090</u>	<u>FO - Flatrock Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	ADT COMMERCIAL LLC	00050	996313	392316	05/24/21	185.00
	TIMBER LINE ELECTRIC AND CONTR	00050	996312	392316	05/24/21	3,694.24
					Account Total	3,879.24
	Gas & Electricity					
	Energy Cap Bill ID=11714	00050	996301	392310	05/05/21	197.94
					Account Total	197.94
					Department Total	4,077.18

County of Adams
Vendor Payment Report

<u>1077</u>	<u>FO - Government Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	THERMAL & MOISTURE PROTECTION	00001	996311	392316	05/24/21	1,000.00
					Account Total	1,000.00
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=11706	00001	996284	392310	05/12/21	3,327.49
					Account Total	3,327.49
					Department Total	4,327.49

Vendor Payment Report

<u>1070</u>	<u>FO - Honnen/Plan&Devel/MV Ware</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11698	00001	996276	392310	05/05/21	560.56
	Energy Cap Bill ID=11699	00001	996277	392310	05/05/21	495.68
					Account Total	1,056.24
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=11708	00001	996278	392310	05/13/21	48.18
	Energy Cap Bill ID=11711	00001	996279	392310	05/13/21	533.13
	Energy Cap Bill ID=11712	00001	996280	392310	05/13/21	48.18
					Account Total	629.49
					Department Total	1,685.73

County of Adams
Vendor Payment Report

<u>1079</u>	<u>FO - Human Services Center</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	COLORADO DESIGN INC TILE AND T	00001	996310	392316	05/24/21	7,804.00
					Account Total	7,804.00
	Other Repair & Maint					
	PARK 12 HUNDRED OWNERS ASSOCIA	00001	996308	392316	05/24/21	16,149.88
					Account Total	16,149.88
					Department Total	23,953.88

County of Adams
Vendor Payment Report

<u>1111</u>	<u>FO - Parks Facilities</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Repair & Maint					
	ADT COMMERCIAL LLC	00001	996307	392316	05/24/21	185.00
					Account Total	185.00
	Gas & Electricity					
	Energy Cap Bill ID=11700	00001	996287	392310	05/05/21	97.33
	Energy Cap Bill ID=11713	00001	996288	392310	05/05/21	4,838.55
	Energy Cap Bill ID=11718	00001	996289	392310	05/05/21	227.11
	Energy Cap Bill ID=11719	00001	996290	392310	05/05/21	111.52
	Energy Cap Bill ID=11720	00001	996291	392310	05/05/21	886.52
	Energy Cap Bill ID=11721	00001	996292	392310	05/05/21	813.68
	Energy Cap Bill ID=11722	00001	996293	392310	05/05/21	28.21
	Energy Cap Bill ID=11723	00001	996294	392310	05/05/21	961.14
					Account Total	7,964.06
					Department Total	8,149.06

County of Adams
Vendor Payment Report

<u>1123</u>	<u>FO - Riverdale Animal Shelter</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11709	00001	996297	392310	05/05/21	10,655.63
					Account Total	10,655.63
					Department Total	10,655.63

County of Adams
Vendor Payment Report

<u>1112</u>	<u>FO - Sheriff HQ/Coroner Bldg</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=11702	00001	996295	392310	05/14/21	787.05
	Energy Cap Bill ID=11705	00001	996296	392310	05/10/21	79.48
					Account Total	866.53
					Department Total	866.53

County of Adams
Vendor Payment Report

<u>2009</u>	<u>FO - Sheriff Maintenance</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Water/Sewer/Sanitation					
	Energy Cap Bill ID=11701	00001	996298	392310	05/14/21	15,367.80
	Energy Cap Bill ID=11703	00001	996299	392310	05/14/21	126.60
	Energy Cap Bill ID=11704	00001	996300	392310	05/14/21	10,200.14
					Account Total	25,694.54
					Department Total	25,694.54

County of Adams
Vendor Payment Report

<u>1075</u>	<u>FO - Strasburg/Whittier</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	Energy Cap Bill ID=11715	00001	996281	392310	05/07/21	1,461.35
	Energy Cap Bill ID=11716	00001	996282	392310	05/11/21	618.33
					Account Total	2,079.68
					Department Total	2,079.68

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	GT MOLECULAR LLC	00001	996787	392632	05/27/21	9,755.00
	AAA PEST PROS	00001	996634	392595	05/27/21	365.00
	AAA PEST PROS	00001	996634	392595	05/27/21	325.00
	AAA PEST PROS	00001	996634	392595	05/27/21	60.00
	AAA PEST PROS	00001	996634	392595	05/27/21	145.00
	AAA PEST PROS	00001	996634	392595	05/27/21	120.00
	AAA PEST PROS	00001	996634	392595	05/27/21	50.00
	AAA PEST PROS	00001	996634	392595	05/27/21	85.00
	AAA PEST PROS	00001	996634	392595	05/27/21	150.00
	AAA PEST PROS	00001	996634	392595	05/27/21	140.00
	AAA PEST PROS	00001	996634	392595	05/27/21	160.00
	AAA PEST PROS	00001	996634	392595	05/27/21	55.00
	AAA PEST PROS	00001	996634	392595	05/27/21	60.00
	AAA PEST PROS	00001	996634	392595	05/27/21	65.00
	AAA PEST PROS	00001	996634	392595	05/27/21	125.00
	AAA PEST PROS	00001	996634	392595	05/27/21	85.00
	AAA PEST PROS	00001	996634	392595	05/27/21	100.00
	ALLIANCE FOR INNOVATION INC	00001	996728	392605	05/27/21	6,885.00
	ARBORFORCE LLC	00001	996664	392595	05/27/21	35,802.82
	CA SHORT COMPANY	00001	996687	392595	05/27/21	450.05
	CHARM TEX	00001	996736	392605	05/27/21	8,112.50
	CORECIVIC INC	00001	996638	392595	05/27/21	5,801.75
	CORECIVIC INC	00001	996639	392595	05/27/21	57,887.72
	CORECIVIC INC	00001	996640	392595	05/27/21	1,438.80
	CORECIVIC INC	00001	996641	392595	05/27/21	68,007.28
	CORECIVIC INC	00001	996643	392595	05/27/21	38,943.52
	CORECIVIC INC	00001	996644	392595	05/27/21	6,535.60
	CORECIVIC INC	00001	996646	392595	05/27/21	63,211.28
	CORECIVIC INC	00001	996647	392595	05/27/21	2,241.00
	CORECIVIC INC	00001	996649	392595	05/27/21	6,259.79
	CORECIVIC INC	00001	996650	392595	05/27/21	168.00
	DHM DESIGNS	00001	996637	392595	05/27/21	28,662.10
	DLR GROUP	00001	996409	392408	05/25/21	3,486.08
	DLR GROUP	00001	996409	392408	05/25/21	1,940.92
	DLR GROUP	00001	996410	392408	05/25/21	23,365.00

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	ENVIRONMENTAL SYSTEMS RESEARCH	00001	996725	392605	05/27/21	17,500.00
	GABLEHOUSE GRANBERG LLC	00001	996631	392595	05/27/21	9,243.58
	GALLS LLC	00001	996738	392605	05/27/21	166.46
	GALLS LLC	00001	996739	392605	05/27/21	107.23
	GALLS LLC	00001	996740	392605	05/27/21	116.34
	GALLS LLC	00001	996741	392605	05/27/21	322.77
	GALLS LLC	00001	996742	392605	05/27/21	220.50
	GALLS LLC	00001	996743	392605	05/27/21	138.30
	GALLS LLC	00001	996744	392605	05/27/21	123.55
	GALLS LLC	00001	996745	392605	05/27/21	114.40
	GALLS LLC	00001	996746	392605	05/27/21	107.23
	GMR LANDSCAPE ARCHITECTURE LLC	00001	996652	392595	05/27/21	1,659.20
	GRAY QUARTER INC	00001	996701	392605	05/27/21	22,779.00
	HILLYARD - DENVER	00001	996703	392605	05/27/21	39.69
	HILLYARD - DENVER	00001	996705	392605	05/27/21	62.73
	HILLYARD - DENVER	00001	996706	392605	05/27/21	105.32
	HILLYARD - DENVER	00001	996710	392605	05/27/21	116.43
	HILLYARD - DENVER	00001	996711	392605	05/27/21	120.67
	HILLYARD - DENVER	00001	996712	392605	05/27/21	2,259.06
	HILLYARD - DENVER	00001	996714	392605	05/27/21	307.12
	HILLYARD - DENVER	00001	996715	392605	05/27/21	493.92
	HILLYARD - DENVER	00001	996716	392605	05/27/21	538.46
	HILLYARD - DENVER	00001	996717	392605	05/27/21	634.48
	HILLYARD - DENVER	00001	996718	392605	05/27/21	2,700.06
	HILLYARD - DENVER	00001	996719	392605	05/27/21	155.24
	IDEXX DISTRIBUTION INC	00001	996689	392595	05/27/21	142.35
	INTERVENTION COMMUNITY CORRECT	00001	996690	392595	05/27/21	1,438.80
	INTERVENTION COMMUNITY CORRECT	00001	996694	392605	05/27/21	2,877.60
	INTERVENTION COMMUNITY CORRECT	00001	996695	392605	05/27/21	5,323.56
	INTERVENTION COMMUNITY CORRECT	00001	996696	392605	05/27/21	84,094.32
	INTERVENTION COMMUNITY CORRECT	00001	996697	392605	05/27/21	59,313.80
	INTERVENTION COMMUNITY CORRECT	00001	996698	392605	05/27/21	8,597.00
	JACHIMIAK PETERSON LLC	00001	996632	392595	05/27/21	8,911.00
	LARIMER COUNTY COMMUNITY CORRE	00001	996633	392595	05/27/21	195.00
	MICROSOFT CORP	00001	996789	392633	05/27/21	101,067.00
	MOORE IACOFANO GOLTSMAN INC	00001	996693	392605	05/27/21	5,912.50

County of Adams
Vendor Payment Report

<u>1</u>	<u>General Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	MWI ANIMAL HEALTH	00001	996684	392595	05/27/21	83.18
	MWI ANIMAL HEALTH	00001	996685	392595	05/27/21	125.94
	MWI ANIMAL HEALTH	00001	996686	392595	05/27/21	270.45
	MWI ANIMAL HEALTH	00001	996686	392595	05/27/21	433.58
	NATL SLED PULLERS ASSN LLC	00001	996723	392605	05/27/21	1,500.00
	OFFICESCAPES OF DENVER LLLP	00001	996721	392605	05/27/21	1,245.00
	PAPER PROCESSING SOLUTIONS	00001	996692	392605	05/27/21	249.99
	STANLEY CONVERGENT SECURITY S	00001	996702	392605	05/27/21	8,700.62
	STATE OF COLORADO	00001	996753	392605	05/27/21	1,227.19
	STATE OF COLORADO	00001	996754	392605	05/27/21	6,816.23
	STATE OF COLORADO	00001	996755	392605	05/27/21	842.07
	STATE OF COLORADO	00001	996756	392605	05/27/21	11,403.02
	STATE OF COLORADO	00001	996672	392595	05/27/21	70.60
	STATE OF COLORADO	00001	996673	392595	05/27/21	228.07
	STATE OF COLORADO	00001	996674	392595	05/27/21	1.22
	STATE OF COLORADO	00001	996675	392595	05/27/21	54.57
	STATE OF COLORADO	00001	996676	392595	05/27/21	30.55
	STATE OF COLORADO	00001	996677	392595	05/27/21	734.83
	STATE OF COLORADO	00001	996678	392595	05/27/21	2,085.88
	STATE OF COLORADO	00001	996679	392595	05/27/21	7.68
	STATE OF COLORADO	00001	996680	392595	05/27/21	366.40
	STATE OF COLORADO	00001	996681	392595	05/27/21	61.84
	STRATEGY WITH ROX	00001	996683	392595	05/27/21	6,600.00
	SUMMIT FOOD SERVICE LLC	00001	996747	392605	05/27/21	3,608.50
	SUMMIT FOOD SERVICE LLC	00001	996747	392605	05/27/21	16.27
	SUMMIT FOOD SERVICE LLC	00001	996748	392605	05/27/21	21,448.16
	T&G PECOS LLC	00001	996749	392605	05/27/21	1,800.00
	TYGRETTE DEBRA R	00001	996750	392605	05/27/21	205.00
	WORKPLACE ELEMENTS	00001	996411	392408	05/25/21	825.00
	ZIVARO INC	00001	996722	392605	05/27/21	29,066.10
	ZIVARO INC	00001	996724	392605	05/27/21	2,829.25
Account Total						811,986.07
Department Total						811,986.07

County of Adams
Vendor Payment Report

<u>9252</u>	<u>GF- Admin/Org Support</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Membership Dues					
	BOULDER COUNTY COLORADO	00001	996270	392228	05/21/21	<u>35,000.00</u>
					Account Total	<u>35,000.00</u>
					Department Total	<u><u>35,000.00</u></u>

County of Adams
Vendor Payment Report

<u>5</u>	<u>Golf Course Enterprise Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	AAA PEST PROS	00005	996636	392595	05/27/21	45.00
					Account Total	45.00
					Department Total	45.00

County of Adams
Vendor Payment Report

<u>935121</u>	<u>HHS Grant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Building Rental					
	COMMUNITY REACH CENTER FOUNDAT	00031	995954	391822	05/17/21	6,515.84
	WESTMINSTER PRESBYTERIAN CHURC	00031	995956	391822	05/17/21	2,267.73
					Account Total	8,783.57
	Medical Services					
	COLO OCCUPATIONAL MEDICINE PHY	00031	995955	391822	05/17/21	25.00
					Account Total	25.00
	Telephone					
	CENTURY LINK	00031	995953	391822	05/17/21	208.49
					Account Total	208.49
					Department Total	9,017.06

County of Adams
Vendor Payment Report

8622	Insurance -Benefits & Wellness	Fund	Voucher	Batch No	GL Date	Amount
	Telephone					
	VERIZON	00019	996381	392392	05/25/21	105.32
					Account Total	105.32
					Department Total	105.32

County of Adams
Vendor Payment Report

<u>19</u>	<u>Insurance Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	COLO FRAME & SUSPENSION	00019	996688	392595	05/27/21	13,985.76
	HENDERSON CONSULTING AND EAP S	00019	996657	392595	05/27/21	264.00
	HENDERSON CONSULTING AND EAP S	00019	996657	392595	05/27/21	30.00
	HENDERSON CONSULTING AND EAP S	00019	996659	392595	05/27/21	272.00
					Account Total	14,551.76
					Department Total	14,551.76

County of Adams
Vendor Payment Report

<u>8611</u>	<u>Insurance- Property/Casualty</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Auto Physical Damage					
	INSIGHT AUTO GLASS LLC	00019	996417	392484	05/26/21	316.98
	THE ARTWORKS UNLIMITED LLC	00019	996418	392484	05/26/21	230.00
					Account Total	546.98
	General Liab - Other than Prop					
	JUDICIAL ARBITER GROUP INC	00019	996413	392484	05/26/21	1,365.00
	SGR	00019	996415	392484	05/26/21	523.50
	SGR	00019	996416	392484	05/26/21	816.50
					Account Total	2,705.00
	Prop Claims-Under Deduct					
	LUMIN8 TRANSPORTATION TECHNOLO	00019	996131	392015	05/19/21	2,905.59
					Account Total	2,905.59
					Department Total	6,157.57

County of Adams
Vendor Payment Report

<u>1058</u>	<u>IT Network/Telecom</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Telephone					
	WINDSTREAM COMMUNICATIONS	00001	996420	392499	05/26/21	1,414.61
					Account Total	1,414.61
					Department Total	1,414.61

County of Adams
Vendor Payment Report

<u>27</u>	<u>Open Space Projects Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	STREAM LANDSCAPE ARCHITECTURE	00027	996751	392605	05/27/21	8,844.00
	STREAM LANDSCAPE ARCHITECTURE	00027	996752	392605	05/27/21	4,029.86
					Account Total	12,873.86
					Department Total	12,873.86

County of Adams
Vendor Payment Report

<u>6202</u>	<u>Open Space Tax- Grants</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	THORNTON CITY OF	00028	996392	392396	05/25/21	411,000.00
					Account Total	411,000.00
					Department Total	411,000.00

County of Adams
Vendor Payment Report

1015	People Services	Fund	Voucher	Batch No	GL Date	Amount
	Tuition Reimbursement					
	BISHOP AMBER	00001	996362	392388	05/25/21	2,500.00
	CORNELL NICHOLAS	00001	996361	392388	05/25/21	1,039.50
	CORONADO TIMOTHY	00001	996412	392418	05/25/21	2,500.00
	VCLASSIS NICOLE	00001	996389	392395	05/25/21	1,776.45
					Account Total	7,815.95
					Department Total	7,815.95

County of Adams
Vendor Payment Report

<u>5010</u>	<u>PKS- Fair</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Fair Expenses-General					
	WISE WAYNE W	00001	996407	392406	05/25/21	500.00
					Account Total	500.00
	Licenses and Fees					
	ADCO COMMUNITY & ECONOMIC DEVE	00001	996405	392406	05/25/21	175.00
					Account Total	175.00
					Department Total	675.00

County of Adams
Vendor Payment Report

<u>5016</u>	<u>PKS- Trail Ranger Patrol</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Gas & Electricity					
	XCEL ENERGY	00001	996408	392406	05/25/21	29.12
					Account Total	29.12
	Infrastruc Rep & Maint					
	ALLIED RECYCLED AGGREGATES	00001	996406	392406	05/25/21	400.28
					Account Total	400.28
					Department Total	429.40

County of Adams
Vendor Payment Report

<u>1089</u>	<u>PLN- Boards & Commissions</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Other Professional Serv					
	DUPRIEST JOHN FIELDEN	00001	996262	392221	05/21/21	65.00
	FOREST SEAN	00001	996263	392221	05/21/21	65.00
	GARNER, ROSIE	00001	996264	392221	05/21/21	65.00
	HERRERA, AARON	00001	996265	392221	05/21/21	65.00
	MARTINEZ JUSTIN PAUL	00001	996266	392221	05/21/21	65.00
	RICHARDSON SHARON	00001	996267	392221	05/21/21	65.00
	ROSE DAVID E	00001	996269	392221	05/21/21	65.00
	THOMPSON GREGORY PAUL	00001	996268	392221	05/21/21	65.00
					Account Total	520.00
					Department Total	520.00

County of Adams
Vendor Payment Report

<u>3056</u>	<u>PW - Capital Improvement Plan</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Land					
	BONNIE ROERIG AND ASSOCIATES L	00013	996303	391812	05/24/21	3,405.00
	CLAYTON AND COMPANY INC	00013	995949	391812	05/17/21	14,341.25
	MACTAGGART AND MOSIER INC	00013	995943	391812	05/17/21	4,000.00
	PINNACLE VALUATION & CONSULTIN	00013	996302	391812	05/24/21	5,950.00
	XCEL ENERGY	00013	996251	391812	05/20/21	22.73
					Account Total	27,718.98
	Road & Streets					
	DUENSING THOMAS A	00013	995950	391812	05/17/21	2,136.00
	ROMERO JR HECTOR	00013	996304	391812	05/24/21	1,450.00
					Account Total	3,586.00
					Department Total	31,304.98

County of Adams
Vendor Payment Report

<u>3052</u>	<u>PW - Constr & Inspec</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Operating Supplies					
	BEARCOM WIRELESS WORLDWIDE	00013	996250	391812	05/20/21	4,531.00
					Account Total	4,531.00
					Department Total	4,531.00

County of Adams
Vendor Payment Report

<u>13</u>	<u>Road & Bridge Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	HCL ENGINEERING & SURVEYING LL	00013	996665	392595	05/27/21	27,008.88
	HDR ENGINEERING INC	00013	996670	392595	05/27/21	9,600.00
	HDR ENGINEERING INC	00013	996667	392595	05/27/21	21,270.00
	JR ENGINEERING LTD	00013	996666	392595	05/27/21	54,284.59
	MARTIN MARTIN CONSULTING ENGIN	00013	996660	392595	05/27/21	35,634.62
	MARTIN MARTIN CONSULTING ENGIN	00013	996662	392595	05/27/21	27,012.00
	MARTIN MARTIN CONSULTING ENGIN	00013	996691	392595	05/27/21	5,700.00
					Account Total	180,510.09
					Department Total	180,510.09

County of Adams
Vendor Payment Report

<u>2092</u>	<u>Sheriff Flatrock</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Merchandise					
	STATE OF COLORADO	00050	993987	389251	04/13/21	.01-
					Account Total	.01-
					Department Total	.01-

County of Adams
Vendor Payment Report

<u>2004</u>	<u>Sheriff Training</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA FINANCIAL SERVICES	00001	996403	392405	05/25/21	252.35
					Account Total	252.35
	Operating Supplies					
	TOSHIBA FINANCIAL SERVICES	00001	996403	392405	05/25/21	80.86
					Account Total	80.86
					Department Total	333.21

County of Adams
Vendor Payment Report

<u>2008</u>	<u>SHF - Training Academy</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA FINANCIAL SERVICES	00001	996403	392405	05/25/21	113.11
	TOSHIBA FINANCIAL SERVICES	00001	996403	392405	05/25/21	2.77
					Account Total	115.88
					Department Total	115.88

County of Adams
Vendor Payment Report

<u>2011</u>	<u>SHF- Admin Services Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA FINANCIAL SERVICES	00001	996403	392405	05/25/21	210.76
	TOSHIBA FINANCIAL SERVICES	00001	996403	392405	05/25/21	634.92
					Account Total	845.68
					Department Total	845.68

County of Adams
Vendor Payment Report

<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Sheriff's Fees					
	ABC LEGAL SERVICES	00001	996320	392322	05/24/21	19.00
	ARMENDARIZ-GANDARA JOVANY	00001	996348	392322	05/24/21	19.00
	BAKER RHONDA	00001	996346	392322	05/24/21	19.00
	BLANCO JOSE DELACRUZ	00001	996349	392322	05/24/21	44.00
	CANNATA CHRISTOPHER	00001	996350	392322	05/24/21	19.00
	CARBON COUNTY ATTORNEY	00001	996336	392322	05/24/21	2.50
	CARBON COUNTY ATTORNEY	00001	996337	392322	05/24/21	17.50
	CARTER SANDRA	00001	996332	392322	05/24/21	66.00
	COLORADO STORAGE SYSTEMS	00001	996345	392322	05/24/21	98.00
	CRAWFORD LACEE	00001	996321	392322	05/24/21	19.00
	DUPONT LAW FIRM LLC	00001	996322	392322	05/24/21	19.00
	EZ MESSENGER	00001	996326	392322	05/24/21	19.00
	FRANCY LAW FIRM	00001	996315	392322	05/24/21	19.00
	FRANCY LAW FIRM	00001	996316	392322	05/24/21	14.00
	FRANCY LAW FIRM	00001	996317	392322	05/24/21	19.00
	HOLST AND BOETTCHER	00001	996329	392322	05/24/21	19.00
	HOLST AND BOETTCHER	00001	996330	392322	05/24/21	19.00
	KENT ANGELICA CATHERINE	00001	996341	392322	05/24/21	19.00
	KOLLATH TINA LEE	00001	996333	392322	05/24/21	19.00
	MC GEE BRANDY ANNE	00001	996342	392322	05/24/21	19.00
	MOELLER GRAF PC	00001	996318	392322	05/24/21	19.00
	MOORE LAW GROUP APC	00001	996324	392322	05/24/21	19.00
	MULTNOMAH COUNTY DEPT OF JUSTI	00001	996347	392322	05/24/21	19.00
	MUSIC JAMES	00001	996338	392322	05/24/21	66.00
	NELSON AND KENNARD	00001	996323	392322	05/24/21	19.00
	PICKETT SUZANNE	00001	996343	392322	05/24/21	19.00
	PROVEST LITIGATION SERVICES	00001	996319	392322	05/24/21	20.00
	RIVERA LUIS MARIO	00001	996334	392322	05/24/21	19.00
	RODRIGUEZ ALONSO	00001	996351	392322	05/24/21	47.00
	SECURITY CAPITAL FUNDING CORP	00001	996331	392322	05/24/21	19.00
	SHEPARD ARGELIA	00001	996335	392322	05/24/21	66.00
	SIMON HARRY L	00001	996327	392322	05/24/21	19.00
	SIMON HARRY L	00001	996328	392322	05/24/21	19.00
	SKRETA PETER	00001	996344	392322	05/24/21	134.00
	SOLIS-NAJERA SANDRA PAOLA	00001	996339	392322	05/24/21	19.00

County of Adams
Vendor Payment Report

<u>2015</u>	<u>SHF- Civil Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	TOP HAT FILE AND SERVE	00001	996325	392322	05/24/21	19.00
	TOP HAT FILE AND SERVE INC	00001	996352	392322	05/24/21	19.00
	VALDIVIA EDDYE	00001	996340	392322	05/24/21	19.00
					Account Total	1,088.00
					Department Total	1,088.00

County of Adams
Vendor Payment Report

<u>2075</u>	<u>SHF- Commissary Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA FINANCIAL SERVICES	00001	996403	392405	05/25/21	221.72
					Account Total	221.72
	Operating Supplies					
	TOSHIBA FINANCIAL SERVICES	00001	996403	392405	05/25/21	41.90
					Account Total	41.90
					Department Total	263.62

County of Adams
Vendor Payment Report

<u>2016</u>	<u>SHF- Detective Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA FINANCIAL SERVICES	00001	996403	392405	05/25/21	680.85
					Account Total	680.85
	Operating Supplies					
	TOSHIBA FINANCIAL SERVICES	00001	996403	392405	05/25/21	241.15
					Account Total	241.15
	Other Communications					
	VERIZON WIRELESS	00001	996404	392405	05/25/21	1,938.14
					Account Total	1,938.14
					Department Total	2,860.14

County of Adams
Vendor Payment Report

<u>2071</u>	<u>SHF- Detention Facility</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA FINANCIAL SERVICES	00001	996403	392405	05/25/21	1,707.85
					Account Total	1,707.85
	Operating Supplies					
	SUMMIT FOOD SERVICE LLC	00001	996402	392405	05/25/21	6,471.02
	TOSHIBA FINANCIAL SERVICES	00001	996403	392405	05/25/21	516.68
					Account Total	6,987.70
					Department Total	8,695.55

County of Adams
Vendor Payment Report

<u>2017</u>	<u>SHF- Patrol Division</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA FINANCIAL SERVICES	00001	996403	392405	05/25/21	521.48
					Account Total	521.48
	Operating Supplies					
	TOSHIBA FINANCIAL SERVICES	00001	996403	392405	05/25/21	151.90
					Account Total	151.90
					Department Total	673.38

County of Adams
Vendor Payment Report

<u>2018</u>	<u>SHF- Records/Warrants Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA FINANCIAL SERVICES	00001	996403	392405	05/25/21	377.25
					Account Total	377.25
	Operating Supplies					
	TOSHIBA FINANCIAL SERVICES	00001	996403	392405	05/25/21	178.55
					Account Total	178.55
					Department Total	555.80

County of Adams
Vendor Payment Report

<u>2005</u>	<u>SHF- TAC Section</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Rental					
	TOSHIBA FINANCIAL SERVICES	00001	996403	392405	05/25/21	139.24
					Account Total	139.24
	Operating Supplies					
	TOSHIBA FINANCIAL SERVICES	00001	996403	392405	05/25/21	19.88
					Account Total	19.88
					Department Total	159.12

County of Adams
Vendor Payment Report

<u>7</u>	<u>Stormwater Utility Fund</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Received not Vouchered Clrg					
	DREXEL BARRELL & CO	00007	996654	392595	05/27/21	9,887.45
					Account Total	9,887.45
	Stormwater Utility Fee					
	MCATEE GEORGE A/PATRICIA A TRU	00007	996440	392514	05/26/21	49.80
					Account Total	49.80
					Department Total	9,937.25

County of Adams
Vendor Payment Report

<u>4011</u>	<u>Tri County Health</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Grants to Other Instit					
	TRI COUNTY HEALTH DEPT	00001	996399	392401	05/25/21	<u>7,684.07</u>
					Account Total	<u>7,684.07</u>
					Department Total	<u><u>7,684.07</u></u>

County of Adams
Vendor Payment Report

<u>4316</u>	<u>Wastewater Treatment Plant</u>	<u>Fund</u>	<u>Voucher</u>	<u>Batch No</u>	<u>GL Date</u>	<u>Amount</u>
	Equipment Maint & Repair					
	ALBERTS WATER & WASTEWATER SER	00043	996401	392403	05/25/21	112.00
	ALBERTS WATER & WASTEWATER SER	00043	996401	392403	05/25/21	180.00
	ALBERTS WATER & WASTEWATER SER	00043	996401	392403	05/25/21	26.00
	ALBERTS WATER & WASTEWATER SER	00043	996401	392403	05/25/21	119.00
	ALBERTS WATER & WASTEWATER SER	00043	996401	392403	05/25/21	531.25
					Account Total	968.25
	Gas & Electricity					
	XCEL ENERGY	00043	996442	392517	05/26/21	972.37
	XCEL ENERGY	00043	996442	392517	05/26/21	15.01
					Account Total	987.38
					Department Total	1,955.63

County of Adams
Vendor Payment Report

Grand Total 2,162,608.32



**Board of County Commissioners
Minutes of Commissioners' Proceedings**

**Eva J. Henry - District #1
Charles "Chaz" Tedesco - District #2
Emma Pinter - District #3
Steve O'Dorisio - District #4
Lynn Baca - District #5**

**Tuesday
May 25, 2021
9:30 AM**

1. ROLL CALL

Present: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

2. PLEDGE OF ALLEGIANCE

3. MOTION TO APPROVE AGENDA

A motion was made by Commissioner O'Dorisio, seconded by Commissioner Pinter, that this Agenda be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

4. AWARDS AND PRESENTATIONS

5. PUBLIC COMMENT

A. Citizen Communication

B. Elected Officials' Communication

6. CONSENT CALENDAR

A motion was made by Commissioner Baca, seconded by Commissioner O'Dorisio, that this Consent Calendar be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

- A.** List of Expenditures Under the Dates of May 10-14, 2021
- B.** Minutes of the Commissioners' Proceedings from May 18, 2021
- C.** Resolution Approving Abatement Petitions and Authorizing the Refund of Taxes for Account Numbers R018787, R0198657, R0134551, R0114765, R0181749, R0175862, R0179971, R0176519, R0153234, R0157622, R0165630, R0095605, R0191753 and R0161201
(File approved by ELT)
- D.** Resolution Approving Right-of-Way Agreement between Adams County and Cool Sunshine Land, LLC, for Property Necessary for the York Street Roadway and Drainage Improvements Project from East 78th Avenue to East 88th Avenue
(File approved by ELT)
- E.** Resolution Regarding Defense and Indemnification of Ryan Nalty as a Defendant Pursuant to C.R.S. § 24-10-101, Et Seq.
(File approved by ELT)
- F.** Resolution Regarding Defense and Indemnification of James Graham and Jai Rogers as Defendants Pursuant to C.R.S. § 24-10-101, Et Seq.
(File approved by ELT)
- G.** Resolution Granting a Permanent Drainage Facilities Easement Agreement from Adams County to P8 D-C Industrial Last Mile, LLC for Storm Water Drainage Purposes
(File approved by ELT)
- H.** Resolution Approving Right-of-Way Agreement between Adams County and Thomas A. Duensing Trust for Property Necessary for the York Street Roadway and Drainage Improvements Project from East 78th Avenue to East 88th Avenue
(File approved by ELT)
- I.** Resolution Approving Amendment to the Approval of Application in Case #RCU2020-00016 Washington Street Billboard CUP
(File approved by ELT)
- J.** Resolution Approving Amendment to the Approval of Application in Case #RCU2020-00013 StreetMedia 7080 York Billboard CUP
(File approved by ELT)
- K.** Resolution Approving Amendment to the Approval of Application in Case #RCU2020-00012 StreetMedia 70th Avenue Billboard
(File approved by ELT)

7. NEW BUSINESS

A. COUNTY MANAGER

1. Resolution Approving Task Order Eight between Adams County and Jviation Inc., to Provide a Cultural Survey and Master Drainage Study for the Colorado Air and Space Port
(File approved by ELT)

A motion was made by Commissioner O'Dorisio, seconded by Commissioner Pinter, that this New Business be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

2. Resolution Approving Amendment Three to the Agreement between Adams County and Elliott Auto Supply, Inc., d.b.a. Factory Motor Parts for Onsite Auto Parts and General Automotive Lubricant Services
(File approved by ELT)

A motion was made by Commissioner Tedesco, seconded by Commissioner O'Dorisio, that this New Business be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

3. Resolution Approving an Agreement between Adams County and IHC Scott, Inc., for Construction Services for the Dahlia Street Roadway and Drainage Improvement Project
(File approved by ELT)

A motion was made by Commissioner O'Dorisio, seconded by Commissioner Baca, that this New Business be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

4. Resolution Approving an Agreement between Adams County and Egan Printing Company for County-Wide Printing Services
(File approved by ELT)

A motion was made by Commissioner Pinter, seconded by Commissioner Baca, that this New Business be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

5. Resolution Approving Memorandum of Understanding between Adams County and the National Association of Counties for Services for the Annual Conference in July 2022
(File approved by ELT)

A motion was made by Commissioner Pinter, seconded by Commissioner O'Dorisio, that this New Business be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

6. Resolution Approving Memorandum of Understanding between Adams County and Colorado Counties Incorporated to Provide Services at the July 2022 National Association of Counties Conference
(File approved by ELT)

A motion was made by Commissioner Tedesco, seconded by Commissioner O'Dorisio, that this New Business be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

B. COUNTY ATTORNEY

8. **Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(e) for the Purpose of Instructing Negotiators Regarding Economic Incentives**

A motion was made by Commissioner O'Dorisio, seconded by Commissioner Baca, that this Executive Session be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

9. **Motion to Adjourn into Executive Session Pursuant to C.R.S. 24-6-402(4)(a) for the Purpose of Instructing Negotiators Regarding Property Sale or Acquisition**

A motion was made by Commissioner O'Dorisio, seconded by Commissioner Pinter, that this Executive Session be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

10. LAND USE HEARINGS

A. Cases to be Heard

1. PLT2021-00005 Evelyn Acres Subdivision Exemption

(File approved by ELT)

A motion was made by Commissioner Tedesco, seconded by Commissioner Pinter, that this Land Use Hearing be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

2. VAC2020-00003 Plant and Hall Roadway Vacation

(File approved by ELT)

A motion was made by Commissioner Tedesco, seconded by Commissioner Baca, that this Land Use Hearing be approved. The motion carried by the following vote:

Aye: 5 - Commissioner Henry, Commissioner Tedesco, Commissioner Pinter, Commissioner O'Dorisio, and Commissioner Baca

11. ADJOURNMENT

AND SUCH OTHER MATTERS OF PUBLIC BUSINESS WHICH MAY ARISE

ADAMS COUNTY PUBLIC TRUSTEE OPERATIONAL EXPENSE FOR THE QUARTER ENDING MARCH 2021

PERSONNEL SERVICES

Salary - Dept. Head	3,125.01
Salary - Permanent Full Time	37,109.42
Salary - Part Time Temporary	6,834.20
Overtime	-

PERSONAL SRVS TOTAL 47,068.63

FRINGE BENEFITS

Medical Insurance	5,400.45
Dental Insurance	93.03
Vision Insurance	9.30
Life Insurance	37.35
Disability Compensation	284.25
Retirement (PT Match)	3,710.95
Workmen's Compensation	53.06
Fica (PT Match)	2,606.09
Mcr (PT Match)	609.49

BENEFIT TOTAL 12,803.97

OPERATING AND MAINTENANCE

Operating Supplies	583.72
Special Events	-
Releases - Postage	25.27
Envelopes & Labels	-
Books & Forms	-
Subscriptions	-
Publications	-

O&M TOTAL 608.99

CHARGES FOR SERVICES

Equipment Maint. & Rental	40.00
Office Equipment (Planned)	-
Business Meetings	-
Mileage Reimbursement	-
Association Dues	625.00
Misc Expense	-
Petty Cash Expense	-
Office Rent	-
Telephone	106.15
IT Support	-
Consultant - Non Recurring	-
Re-Recordings	-
Other Professional Service	1,803.04
Travel & Transportation	-
Education & Training	-
Insurance Premiums & Bonds	-
Computer Supplies/Upgrades	-

CHARGES FOR SERVICES TOTAL 2,574.19

CAPITAL OUTLAY

Computer Software Purchases	-
Computer Hardware Purchases	-
Office Furniture & Equipment	-

CAPITAL OUTLAY TOTAL -

TOTAL EXPENDITURES FOR QUARTER 63,055.78

RECONCILIATION

General Expense CheckBook Balance over/under	63,055.78
Other REFUNDED PT 1/2 ANNUAL RENT FROM 2020	-
Total of Other Check Not Written	-
Credits	-
Re-Recordings for the quarter	-
Total Deposits to General Exp. And Payroll Accounts	-
Less Deposits to Postage/Misc/copies	-

BALANCE REC TOTAL 63,055.78
OVER/SHORT 0.00

PUBLIC TRUSTEE REVENUE FOR QUARTER ENDING MARCH 2021

FORECLOSURE REVENUE: 5,803.79

TOTAL REVENUE COLLECTED FROM FORECLOSURES 5,803.79

PUBLIC TRUSTEE DOCUMENTS:

0	(Certificates of Redemption @ 30.00 each)	-
0	(Lienor Intents to Redeem @ 50.00 each)	-
0	(Public Trustee Deeds @ 30.00 each)	(450.00)

TOTAL REVENUE COLLECTED FROM DOCUMENTS (450.00)

PUBLIC TRUSTEE RELEASE FEES:

12,542 (Releases executed @ 15.00 each) 188,130.00

PUBLIC TRUSTEE TAX ESCROW FEES

0 (PT tax escrow fees @ 75.00 each) -

TOTAL OF ALL PUBLIC TRUSTEE FEES COLLECTED FOR THE 1ST QUARTER, 2021 193,483.79

OPERATIONAL EXPENSES FOR QUARTER

Personnel Services	47,068.63
Fringe Benefits	12,803.97
Operating & Maintenance	608.99
Charges for Services	2,574.19
<u>Capital Outlay</u>	<u>0.00</u>

TOTAL OPERATIONAL EXPENSES 63,055.78

SUMMARY OF QUARTERLY TRANSACTIONS

Total Fees Collected for the Quarter	193,483.79
Transfer Excess PT Fees to Escrow Holding/Rent	-
Less Operational Expenses for Quarter	63,055.78

BALANCE: 130,428.01

QUARTER ENDING BALANCE: 130,428.01

DISPOSITION OF BALANCE OF PUBLIC TRUSTEE FEES COLLECTED 1ST QUARTER, 2021

QUARTER ENDING BALANCE	130,428.01
AMOUNT DEPOSITED WITH ADAMS COUNTY TREASURER *adj overpayment processing 2nd qtr	141,676.01
TRUSTEE ESCROW FUND PER C.R.S. 38-37-104	273,501.31

Lisa L. Culpepper upon oath duly sworn deposes and says the information contained herein above is true and correct to the best of her knowledge


Treasurer and Public Trustee of Adams County - Lisa L. Culpepper, JD

State of Colorado)
) ss.
County of Adams)



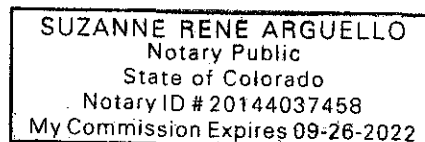
This record was acknowledged before me on 5-21, 2021 by Lisa L. Culpepper, JD,
Adams County Treasurer and Public Trustee.

My commission expires: 9-26-22

Witness my hand and official seal



NOTARY SIGNATURE





Notary Public

ADAMS COUNTY BOARD OF COMMISSIONERS APPROVAL

Dated: _____

Chairman, Adams County Board of Commissioners



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15 th , 2021
SUBJECT: Final Acceptance of the Public Improvements constructed at the Welby Business Park, Phase 2, 76 th Avenue, West of York Street
FROM: Brian Staley, PE, PTOE, Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approve a resolution granting Final Acceptance of the public improvements constructed at the Welby Business Park, Phase 2, 76 th Avenue, West of York Street, (Case No.'s RWC2015-00026, RWC2015-00027, RWC2015-00038, EGR2016-00042, PLN2018-00008, INF2018-00023, SIA2017-00001 and CSI2018-00008).

BACKGROUND:

The WELBY BUSINESS PARK, PHASE 2 is generally located along 76th Avenue west of York Street in unincorporated Adams County as indicated by the attached map (Exhibit A). The public improvements for the Welby Business Park, Phase 2, were granted Preliminary Acceptance on February 4, 2019. As outlined in resolution number 2018-210 approving the Development Agreement, all improvements have satisfactorily completed the guarantee period. The Letter of Credit, issued by the Independent Bank, that has been placed as collateral in the amount of \$238,929.39, will need to be released as part of this Final Acceptance.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works Department
Adams County Community and Economic Development Department
Adams County Attorney's Office

ATTACHED DOCUMENTS:

Exhibit A

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION FOR FINAL ACCEPTANCE OF THE PUBLIC IMPROVEMENTS CONSTRUCTED AT
THE WELBY BUSINESS PARK, PHASE 2, (Case No's. RWC2015-00026, RWC2015-00027, RWC2015-
00038, EGR2016-00042, PLN2018-00008, INF2018-00023, SIA2017-00001 and CSI2018-00008)

WHEREAS, the required public street improvements have been constructed at the WELBY BUSINESS PARK, PHASE 2, Case No's. RWC2015-00026, RWC2015-00027, RWC2015-00038, EGR2016-00042, PLN2018-00008, INF2018-00023, SIA2017-00001, and CSI2018-00008, in accordance with the approved construction drawings; and,

WHEREAS, in accordance with the provisions of the Adams County Development Standards and Regulations, the public improvements have satisfactorily completed the guaranty period; and,

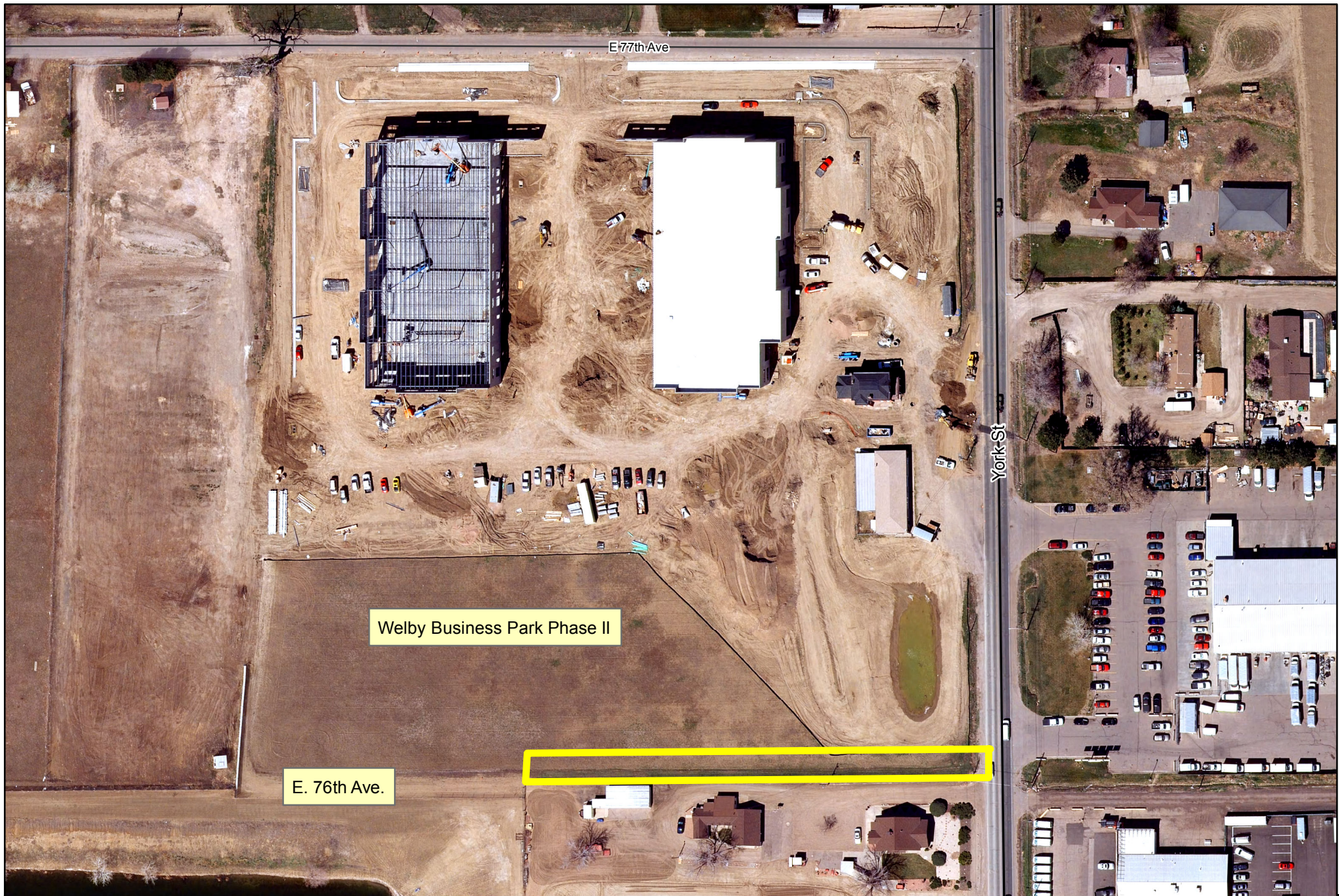
WHEREAS, in accordance with the Adams County Development Standards and Regulations, the Adams County Public Works Department has inspected the public improvements for Final Acceptance; and,

WHEREAS, the Adams County Public Works Department recommends Final Acceptance of the public improvements constructed at the WELBY BUSINESS PARK PHASE 2; and,

WHEREAS, in accordance with the Adams County Development Standards and Regulations, and the Development Agreement as approved by resolution number 2018-210, the Letter of Credit, issued by the Independent Bank, that has been placed as collateral in the amount of \$238,929.39, will need to be released as part of this Final Acceptance.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the public improvements constructed at the WELBY BUSINESS PARK PHASE 2, be and hereby are accepted and approved in accordance with the provisions of the Adams County Development Standards and Regulations.

BE IT FURTHER RESOLVED, that the BOCC hereby authorizes the release of the posted collateral, as noted in The Letter of Credit, issued by the Independent Bank, that has been placed as collateral in the amount of \$238,929.39.



Welby Business Park Phase II



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: Resolution accepting Warranty Deed conveying property from Patricia R. Gibbons to Adams County for road right-of-way
FROM: Brian Staley, P.E., PTOE, RSP, Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Warranty Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along East 58th Avenue for the East 58th Avenue Improvements Project – East 58th Avenue from Clarkson Street to York Street. The County is in need of a portion of Patricia R. Gibbons property for the construction of curb, gutter, sidewalk and drainage improvements. The attached resolution allows Adams County to accept the Warranty Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Warranty Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING WARRANTY DEED CONVEYING PROPERTY FROM
PATRICIA R. GIBBONS TO ADAMS COUNTY FOR ROAD RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way and temporary construction easements along East 58th Avenue for the East 58th Avenue Improvements Project – East 58th Avenue from Clarkson Street to York Street (the “Project”); and,

WHEREAS, this right-of-way parcel is from property at 5820 Ogden Street, located in the Southwest Quarter of Section 11, Township 3 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado, and owned by Patricia R. Gibbons (“Parcel 6”); and,

WHEREAS, Adams County requires ownership of Parcel 6 for construction of the Project; and,

WHEREAS, Patricia R. Gibbons has executed a Warranty Deed to convey Parcel 6 for road right-of-way purposes for East 58th Avenue that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 25th day of March, 2021, the Planning Commission recommended that the Board of County Commissioners accept said Warranty Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Warranty Deed from Patricia R. Gibbons, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

WARRANTY DEED

THIS DEED, dated this 3rd day of July, 2020, between **Patricia R. Gibbons and The Estate of Michael F. Spera**, whose address is 2450 Shooting Star Way, Evans, CO 80620, grantor(s), and the **COUNTY OF ADAMS, State of Colorado**, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for and in consideration of the sum of \$1,965.00, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for East 58th Avenue

Also known by street and number as:

Assessor's schedule or parcel number: 0182511300010


TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the ensembling and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except interests of record.

The grantor(s) shall and will **WARRANT AND FOREVER DEFEND** the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

Patricia R. Gibbons



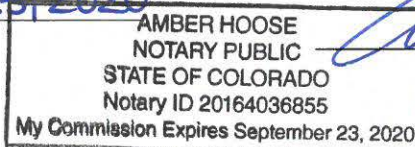
STATE OF Colorado)

County of Weld) §

The foregoing instrument was acknowledged before me this 26th day of June, 2020, by Patricia R. Gibbons.

Witness my hand and official seal.

My commission expires: Sep 23, 2020



Notary Public

The Estate of Michael F. Spera

By: Sharon Spera P. R.

Print: SHARON SPERA

Title: PERSONAL REPRESENTATIVE

STATE OF Colorado)
County of Jefferson) §

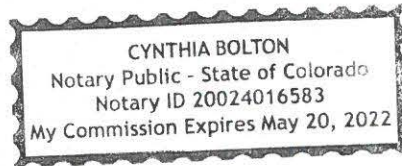
The foregoing instrument was acknowledged before me this 3rd day of July, 2020, by Sharon Spera as Personal Representative of The Estate of Michael F. Spera.

Witness my hand and official seal.

My commission expires: 5/20/2022

Cynthia Bolton

Notary Public





Drexel, Barrell & Co.

JULY 1, 2019

EXHIBIT A
LEGAL DESCRIPTION
PARCEL RW-6
RIGHT-OF-WAY DEDICATION

Engineers/Surveyors

Boulder
Colorado Springs
Greeley

1800 38th Street
Boulder, CO 80301-2620

303.442.4338
303.442.4373 Fax

A TRACT OF LAND BEING A PORTION OF THAT TRACT OF LAND DESCRIBED AT RECEPTION NO. 2007000051664 IN THE ADAMS COUNTY RECORDS, LOCATED IN THE SW1/4 OF SECTION 11, T3S, R68W OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT OF LAND DESCRIBED AT RECEPTION NO. 2007000051664, SAID POINT ALSO BEING ON THE NORTHERLY LINE OF EAST 58TH AVENUE, THENCE N00°03'46"W, 20.00 FEET ALONG THE WESTERLY LINE OF SAID TRACT OF LAND; THENCE S89°54'29"E, 8.00 FEET TO THE EASTERLY LINE OF SAID TRACT OF LAND; THENCE S00°03'46"E, 20.00 FEET ALONG THE EASTERLY LINE OF SAID TRACT OF LAND TO THE SOUTHEAST CORNER OF SAID TRACT OF LAND; SAID POINT ALSO BEING ON SAID NORTHERLY LINE OF EAST 58TH AVENUE: THENCE N89°54'29"W, 8.00 FEET ALONG THE SOUTHERLY LINE OF SAID TRACT OF LAND AND ALONG SAID NORTHERLY LINE OF EAST 58TH AVENUE TO THE **POINT OF BEGINNING**.

CONTAINING 0.004 ACRES OR 160 SQUARE FEET, MORE OR LESS.

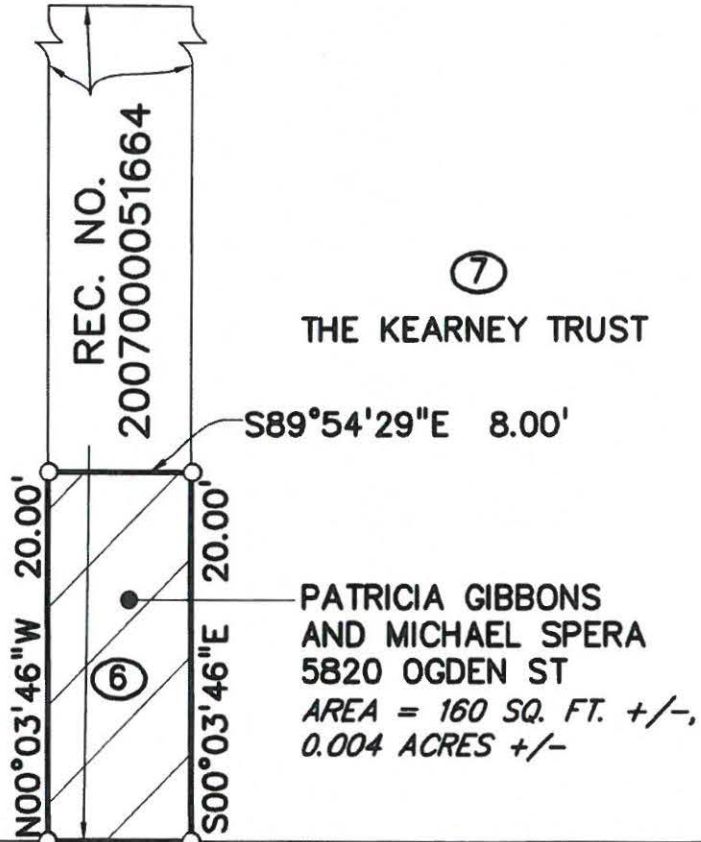
LEGAL DESCRIPTION PREPARED BY:
MATHEW E. SELTERS
DREXEL, BARRELL & CO.
1800 38TH STREET
BOULDER, CO 80301
(303) 442-4338



EXHIBIT PARCEL RW-6 R.O.W. DEDICATION

⑤
SPERA FAMILY
INVESTMENT CO ET AL

⑦
THE KEARNEY TRUST



POINT
OF BEGINNING



SCALE 1" = 10'

NOTES

1. THIS MAP IS NOT A LAND SURVEY PLAT OR AN IMPROVEMENT SURVEY PLAT. IT IS INTENDED ONLY TO DEPICT THE ATTACHED DESCRIPTION
2. INFORMATION PERTAINING TO OWNERSHIP & RIGHT-OF-WAY IS BASED UPON PUBLIC INFORMATION AVAILABLE FROM THE ADAMS COUNTY ASSESSORS OFFICE, AND DOES NOT CONSTITUTE A TITLE SEARCH BY DREXEL, BARRELL & CO. TO DETERMINE OWNERSHIP & EASEMENTS OF RECORD.

IN ACCORDANCE WITH CRS 13-80-105;

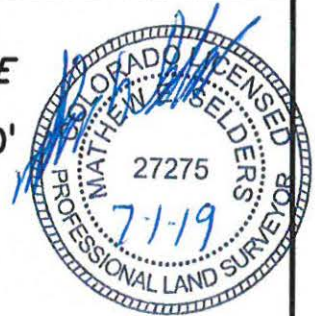
NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

Drexel, Barrell & Co. Engineers/Surveyors
1800 38TH STREET BOULDER, COLORADO 80301 (303) 442-4338



BOULDER, COLORADO (303) 442-4338
COLORADO SPRINGS, COLORADO (719) 280-0887
GREELEY, COLORADO (970) 351-0846

Revisions - Date	Date	Drawn By	Job No.
	5/3/19	MNF	20961-00
	Scale	Checked By	Drawing No.
	1"=10'	MES	IN FILE



AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A WARRANTY DEED
FROM PATRICIA R. GIBBONS TO ADAMS COUNTY
FOR RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 25th day of March, 2021, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Warranty Deed from Patricia R. Gibbons for right-of-way purposes on the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Warranty Deed is in conjunction with the East 58th Avenue for the East 58th Avenue Improvements Project – East 58th Avenue from Clarkson Street to York Street, located in the Southwest Quarter of Section 11, Township 3 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Warranty Deed from Patricia R. Gibbons be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Justin Martinez, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission

Electronically Recorded RECEPTION#: 2021000016270,
 2/9/2021 at 3:42 PM, 1 OF 3,
 DocStamp: S0.00
 TD Pgs: 0 Josh Zygielbaum, Adams County, CO.

DOC Fee: Exempt

WARRANTY DEED

THIS DEED, dated this 27 day of January, 2021, between Patricia R. Gibbons, whose address is 2450 Shooting Star Way, Evans, CO 80620, grantor(s), and the COUNTY OF ADAMS, State of Colorado, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor, for and in consideration of the sum of \$1,965.00, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee, its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for East 58th Avenue

Also known by street and number as:

Assessor's schedule or parcel number: 0182511300010

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor, either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee, its successors and assigns forever. The grantor, for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee, its successors and assigns, that at the time of the ensealing and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except interests of record.

The grantor shall and will WARRANT AND FOREVER DEFEND the above bargained premises in the quiet and peaceable possession of the grantee, its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor has executed this deed on the date set forth above.

Patricia R. Gibbons

Patricia R. Gibbons

STATE OF COLORADO)
) §
 County of WELD)

The foregoing instrument was acknowledged before me this 27th day of JANUARY, 2021, by Patricia R. Gibbons.

Witness my hand and official seal.

My commission expires: 6-20-2023

RYAN THOMPSON
 NOTARY PUBLIC
 STATE OF COLORADO
 NOTARY ID# 20144046671
 MY COMMISSION EXPIRES 06/20/2023

[Signature]
 Notary Public

No. 932, Rev. 3-98. WARRANTY DEED (For Photographic Record) Page 1 of 1

70635103



Electronically Recorded RECEPTION#: 2021000016270,
2/9/2021 at 3:42 PM, 2 OF 3,
TD Pgs: 0 Josh Zygielbaum, Adams County, CO.



Drexel, Barrell & Co.

JULY 1, 2019

EXHIBIT A
LEGAL DESCRIPTION
PARCEL RW-6
RIGHT-OF-WAY DEDICATION

Engineers/Surveyors

Boulder
Colorado Springs
Greeley

1800 38th Street
Boulder, CO 80301-2620

303.442.4338
303.442.4373 Fax

A TRACT OF LAND BEING A PORTION OF THAT TRACT OF LAND DESCRIBED AT RECEPTION NO. 2007000051664 IN THE ADAMS COUNTY RECORDS, LOCATED IN THE SW1/4 OF SECTION 11, T3S, R68W OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

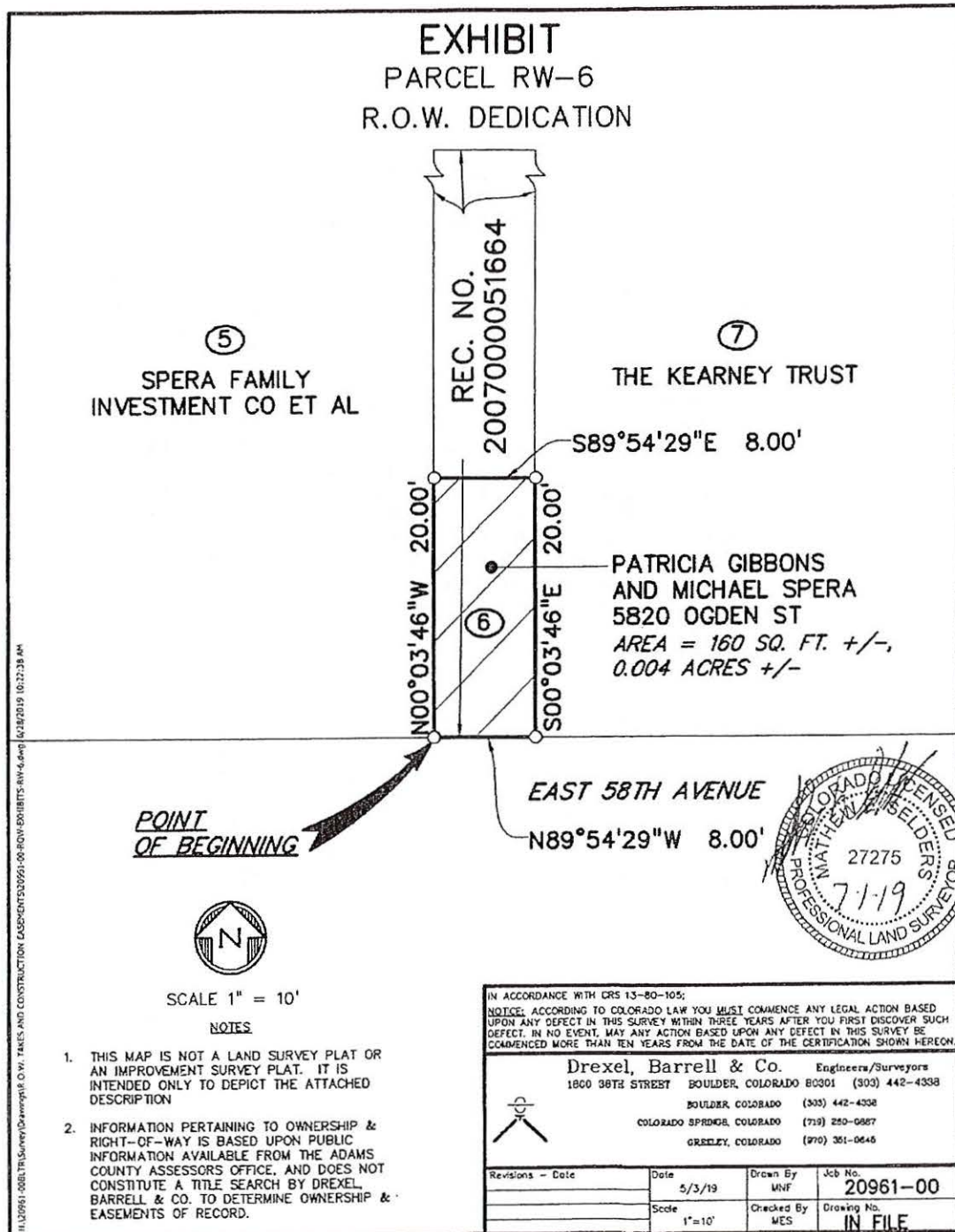
BEGINNING AT THE SOUTHWEST CORNER OF SAID TRACT OF LAND DESCRIBED AT RECEPTION NO. 2007000051664, SAID POINT ALSO BEING ON THE NORTHERLY LINE OF EAST 58TH AVENUE, THENCE N00°03'46"W, 20.00 FEET ALONG THE WESTERLY LINE OF SAID TRACT OF LAND; THENCE S89°54'29"E, 8.00 FEET TO THE EASTERLY LINE OF SAID TRACT OF LAND; THENCE S00°03'46"E, 20.00 FEET ALONG THE EASTERLY LINE OF SAID TRACT OF LAND TO THE SOUTHEAST CORNER OF SAID TRACT OF LAND; SAID POINT ALSO BEING ON SAID NORTHERLY LINE OF EAST 58TH AVENUE: THENCE N89°54'29"W, 8.00 FEET ALONG THE SOUTHERLY LINE OF SAID TRACT OF LAND AND ALONG SAID NORTHERLY LINE OF EAST 58TH AVENUE TO THE **POINT OF BEGINNING**.

CONTAINING 0.004 ACRES OR 160 SQUARE FEET, MORE OR LESS.

LEGAL DESCRIPTION PREPARED BY:
MATHEW E. SELDERS
DREXEL, BARRELL & CO.
1800 38TH STREET
BOULDER, CO 80301
(303) 442-4338



Electronically Recorded RECEPTION#: 2021000016270,
 2/9/2021 at 3:42 PM, 3 OF 3,
 TD Pgs: 0 Josh Zygielbaum, Adams County, CO.





PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: Resolution accepting Warranty Deed conveying property from Zakya Ahadi to Adams County for road right-of-way
FROM: Brian Staley, P.E., PTOE, RSP, Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners accepts the Warranty Deed for the acquisition of property needed for road right-of-way.

BACKGROUND:

Adams County is in the process of acquiring right-of-way along East 58th Avenue for the East 58th Avenue Improvements Project – East 58th Avenue from Clarkson Street to York Street. The County is in need of a portion of Zakya Ahadi property for the construction of curb, gutter, sidewalk and drainage improvements. The attached resolution allows Adams County to accept the Warranty Deed.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Draft resolution
Warranty Deed
Planning Commission resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING WARRANTY DEED CONVEYING PROPERTY FROM
ZAKYA AHADI TO ADAMS COUNTY FOR ROAD RIGHT-OF-WAY

WHEREAS, Adams County is in the process of acquiring right-of-way and temporary construction easements along East 58th Avenue for the East 58th Avenue Improvements Project – East 58th Avenue from Clarkson Street to York Street (the “Project”); and,

WHEREAS, this right-of-way parcel is from property at 1202 East 58th Avenue, located in the Southwest Quarter of Section 11, Township 3 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado, and owned by Zakya Ahadi (“Parcel 43”); and,

WHEREAS, Adams County requires ownership of Parcel 43 for construction of the Project; and,

WHEREAS, Zakya Ahadi has executed a Warranty Deed to convey Parcel 43 for road right-of-way purposes for East 58th Avenue that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 25th day of March, 2021, the Planning Commission recommended that the Board of County Commissioners accept said Warranty Deed.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Warranty Deed from Zakya Ahadi, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

WARRANTY DEED

THIS DEED, dated this 23 day of April, 2020, between **Zakya Ahadi**, whose address is 2725 Quail Creek Drive, Broomfield, CO 80023, grantor(s), and the **COUNTY OF ADAMS, State of Colorado**, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for 58th Avenue

Also known by street and number as: 1202 East 58th Avenue

Assessor's schedule or parcel number: part of 0182511312007

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the enrolling and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except oil, gas and mineral interests if any and except 2019 taxes due in 2020 which grantor agrees to pay.

The grantor(s) shall and will **WARRANT AND FOREVER DEFEND** the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

Zakya Ahadi


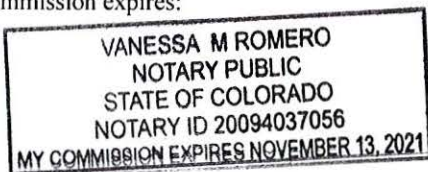


STATE OF Colorado)

County of Adams) §

The foregoing instrument was acknowledged before me this 1 day of May, 2020 by Zakya Ahadi.

Witness my hand and official seal.
My commission expires:



Notary Public



Drexel, Barrell & Co.

JULY 31, 2019

Engineers/Surveyors

Boulder
Colorado Springs
Greeley

1800 38th Street
Boulder, CO 80301-2620

303.442.4338
303.442.4373 Fax

**LEGAL DESCRIPTION
PARCEL RW-43
RIGHT-OF-WAY DEDICATION**

A TRACT OF LAND BEING A PORTION OF LOT 1, PETERSON / WELBOURNE 58TH AVE. SUBDIVISION, RECORDED AT RECEPTION NO. B691566, LOCATED IN THE SW1/4 OF SECTION 11, T3S, R68W OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

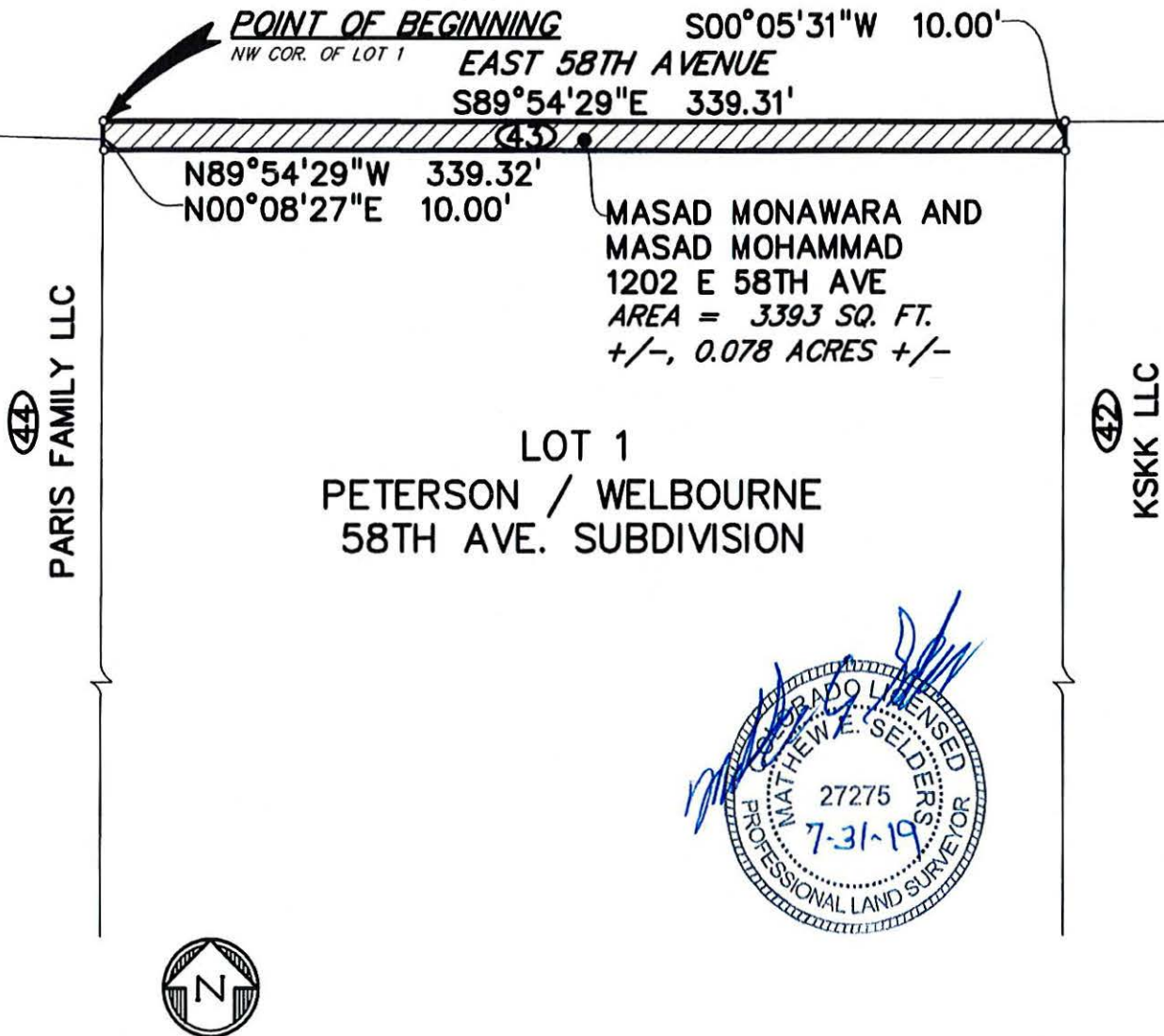
BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1, SAID POINT ALSO BEING ON THE SOUTHERLY LINE OF EAST 58TH AVENUE, THENCE S89°54'29"E, 339.31 FEET ALONG THE NORTHERLY LINE OF SAID LOT 1 AND ALONG SAID SOUTHERLY LINE OF EAST 58TH AVENUE TO THE NORTHEAST CORNER OF SAID LOT 1, SAID POINT ALSO BEING THE NORTHWEST CORNER OF GAVITO SUBDIVISION, RECORDED AT RECEPTION NO. 985524; THENCE S00°05'31"W, 10.00 FEET ALONG THE EASTERLY LINE OF SAID LOT 1; THENCE N89°54'29"W, 339.32 FEET TO THE WESTERLY LINE OF SAID LOT 1; THENCE N00°08'27"E, 10.00 FEET ALONG SAID WESTERLY LINE OF LOT 1 TO THE **POINT OF BEGINNING**.

CONTAINING 0.078 ACRES OR 3393 SQUARE FEET, MORE OR LESS.

LEGAL DESCRIPTION PREPARED BY:
MATHEW E. SELDERS
DREXEL, BARRELL & CO.
1800 38TH STREET
BOULDER, CO 80301
(303) 442-4338



EXHIBIT
PARCEL RW-43
R.O.W. DEDICATION



SCALE 1" = 60'

NOTES

1. THIS MAP IS NOT A LAND SURVEY PLAT OR AN IMPROVEMENT SURVEY PLAT. IT IS INTENDED ONLY TO DEPICT THE ATTACHED DESCRIPTION
2. INFORMATION PERTAINING TO OWNERSHIP & RIGHT-OF-WAY IS BASED UPON PUBLIC INFORMATION AVAILABLE FROM THE ADAMS COUNTY ASSESSORS OFFICE, AND DOES NOT CONSTITUTE A TITLE SEARCH BY DREXEL, BARRELL & CO. TO DETERMINE OWNERSHIP & EASEMENTS OF RECORD.

IN ACCORDANCE WITH CRS 13-80-105;

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

Drexel, Barrell & Co.

Engineers/Surveyors

1800 38TH STREET BOULDER, COLORADO 80301 (303) 442-4338

BOULDER, COLORADO (303) 442-4338

COLORADO SPRINGS, COLORADO (719) 260-0887

GREELEY, COLORADO (970) 361-0846



Revisions - Date

Date
7/31/19

Drawn By
MNF

Job No.
20961-00

Scale
1"=60'

Checked By
MES

Drawing No.
IN FILE

AGENDA ITEM

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A WARRANTY DEED
FROM ZAKYA AHADI TO ADAMS COUNTY
FOR RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 25th day of March, 2021, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Warranty Deed from Zakya Ahadi for right-of-way purposes on the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Warranty Deed is in conjunction with the East 58th Avenue for the East 58th Avenue Improvements Project – East 58th Avenue from Clarkson Street to York Street, located in the Southwest Quarter of Section 11, Township 3 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Warranty Deed from Zakya Ahadi be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, Justin Martinez, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission

DOC Fee: Exempt

WARRANTY DEED

THIS DEED, dated this 23 day of April, 2020, between Zakya Ahadi, whose address is 2725 Quail Creek Drive, Broomfield, CO 80023, grantor(s), and the COUNTY OF ADAMS, State of Colorado, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for 58th Avenue

Also known by street and number as: 1202 East 58th Avenue

Assessor's schedule or parcel number: part of 0182511312007

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the enrolling and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except oil, gas and mineral interests if any and except 2019 taxes due in 2020 which grantor agrees to pay.

The grantor(s) shall and will WARRANT AND FOREVER DEFEND the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

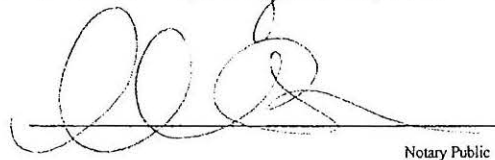
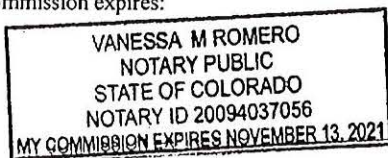
Zakya Ahadi



STATE OF Colorado)
County of Adams) §

The foregoing instrument was acknowledged before me this 1 day of May, 2020 by Zakya Ahadi.

Witness my hand and official seal.
My commission expires:


Notary Public



Drexel, Barrell & Co.

JULY 31, 2019

Engineers/Surveyors

Boulder
Colorado Springs
Greeley

1800 38th Street
Boulder, CO 80301-2620

303.442.4338
303.442.4373 Fax

**LEGAL DESCRIPTION
PARCEL RW-43
RIGHT-OF-WAY DEDICATION**

A TRACT OF LAND BEING A PORTION OF LOT 1, PETERSON / WELBOURNE 58TH AVE. SUBDIVISION, RECORDED AT RECEPTION NO. B691566, LOCATED IN THE SW1/4 OF SECTION 11, T3S, R68W OF THE 6TH P.M., COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

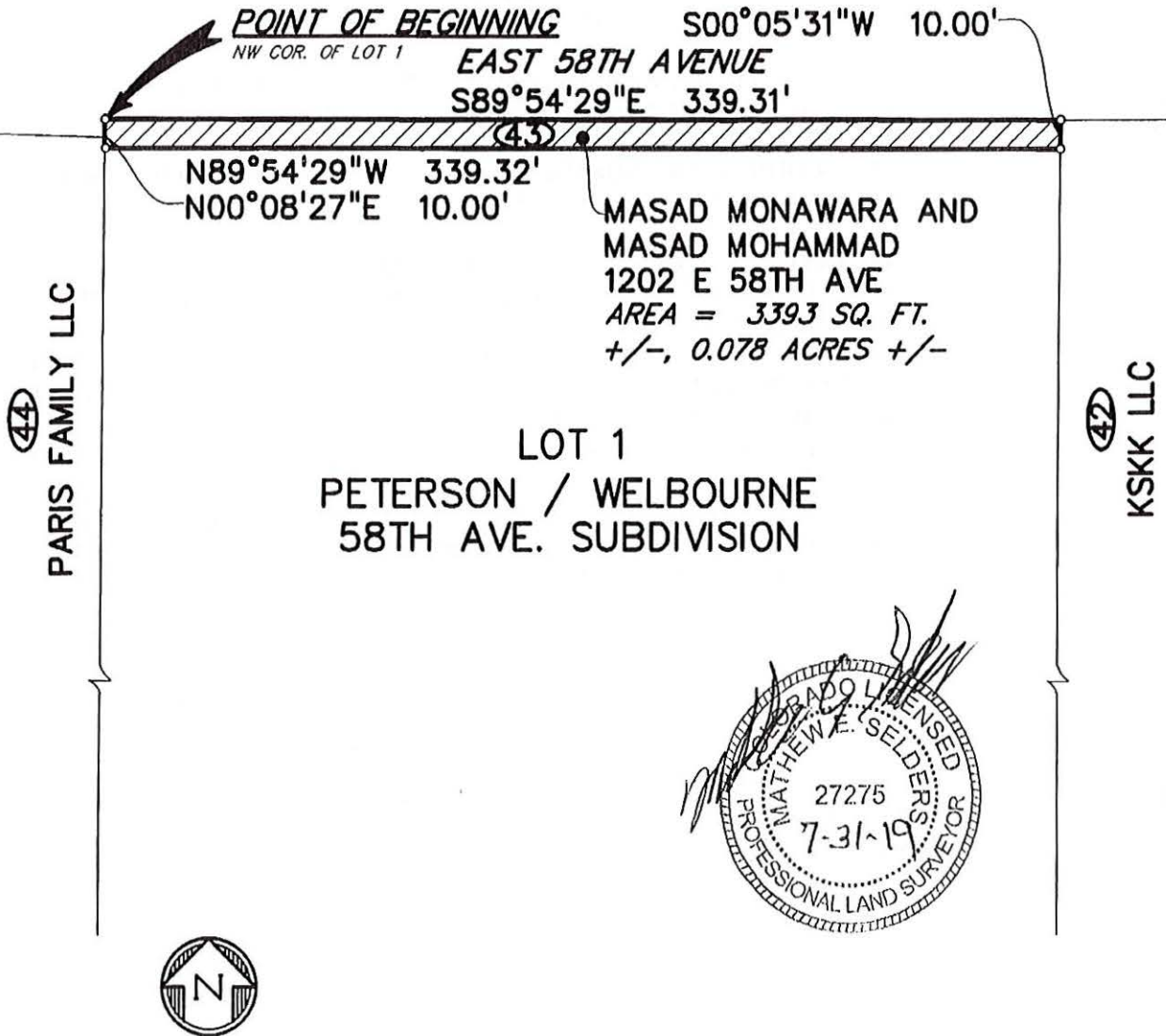
BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 1, SAID POINT ALSO BEING ON THE SOUTHERLY LINE OF EAST 58TH AVENUE, THENCE S89°54'29"E, 339.31 FEET ALONG THE NORTHERLY LINE OF SAID LOT 1 AND ALONG SAID SOUTHERLY LINE OF EAST 58TH AVENUE TO THE NORTHEAST CORNER OF SAID LOT 1, SAID POINT ALSO BEING THE NORTHWEST CORNER OF GAVITO SUBDIVISION, RECORDED AT RECEPTION NO. 985524; THENCE S00°05'31"W, 10.00 FEET ALONG THE EASTERLY LINE OF SAID LOT 1; THENCE N89°54'29"W, 339.32 FEET TO THE WESTERLY LINE OF SAID LOT 1; THENCE N00°08'27"E, 10.00 FEET ALONG SAID WESTERLY LINE OF LOT 1 TO THE **POINT OF BEGINNING**.

CONTAINING 0.078 ACRES OR 3393 SQUARE FEET, MORE OR LESS.

LEGAL DESCRIPTION PREPARED BY:
MATHEW E. SELDERS
DREXEL, BARRELL & CO.
1800 38TH STREET
BOULDER, CO 80301
(303) 442-4338



EXHIBIT
PARCEL RW-43
R.O.W. DEDICATION



SCALE 1" = 60'

NOTES

1. THIS MAP IS NOT A LAND SURVEY PLAT OR AN IMPROVEMENT SURVEY PLAT. IT IS INTENDED ONLY TO DEPICT THE ATTACHED DESCRIPTION
2. INFORMATION PERTAINING TO OWNERSHIP & RIGHT-OF-WAY IS BASED UPON PUBLIC INFORMATION AVAILABLE FROM THE ADAMS COUNTY ASSESSORS OFFICE, AND DOES NOT CONSTITUTE A TITLE SEARCH BY DREXEL, BARRELL & CO. TO DETERMINE OWNERSHIP & EASEMENTS OF RECORD.



IN ACCORDANCE WITH CRS 13-80-105;

NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

Drexel, Barrell & Co.

Engineers/Surveyors

1800 38TH STREET BOULDER, COLORADO 80301 (303) 442-4338

BOULDER COLORADO (303) 442-4338

COLORADO SPRINGS, COLORADO (719) 280-0887

GREELEY, COLORADO (970) 361-0846



Revisions - Date	Date	Drawn By	Job No.
	7/31/19	MNF	20961-00
	Scale	Checked By	Drawing No.
	1"=60'	MES	IN FILE

DOC Fee: Exempt

WARRANTY DEED

THIS DEED, dated this 23 day of April, 2020, between **Zakya Ahadi**, whose address is 2725 Quail Creek Drive, Broomfield, CO 80023, grantor(s), and the **COUNTY OF ADAMS, State of Colorado**, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Dedicated for 58th Avenue

Also known by street and number as: 1202 East 58th Avenue

Assessor's schedule or parcel number: part of 0182511312007

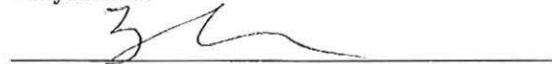
TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the enrolling and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except oil, gas and mineral interests if any and except 2019 taxes due in 2020 which grantor agrees to pay.

The grantor(s) shall and will **WARRANT AND FOREVER DEFEND** the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

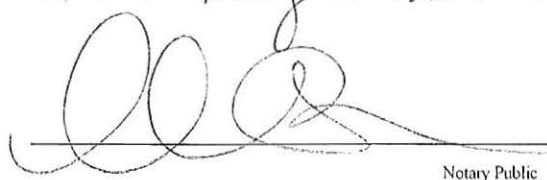
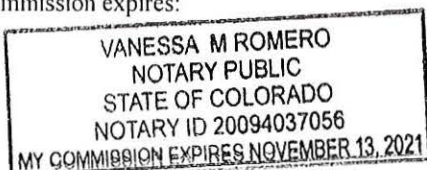
Zakya Ahadi



STATE OF Colorado)
County of Adams) §

The foregoing instrument was acknowledged before me this 1 day of May, 2020 by Zakya Ahadi.

Witness my hand and official seal.
My commission expires:



Notary Public



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: Encroachment Agreement between Copland Holdings, LLC and Adams County
FROM: Ryan Nalty, Deputy Director, Community and Economic Development Department
AGENCY/DEPARTMENT: Community and Economic Development
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the Encroachment Agreement from Copland Holdings, LLC (“Owner”), which places responsibility for certain public improvements to be constructed by the Owner as described in Exhibit “A”. These public improvements consist of new storm water outfall and RCP installation within county rights-of-way, and associated structures.

BACKGROUND:

Copland Holdings, LLC is the owner of property being in Southeast Quarter of Section 8, Township 3 South, Range 64 West of the 6th Principal Meridian in Adams County. Copland Holdings, LLC is constructing additional storm water drainage improvements on the property. Per engineering review, and building permits these improvements are required.

The subject request is consistent with the requirement for approval of an Encroachment Agreement within Adams County. In addition, staff reviewed the Agreement and determined that the proposed improvements conform to the requirements outlined in the County’s Development Standard and Regulations.

The Department of Community and Economic Development also reviewed construction documents associated with the storm water drainage facilities. Final acceptance of the project is contingent upon approval of the Encroachment Agreement.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Attorney’s Office
Public Works

ATTACHED DOCUMENTS:

Encroachment Agreement between Copland Holdings, LLC, and Adams County

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING ENCROACHMENT AGREEMENT BETWEEN COPELAND
HOLDINGS, LLC AND ADAMS COUNTY FOR IMPROVEMENTS IN COUNTY RIGHT-
OF-WAY

WHEREAS, Copeland Holdings, LLC is the owner of a parcel of land located in the West half of the Southeast Quarter of Section 8, Township 3 South, Range 64 West of the 6th Principal Meridian, County of Adams, State of Colorado; and,

WHEREAS, Copeland Holdings, LLC installed storm drainage facilities within the right-of-way of East 56th Avenue; and,

WHEREAS, Adams County requires an Encroachment Agreement for improvements within the County right-of-way; and,

WHEREAS, the Encroachment Agreement will benefit the public by improving safety in the area by controlling storm water run-off.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Encroachment Agreement between Copeland Holdings, LLC and Adams County, a copy of which is attached hereto and incorporated herein by reference, be and hereby is approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to execute said Encroachment Agreement on behalf of Adams County.

ENCROACHMENT AGREEMENT

This encroachment agreement ("Agreement") is entered into this 19 day of May, 2021 between ADAMS COUNTY, a body politic, whose address is 4430 S Adams County Parkway, Brighton, Colorado 80601 (the "County") and Copeland Holdings, LLC (the "Property Owner") whose address is 6397 W. Prentice Ave., Littleton, CO 80123. The County and the Property Owner are collectively referred to as the "Parties".

RECITALS

WHEREAS, the Property Owner owns a parcel of land located in the West half of the Southeast Quarter of Section 8, Township 3 South, Range 64 West, of the 6th Principal Meridian, Adams County, Colorado, as recorded in the Public Records of Adams County, Colorado by Special Warranty Deed, Reception No: 2019000030425, April 25, 2019 (Tax Parcel # 0181700000018) hereinafter referred to as the "Property"; and,

WHEREAS, Property Owner is requesting to install an 18" reinforced concrete pipe for their detention pond outfall and a rip-rap stabilization pad for an emergency spillway to the pond, hereinafter called the "Improvements", within the right-of-way of E. 56th Avenue, being adjacent to the Property as shown on the attached plan. Said right-of-way being dedicated to Adams County by Resolution as recorded at Reception No: 2021000036623 in Adams County Public Records.

NOW THEREFORE, the Parties hereby agree that the Improvements will be permitted to encroach onto the County's Right-of-Way, subject to the following:

- A. In the event that the County desires to construct a County project within E. 56th Avenue that affects the Improvements, the County may elect to demolish as much of the Improvements as are needed (at the County's expense), or require the Property Owner to remove and later reinstall the Improvements (at the Property Owner's expense), to accommodate the County's project.
- B. The County will provide the Property Owner written notice of its need to effect the Improvements at least 30 calendar days prior to disturbance of the Improvements. The County will provide the Property Owner information regarding the County's project. If the County decides to require the Property Owner to remove the Improvements, the County will specify a date by which the Improvements shall be removed. It is the Property Owner's responsibility to reinstall the Improvements according to the attached plan, unless otherwise approved in writing by the County.
- C. This Agreement creates no property interest for the Property Owner to the County's Right-of-Way except for the specific encroachment as described herein.
- D. Property Owner agrees to indemnify and hold harmless the County, its officials, officers, contractors, agents and employees from any damage occurring to, or caused by, the Improvements or for any harm caused by the Improvements to persons allowed upon the County's Right-of-Way.

- E. The Improvements shall be maintained **by** the property owner in accordance with the most current version of the Adams County Codes and Development Standards and Regulations.
- F. The Property owner shall have his Agreement recorded in the County records and this Agreement runs with the Property until such time as the Parties mutually release the other in writing from this Agreement.
- G. The existence of this Agreement does not render the Improvements a legal, non-conforming use of the Property or the County's Right-of-Way.

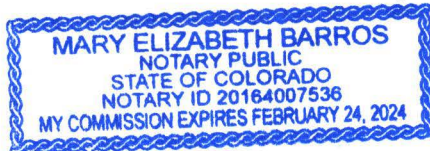
PROPERTY OWNER:

By: [Signature]
Bart G. Copeland, President

STATE OF COLORADO)
COUNTY OF Denver)§

The foregoing instrument was acknowledged before me this 14th day of May, 2021, by Bart G. Copeland, as President of Copeland Holdings, LLC, a Colorado Limited Liability Company.

Witness my hand and official seal:



[Signature] M. Barros
Notary Public
My commission expires: February 24, 2024

COUNTY:

Board of County Commissioners,
County of Adams, State of Colorado

Attest:
Josh Zygielbaum, Clerk

By: _____
Chair

By: _____
Deputy Clerk

Approved as to form: _____
County Attorney's Office



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: Access License Agreement between Public Service Co. of Colorado and Adams County
FROM: Ryan Nalty, Deputy Director, Community and Economic Development Department
AGENCY/DEPARTMENT: Community and Economic Development
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the approves the Access License Agreement with Public Service Company of Colorado, which places responsibility for certain public improvements to be constructed by the Owner as described in Exhibit "A". These public improvements consist of new storm water detention pond, and associated structures.

BACKGROUND:

Public Service Company of Colorado is the owner of the property located at 6198 Franklin Street in Adams County. Public Service is constructing additional storm water drainage improvements on the property. Per Engineering Review, these improvements are required.

The subject request is consistent with the requirement for approval of a Access License Agreement within Adams County. In addition, staff reviewed the Agreement and determined that the proposed improvements conform to the requirements outlined in the County's Development Standard and Regulations.

The Department of Community and Economic Development also reviewed construction documents associated with the storm water detention facilities. Final acceptance of the project is contingent upon approval of the Access License Agreement.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Attorney's Office
Public Works

ATTACHED DOCUMENTS:

Access License Agreement between Public Service Company of Colorado and Adams County

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING ACCESS LICENSE AGREEMENT BETWEEN PUBLIC
SERVICE COMPANY OF COLORADO AND ADAMS COUNTY FOR ACCESS TO STORM
WATER DRAINAGE FACILITIES

WHEREAS, Public Service Company of Colorado, is the owner of a parcel of land located in the South half of the Northeast Quarter of Section 11, Township 3 South, Range 68 West of the 6th Principal Meridian, County of Adams, State of Colorado; and,

WHEREAS, Public Service Company of Colorado is required to install stormwater management and drainage facilities pursuant to the Adams County Development Standards and Case No. EGR2020-00036; and,

WHEREAS, Adams County requires access to the stormwater management and drainage facilities in order to ensure adequate maintenance, operation, and repair of the stormwater management and drainage facilities; and,

WHEREAS, by means of the attached Access License Agreement, Public Service Company of Colorado and the County have agreed to the terms and conditions for such access; and,

WHEREAS, the Adams County Community and Economic Development Department recommends approval of the attached Access License Agreement.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Access License Agreement between Public Service Company of Colorado and Adams County, a copy of which is attached hereto and incorporated herein by reference, be and hereby is approved.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to execute said Access License Agreement on behalf of Adams County.

ACCESS LICENSE AGREEMENT

This Access License Agreement ("Agreement") is made and entered into this _____ day of _____, 2021, by and between Public Service Company of Colorado, a Colorado corporation (hereinafter the "Landowner"), and Adams County, STATE OF COLORADO, a body politic, whose address is 4430 South Adams County Parkway, Brighton, Colorado 80601 ("County").

RECITALS

The Landowner is the owner of real property at its Cherokee Power Station, located at 6198 Franklin Street, Denver, CO 80216 in Adams County, Colorado (the "Property"). Landowner hereby grants to County, with respect to such title and interest as Landowner may have in the Property, and upon the terms and conditions hereinafter stated, the non-exclusive permission and right to access the Property for the limited purpose set forth below.

The purpose of this Agreement is to ensure the adequate maintenance, operation and repair of the stormwater management and drainage facilities, for so long as such facilities are required by the County.

The Landowner hereby provides certain limited access rights to the South Storm Pond and associated features (WQCV Structure, Discharge Pipe, and Trickle Channel) and Manhole MH-1, as shown on Exhibit "A" (hereinafter referred to as "the Drainage Facilities") as well as the off-site 36 inch storm sewer line that runs throughout Cherokee Plant (also known as the previous Farmers and Gardeners (F&G) Ditch pipe) for the sole purpose of inspecting, repairing and maintaining the Drainage Facilities, but only in the event Landowner fails to maintain such Drainage Facilities and subject to the terms and conditions herein.

For the purposes of this Agreement, the following definitions shall apply:

Drainage Facilities means new associated storm sewer inlets, pipes, culverts, channels, ditches, hydraulic structures, detention, and water quality basins, if any, as specifically depicted on Exhibit "A" attached hereto and made a part herein

NOW, THEREFORE, the mutual covenants contained herein and the following terms and conditions, the parties hereto agree as follows:

1. The Landowner hereby grants a license to the County, its authorized agents, and employees, to enter upon the Property, at reasonable times and upon presentation of proper identification, for the sole purpose of inspecting the Drainage Facilities whenever it deems necessary. Except in the case of an emergency, the County shall notify the Landowner in writing and by telephone at least 48 hours prior to entering the Property. Landowner shall have the right to have a representative accompany the County while the

County is on the Property. The County's entry rights under this Agreement are limited to the Drainage Facilities, and the County must be escorted by a Landowner representative while on the Property. The County and its authorized agents and employees must observe Landowner's safety and security policies while on the Property.

2. The County acknowledges that the location of the Drainage Facilities as depicted in Exhibit "A" may change from time to time. Upon relocation of the Drainage Facilities, the Landowner agrees to notify the County and provide the County the opportunity to inspect any new Drainage Facilities to ensure they are built to County standards pursuant to the County's Development Standards and Regulations and County Ordinances.
3. In December of 2019, a novel (new) coronavirus was first detected in Wuhan, Hubei Province, People's Republic of China, causing outbreaks of the coronavirus disease COVID-19 that has now spread globally. The Secretary of Health and Human Services (HHS) for the United States of America, declared a public health emergency on January 31, 2020. Federal, State, and local governments have taken preventative and proactive measures to slow the spread of the virus. The County agrees that access to the Property may be temporarily limited or restricted by Landowner to protect against the spread of COVID-19 or in the event of other similar pandemics. Further, the County agrees that it, along with its employees, representatives, agents, and contractors, assume the risk of entry to the Property for the purpose of this Agreement, and acknowledge and agree, to the extent allowed by law, to release and discharge Landowner, its parent, employees, insurers, agents, contractors, and affiliates from any and all claims which may arise due to County's entry onto the property for the purpose of this Agreement, including for claims related, but not limited to, illnesses, injuries, or any other consequences, unless such claims arise due to willful or wanton acts by the Landowner.
4. In the event the Landowner fails to operate and maintain the Drainage Facilities in good working order as reasonably determined by the County, the County may enter upon the Property and take action to maintain and/or repair and/or reconstruct said facilities, subject to the Landowner rights set forth in the Adams County Development Standards and Regulations and County Ordinances and subject to the Landowner's safety and security policies.
5. In the event Landowner has breached this Agreement and the County, pursuant to this Agreement, performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like, the Landowner shall reimburse the County for all reasonable repair or maintenance expenses to Drainage Facilities, subject to the Landowner rights set forth in the Adams County Development Standards and Regulations and County Ordinances. In the event the County exercises its right to maintain the Drainage Facilities, all of the County's reasonable costs to maintain the Facilities shall be reimbursed by Landowner within thirty days of receiving the County's invoice, including collection costs and attorney fees, subject to the Landowner rights set forth in the Adams County Development Standards and Regulations and County Ordinances.

6. Nothing in this Agreement shall be construed as a waiver in whole or in part of any of the rights, protections, privileges, limitations on damages, or governmental immunity provided to the County and its respective directors, officers, employees, servants, or authorized volunteers pursuant to the Colorado Governmental Immunity Act, 24-10-101, et seq., C.R.S., as the same currently exists or may hereafter be amended.
7. There are no third-party beneficiaries to this Agreement.
8. Notifications and reports made under this Agreement shall be provided.

To the County at:

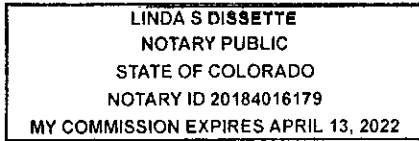
Stormwater Administrator, Public Works
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway
Brighton, CO 80601
Main: 720.523.6400
SWQ@adcogov.org | www.adcogov.org/stormwater

To the Landowner at:

C/O Environmental Analyst (Cherokee)
Public Service Company of Colorado
6198 Franklin Street,
Denver, CO 80216
303-294-3340

9. This Agreement shall terminate when the Drainage Facilities are no longer required by the County, or when the Drainage Facilities are no longer used by the Landowner and there is County review for proposed abandonment and written approval.
10. This Agreement shall be binding on the Parties and their successors and assigns.
11. This license Agreement does not convey an interest in real property. The parties do not by this license Agreement intend to create a lease, easement or other real property interest. Nothing contained in this license Agreement shall be deemed or construed to create a partnership or joint venture of or between Landowner and County, or to create any other relationship between the parties other than that of licensor and licensee.

IN WITNESS WHEREOF, Landowner has hereto set his hand on this 13 day of May, 2021.



By: [Signature]

Print Name: Jeff West

Print Title: Sr. Director, Environmental Services

STATE OF COLORADO)
COUNTY OF Denver) §

The foregoing instrument was acknowledged before me this 13 day of May, 2021 by Jeff West, as Sr. Director, Environmental Services of Public Service Company of Colorado, a Colorado Corporation.

BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO

Chair

Date

ATTEST:

JOSH ZYGIELBAUM
CLERK AND RECORDER

Approved as to form:

Deputy Clerk

Adams County Attorney's Office



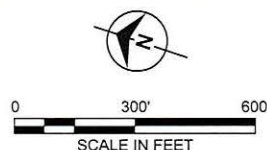
LEGEND

- NEW STORMWATER PIPE/STRUCTURE
- GRADE CONTOURS FOR SOUTH STORM POND

FOR REVIEW

NOTES

1. ONLY NEW STORMWATER IMPROVEMENTS WHICH THE COUNTY MAY INSPECT AS PART OF THE ACCESS AGREEMENT ARE SHOWN ON THIS EXHIBIT. EXISTING STORMWATER IMPROVEMENTS NOT SHOWN. EXISTING IMPROVEMENTS ARE SHOWN ON THE PROJECT'S SITE CIVIL DRAWINGS.



**BURNS
MCDONNELL**

date **MAR 5, 2021**
designed **K. ENGHOLM**

**XCEL ENERGY
CHEROKEE GENERATING STATION**

**ACCESS LICENSE AGREEMENT
EXHIBIT**

project **118081**

contract

EXHIBIT A



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15 th , 2021
SUBJECT: Final Acceptance of the Public Improvements constructed at the Trustile Site, 999 E. 71 st Ave.
FROM: Brian Staley, PE, PTOE Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approve a resolution granting Final Acceptance of the public improvements constructed at the Trustile Site, (EGR2018-00049, CSI2018-00027, UTL2019-00048, UTL2019-00080, BDP18-6374, SIA2019-00002, INF2019-00030, INF2019-00031).

BACKGROUND:

The Trustile site is generally located at 999 E. 71st Ave. in unincorporated Adams County as indicated by the attached map (Exhibit A). The public improvements for the Trustile Site were granted Preliminary Acceptance on May 21, 2020. As outlined in the Development Improvements Agreement attached to resolution number 2019-445, all improvements have satisfactorily completed the guarantee period. The Letter of Credit USBKUS44, that has been placed as collateral, will need to be released as part of this Final Acceptance.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works Department
Adams County Community and Economic Development Department
Adams County Attorney's Office

ATTACHED DOCUMENTS:

Exhibit A

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION FOR FINAL ACCEPTANCE OF THE PUBLIC IMPROVEMENTS CONSTRUCTED AT
THE TRUSTILE SITE, 999 E. 71ST AVENUE, (Case Numbers: EGR2018-00049, CSI2018-00027,
UTL2019-00048, UTL2019-00080, BDP18-6374, SIA2019-00002, INF2019-00030, INF2019-00031)

WHEREAS, the required public street improvements have been constructed at THE TRUSTILE SITE, 999 E. 71ST Avenue (Case Numbers: EGR2018-00049, CSI2018-00027, UTL2019-00048, UTL2019-00080, BDP18-6374, SIA2019-00002, INF2019-00030, INF2019-00031), in accordance with the approved construction drawings; and,

WHEREAS, in accordance with the provisions of the Adams County Development Standards and Regulations, the public improvements have satisfactorily completed the guaranty period; and,

WHEREAS, in accordance with the Adams County Development Standards and Regulations, the Adams County Public Works Department has inspected the public improvements for Final Acceptance; and,

WHEREAS, the Adams County Public Works Department recommends Final Acceptance of the public improvements constructed at THE TRUSTILE SITE, 999 E. 71ST AVENUE; and,

WHEREAS, in accordance with the Adams County Development Standards and Regulations, and the Development Improvements Agreement as approved by resolution number 2019-445, all improvements have satisfactorily completed the guaranty period. The Letter of Credit USBKUS44 that has been placed as collateral, will need to be released as part of this Final Acceptance.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the public improvements constructed at the TRUSTILE SITE, 999 E. 71ST AVENUE, be and hereby are accepted and approved in accordance with the provisions of the Adams County Development Standards and Regulations.

BE IT FURTHER RESOLVED, that the Board of County Commissioners hereby authorizes the release of the posted collateral, as noted in the Letter of Credit USBKUS44, as part of this Final Acceptance.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners is hereby authorized to execute said Final Acceptance and any attending documents on behalf of Adams County.



Trustile, 999 E. 71st Ave., Exhibit Map A



Legend

- Address
- Highways
 - Interstate
 - Highway
 - Tollway
- Streets
 - Streets
 - Ramp
- Building
- County Parks and Open Space
- Small Lakes
- Major Lakes
- Rivers
 - Canal
 - Ditch
 - Primary Creek
 - River
 - Secondary Creek
 - Stream
- Parcels
- County Boundary

1: 4,817



0.2 0 0.08 0.2 Miles

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

EGR2018-00049, CSI2018-00027, UTL2019-00048, UTL2019-00080, BDP18-6374, SIA2019-00002, INF2019-00030, INF2019-00031, UTL2020-00336



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: Urban County and HOME Consortium Renewal
FROM: Ryan Nalty, Community & Economic Development Interim Director
AGENCY/DEPARTMENT: Community & Economic Development
HEARD AT STUDY SESSION ON: April 20, 2021
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: Board to approve renewal of the Urban County and HOME Consortium Intergovernmental Agreements to continue participation in the U.S. Department of Housing and Urban Development Community Development Block Grant and HOME Investment Partnerships programs and authorize the Chair to execute the Agreements.

BACKGROUND:

As part of the County's eligibility to receive Community Development Block Grant (CDBG) and HOME Investment Partnerships Program (HOME) funds from the US Department of Housing and Urban Development (HUD), the County is designated by HUD as an Urban County and HOME Consortium.

The County administers CDBG funds and HOME funds on behalf of the Urban County and HOME Consortium, respectively. Presently, the Urban County partnership includes the cities of Brighton, Federal Heights and Northglenn, Town of Bennett. The HOME Consortium includes the cities of Thornton and Westminster.

To continue participation for the federal fiscal years 2022, 2023, and 2024, the County must renew its IGAs with the Urban County and HOME Consortium partners (attached). Further, the County is adding Commerce City to the HOME Consortium for federal fiscal years 2022, 2023, and 2024. The attached IGAs establish the cooperation between the local municipalities and outline the distribution of funding.

HUD requires the IGAs to be submitted as fully executed agreements. While HUD is not party to the IGAs, HUD may require revisions. Any revisions required by HUD would require the IGA to be resigned by all parties. Non-substantive revisions would be allowable under this resolution, pending County Attorney's Office for review and approval.

Staff presented and discussed the recertification process with the Board on April 20, 2021.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Attorney Office

ATTACHED DOCUMENTS:

Resolution

HOME Investment Partnerships Program Consortium Intergovernmental Agreement

Urban County Intergovernmental Agreement

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☐ NO

Future Amendment Needed: ☐ YES ☐ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING THE URBAN COUNTY AND HOME CONSORTIUM
INTERGOVERNMENTAL AGREEMENTS FOR FEDERAL FISCAL YEARS 2022, 2023,
AND 2024

Resolution 2021-

WHEREAS, the U.S. Department of Housing and Urban Development (HUD) has designated Adams County (County) as an Urban Entitlement County under the Community Development Block Grant (CDBG) Program; and,

WHEREAS, HUD has designated the County as the Lead Entity of the Participating Jurisdiction under the HOME Investment Partnerships (HOME) Program; and,

WHEREAS, Adams County has been designated as an Urban County to receive CDBG funds since 1986 and designated as a HOME Consortium to receive HOME funds since 1992; and,

WHEREAS, to continue participation in the Urban County and HOME Consortium for the federal fiscal years 2022, 2023, and 2024, the County must renew its Intergovernmental Agreements with the Urban County and HOME Consortium partners; and,

WHEREAS, the execution of the Urban County Intergovernmental Agreement will establish the Urban County partnership for federal fiscal years 2022, 2023, 2024, and allow for CDBG funds to be utilized within unincorporated Adams County, Town of Bennett, and cities of Brighton, Northglenn, and Federal Heights; and,

WHEREAS, the execution of the HOME Consortium Intergovernmental Agreement will establish the HOME Consortium partnership for federal fiscal years 2022, 2023, 2024, and will allow for HOME funds to be utilized in the Urban County areas and HOME Consortium areas, the cities of Thornton, Westminster, and Commerce City; and,

WHEREAS, after HUD approval, the County will be designated as an Urban County and HOME Consortium and will be eligible to receive funds for federal fiscal years 2022, 2023, and 2024; and,

WHEREAS, Adams County has satisfied the requirements in accordance with the County's Citizen Participation Plan.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Urban County and HOME Consortium Intergovernmental Agreements and certifications, copies of which are attached hereto, are hereby approved.

BE IT FURTHER RESOLVED, that the County recertifies its participation in the Urban County and HOME Consortium for federal fiscal years 2022, 2023, and 2024.

BE IT FURTHER RESOLVED, that the Chair is authorized to sign said Agreements and Certifications.

BE IT FURTHER RESOLVED, that the Chair is authorized to resign said Agreements if HUD requires non-substantive changes after submittal and only after approval from the County Attorney's Office.

BE IT FURTHER RESOLVED, that the Director of the Community and Economic Development Department and the Community Development Manager are hereby authorized to sign necessary non-contractual documents to carry out the ongoing activities of the CDBG and HOME programs.

INTERGOVERNMENTAL AGREEMENT

HOME INVESTMENT PARTNERSHIPS PROGRAM CONSORTIUM

THIS INTERGOVERNMENTAL AGREEMENT (HEREAFTER, "Agreement") is made and entered into this ____ day of _____, 2021, between the BOARD OF COUNTY COMMISSIONERS, COUNTY OF ADAMS (HEREAFTER "COUNTY" or "LEAD ENTITY"), a political subdivision of the STATE of COLORADO, located at 4430 South Adams County Parkway, Brighton, Colorado, 80601; the CITY OF THORNTON, a home-rule municipality, located at 9500 Civic Center Drive, Thornton, Colorado, 80229; the CITY OF WESTMINSTER, a home-rule municipality, located at 4800 W 92nd Avenue, Westminster, Colorado, 80031; and the CITY OF COMMERCE CITY, a home-rule municipality, located at 7887 E 60th Avenue, Commerce City, Colorado, 80022 (individually, "CITY" and collectively, "CITIES"). The COUNTY and the CITIES may be referred to collectively as "Parties," and individually as "Party."

RECITALS

WHEREAS, the United States Government, through the Title II of the Cranston-Gonzalez National Affordable Housing Act, as amended (the "ACT"), has established the HOME Investment Partnerships Act Program ("HOME"), administered through the U.S. Department of Housing and Urban Development ("HUD") and has designated Adams County as a Participating Jurisdiction (defined below) to administer such Federal funds, subject to certain conditions, for the purpose of expansion and rehabilitation of the supply of decent, safe, sanitary, and affordable housing and to strengthen partnerships among all levels of government and the private sector; and

WHEREAS, 24 Code of Federal Regulations ("CFR"), 92.101 Consortia provides that a consortium of geographically contiguous units of general local government can be considered to be a unit of general local government for the purposes of receiving an allocation and participation in the HOME program, and a determination has been made by HUD that the Parties are geographically contiguous and are eligible to participate in a HOME Consortium; and

WHEREAS, HUD rules and regulations governing HOME funds, as published in 24 CFR, Part 92, provide that a county is eligible to receive HOME funds as a "Participating Jurisdiction," as defined therein, and must submit to HUD an annual request for funding in the form of an Annual Action Plan ("AAP"). The cities and units of local government within a county may be included in the Participating Jurisdiction by intergovernmental or cooperative agreement and may thereby be included in the Participating Jurisdiction's HOME program, making up the HOME Consortium; and

WHEREAS, the Parties recognize the need to address the community issues of homelessness, deteriorating housing stock, increase the supply of permanent affordable housing for lower-income households, and affordable and supportive housing for persons and families residing or wishing to reside in the CITIES and have determined that it will be mutually beneficial and in the public interest to enter into an intergovernmental agreement regarding participation in HOME Consortium; and

WHEREAS, the Parties desire to enter into an intergovernmental agreement with each other to participate in a consortium for the purpose of using HOME funds in the CITIES, as authorized by Title II of the ACT to enhance cooperation between jurisdictions and to maximize the use of resources available by local governments to affect the housing-related problems of lower-income persons; and

WHEREAS, the COUNTY has elected to administer such Federal funds for its HOME Consortium through the Adams County Community Development Division; and

WHEREAS, each CITY and COUNTY are authorized to enter into cooperative agreements pursuant to the Colorado Constitution, Article XIV, § 18, and § 29-1-203, CRS; and

WHEREAS, each CITY will remain its own entitlement community for the direct receipt and administration of Community Development Block Grant ("CDBG") funds from HUD; and

WHEREAS, this Agreement is intended to fully supersede and replace the previous Agreement between the Parties.

NOW THEREFORE, in consideration of the promises and the cooperative actions contemplated hereunder, the Parties agree as follows:

I. GENERAL PROVISIONS

A. Cooperation. Each CITY and COUNTY will cooperate on the HOME projects and activities conducted with the funding allocated to each CITY under this Agreement during the term of this Agreement.

B. Representative Appointment. The COUNTY is designated as the "Lead Entity" of the Adams County HOME Consortium ("Consortium") and will act in the representative capacity for all member units of general local government for the purposes of HOME per 24 CFR Part 92. As the Lead Entity, the COUNTY may add new members and/or incorporate auto renewal provisions through an amendment to the Agreement that must be signed by all Parties.

C. Program Year/Term of Agreement. The Parties agree that beginning with Program Year ("PY") 2022, the HOME Consortium PY start date shall be October 1, 2022 and the PY end date will be September 30, 2023. The three Federal fiscal years for which the Consortium is receiving HOME funding are 2022, 2023, 2024. The Parties agree that the duration of this Agreement shall cover funding for HOME Consortium PYs 2022, 2023, 2024, beginning on October 1, 2022 and ending on September 30, 2025. The PY may be modified during the Agreement term with written notice to the HOME Consortium and approval from HUD. No Consortium member may withdraw from the Consortium while the Agreement is in effect. The Agreement remains in effect until the expenditures of HOME Consortium PYs 2022, 2023 and 2024 funds for eligible activities and all HOME funds are closed out in HUD's Integrated Disbursement and Information System ("IDIS"), or the funds are returned to HUD, pursuant to 24 CFR 92.507.

D. IGA Renewal and Amendments. The Parties may renew this Agreement for any successive qualification periods. Each such period will last for three Federal fiscal years. The County shall notify each of the CITIES in writing by the date specified in HUD's most current Consortia Designation Notice or HOME Consortia web page of each CITY's right to decide whether to continue to participate in the Consortium for the next qualification period. The COUNTY shall send a copy of the written notification provided to each of the CITIES to the HUD field office. Each CITY will respond to the COUNTY with its decision whether to renew its participation in the Consortium for the next qualification period through a signed City Council resolution; this will be provided to the COUNTY at least fifteen (15) days prior to the COUNTY's deadline

to notify HUD of the Consortium participants for the new qualification period.

Any programmatic, administrative, or operational changes to this Agreement shall be made by written amendment to this Agreement, which shall be mutually agreed upon and executed by the Parties. Amendments shall be made pursuant to HUD's most current Consortia Designation Notice.

E. Distribution of Funds. The allocation of HOME funds earmarked for each CITY shall be determined by the COUNTY utilizing the annually published HOME Consortia Participating Members Percentage Report (also called the Consortia Share Report) that is posted on HUD's website. Each CITY shall determine how its HOME allocation will be used on an annual basis and this will be authorized through the passing of a City Council Resolution.

The COUNTY will retain up to ten percent (10%) of the total HOME annual allocation of the Consortium for program administration and other expenses related to program operations, in accordance with HUD regulations. The COUNTY will notify each CITY of its total gross HOME allocation, which will identify the breakdown of administration set-aside for the COUNTY and each CITY'S net allocation of HOME funds. Such allocations shall not be modified or withdrawn unless mutually agreed upon in writing by the Parties.

F. Program Income. Should any HOME-funded projects in any CITY generate Program Income ("PI"), the Parties agree that the income shall go towards that CITY's HOME-funded projects and/or be used specifically for the residents of that CITY through other approved HOME-funded projects, unless such projects are unavailable and HUD commitment and/or expenditure deadlines are threatened. Each CITY agrees and understands that ten percent (10%) of all PI received from a CITY HOME-funded projects shall be retained by the COUNTY for program administration costs. The PI will be calculated in accordance with 24 CFR, including 92.207, 92.503, and 92.504.

G. Designated Project Representatives. Parties agree that the designated representatives for the purposes of administering this Agreement are:

City of Thornton
Community Connections Division
9471 Dorothy Boulevard
Thornton, CO 80229

City of Westminster
Department of Economic Development
4800 W 92nd Avenue
Westminster, CO 80031

City of Commerce City
Community Development Department
7887 E 60th Avenue
Commerce City, CO 80022

And

Adams County
Community and Economic Development
4430 South Adams County Parkway
Brighton, CO 80601

A Party may change its Designated Representative through written notice to the other Parties, as provided in Paragraph H. Notices, below.

H. Notices. The Parties agree that any notices permitted or required by this Agreement shall be deemed delivered when personally delivered or upon deposit in the United States Postal Service, fully pre-paid, certified, return receipt requested, and addressed to the Designated Representative identified in Paragraph G or via electronic mail (email) when delivery verification is provided through email delivery notification methods. A Party may change its address by notice issued in accordance with this paragraph.

I. Conflict of Interest. The Parties acknowledge that they will comply with Conflict of Interest regulations at 24 CFR Part 92.356.

II. RESPONSIBILITIES OF THE COUNTY

A. Administrative Oversight. The COUNTY as the Lead Entity is ultimately responsible for the administrative oversight and supervision of all HOME funds allocated to the Consortium and its members, per 24 CFR Part 92. As such, the COUNTY is responsible for ensuring that all HOME funds allocated to the CITY are expended in accordance with the Consolidated Plan/AAP, sub-recipient agreements, resolutions and all Federal, State, and local regulations and notices pertaining to HOME funding. Per HUD's Consortia Designation Notice, the COUNTY shall be responsible for renewing the Agreement and submitting amendments to the Agreement to the HUD field office. The COUNTY is responsible to provide no less than forty-five (45) days-notice to each CITY of any deadlines that would require City Council action.

B. Legal Liability and Responsibilities. Parties recognize and understand that the COUNTY is the Lead Entity for the Consortium and, therefore, shall be held by HUD to be legally liable and responsible for the execution of the HOME program. The COUNTY assumes overall responsibility for ensuring the Consortium's HOME program is carried out in compliance with the requirements of HOME, including requirements concerning a joint Consolidated Plan, as set forth in HUD regulations 24 CFR Parts 91 and 92, circulars promulgated by the Federal departments, agencies, and commissions related to the HOME program.

C. Sub-Recipient Agreements. The COUNTY shall create and enter into sub-recipient agreements for all the HOME-funded projects and activities of the Consortium. If the City undertakes any HOME-funded projects mutually agreeable sub-recipient agreements between the CITY and the COUNTY will be executed on an annual basis, providing that HOME-eligible projects are developed and authorized through a City Council Resolution. The COUNTY will provide each CITY with a copy of all fully executed sub-recipient agreements and amendments for HOME-funded projects within thirty (30) days of their execution. The COUNTY and the applicable CITY shall take all actions reasonably required to comply with the applicable provisions of the sub-recipient agreements.

D. Eligibility Review and Compliance Monitoring. The COUNTY shall be responsible for confirming eligibility and compliance of the HOME projects and activities with all applicable Federal, State

and local regulations. Also, the COUNTY shall be responsible to provide monitoring of all HOME-funded projects to ensure compliance with applicable regulations associated with the HOME program, including, but not limited to, Davis-Bacon Act, Contract Work Hours and Safety Standards Act, Title VI of the Civil Rights Act of 1964, Title VIII of the Civil Rights Act of 1968, Uniform Federal Accessibility Standards ("UFAS"), Americans with Disabilities Act, and the Residential Lead-Based Paint Hazard Reduction Act of 1992, and Uniform Relocation Act ("URA").

E. Reporting Requirements. The COUNTY shall report on HOME funds and activities through IDIS and close out projects within a timely manner. Upon request, the COUNTY will provide the CITIES with HOME activity reports and close out reports for any applicable HOME-funded projects and activities and separate reports for applicable PI funded activities. Also, the COUNTY will file all standard and required HOME reports with HUD as necessary to comply with applicable Federal regulations. The COUNTY shall further be responsible for maintaining proper documentation of the COUNTY's administrative expenses.

F. Public Participation. The COUNTY shall adhere to HUD requirements regarding public notification and public hearing processes necessary to receive HOME funds.

III. RESPONSIBILITIES OF THE CITY

A. Eligibility Review. Each CITY will work with agencies eligible to use HOME funds to evaluate needs in the low-income community and identify potential projects that could be funded through the HOME program. Each CITY will provide guidance to agencies on applying for HOME funds and evaluate the potential projects for initial eligibility.

B. Annual Action Plan ("AAP")/Consolidated Annual Performance and Evaluation Report ("CAPER") Submissions. Each CITY, as Entitlement Community, prepares its own AAP and CAPER each year for the CDBG program. Each CITY will refer to the COUNTY's AAP and CAPER for information related to HOME-funded projects. Each CITY shall provide the COUNTY with a City Council Resolution on these documents so the COUNTY can incorporate the project description into the COUNTY'S AAP.

IV. MUTUAL RESPONSIBILITIES

A. Consolidated Plan. During the years that the entitlement communities in Adams County prepare and submit a joint Consolidated Plan, the CITIES and COUNTY will collaborate on the development of the Consolidated Plan. As the lead entity of the HOME Consortium, the COUNTY is responsible for the completion and submission of the Consolidated Plan for HOME funds. Each CITY is responsible for completing the sections required for its CDBG program and funding allocations. The COUNTY is responsible for the sections related to the funding received directly by the COUNTY, which includes HOME funds.

B. Fair Housing. Parties hereto collectively and individually agree to affirmatively further fair housing, in accordance with all Federal rules, regulations, and requirements. Each Party shall be responsible for compliance with applicable HUD Fair Housing regulations. Each CITY and the COUNTY shall prepare and submit their own Analyses of Impediments to Fair Housing and be responsible for performance measures established in their respective Analyses of Impediments reports.

C. Venue. The laws of the State of Colorado shall govern as to the interpretation, validity and effect of this Agreement. The Parties agree that jurisdiction and venue for any disputes arising under this Agreement shall be with the District Court of Adams County, Colorado.

D. Modification. This Agreement contains the entire understanding of the Parties and neither it, nor the rights and obligations hereunder, may be changed, modified, or waived, except by instrument in writing signed by all Parties.

E. Execution in Counterparts. This Agreement may be executed in any number of counterparts and the Parties in separate counterparts, each of which when so executed shall be deemed to be an original and all of which taken together shall constitute one and the same agreement.

IN WITNESS WHEREOF, the Parties have caused their names to be affixed hereto and in agreement thereof, this ____ day of _____, 2021.

CITY OF THORNTON,
A Colorado Municipal Corporation

Kevin S. Woods, City Manager
9500 Civic Center Drive
Thornton, Colorado 80229

ATTEST:

Kristen N. Rosenbaum, City Clerk

APPROVED AS TO FORM:

Bill Tuthill, City Attorney

CITY OF WESTMINSTER,
A Colorado Municipal Corporation

Anita Seitz, Mayor
4800 W 92nd Avenue
Westminster, CO 80031

ATTEST:

Michelle Parker, City Clerk

APPROVED AS TO FORM:

David Frankel, City Attorney

CITY OF COMMERCE CITY,
A Colorado Municipal Corporation

Benjamin A. Huseman, Mayor
7887 E 60th Avenue
Commerce City, CO 80022

ATTEST:

Dylan A. Gibson, City Clerk

APPROVED AS TO FORM:

Robert Sheesley, City Attorney

**COUNTY OF ADAMS, STATE OF COLORADO
BOARD OF COUNTY COMMISSIONERS**

Chair

ATTEST:

Josh Zygielbaum, CLERK & RECORDER

Deputy Clerk

APPROVED AS TO FORM:

Adams County Attorney's Office

**INTERGOVERNMENTAL AGREEMENT
WITH ADAMS COUNTY FOR THE CONDUCT OF THE
COMMUNITY DEVELOPMENT BLOCK GRANT PROGRAM**

THIS INTERGOVERNMENTAL AGREEMENT ("COUNTY") is made and entered into this _____ day of _____, 2021, between the BOARD OF COUNTY COMMISSIONERS, COUNTY OF ADAMS ("COUNTY"), a political subdivision of the STATE of COLORADO, located at 4430 South Adams County Parkway, Brighton, Colorado, 80601-8205; and City of Brighton a home-rule municipality, located at 500 S. 4th Avenue, Brighton, Colorado 80601; City of Northglenn, a home -rule municipality, located at 11701 Community Center Drive, Northglenn, CO 80233, the City of Federal Heights, a home -rule municipality, located at 2380 W. 90th Avenue, Federal Heights, Colorado 80260; and the Town of Bennett, a home -rule municipality, located at 207 Muegge Way, Bennett, Colorado 80102 (individually "URBAN COUNTY MEMBER", collectively "URBAN COUNTY MEMBERS"). The COUNTY and the URBAN COUNTY MEMBERS may be referred to collectively as "PARTIES," and individually as "PARTY."

RECITALS

WHEREAS, in 1974 the U.S. Congress enacted the Housing and Community Development Act of 1974, as amended ("CDBG Program") thereby permitting and providing for the participation of the Federal government in a wide range of local housing and community development activities and programs, which activities and programs are administered by the U.S. Department of Housing and Urban Development ("HUD") and funded annually through the Community Development Block Grant ("CDBG"); and the HOME Investment Partnerships Program ("HOME") enacted under Title II (42 U.S.C. 12701-12839) of the Cranston-Gonzalez National Affordable Housing Act which activities and programs are administered by HUD, collectively referred to as "Programs"; and

WHEREAS, the primary objective of the Programs is the development of viable urban communities by providing decent housing and a suitable living environment and the expansion of economic opportunities, mainly for persons of low- and moderate-income. This objective is to be accomplished by providing financial assistance in the form of block grant funds to state and local governments for the conduct and administration of housing and community development activities and programs as contemplated under the Programs; and

WHEREAS, HUD rules and regulations governing the CDBG Program, as published in 24 C.F.R., Volume 3, Subtitle B, Chapter V, Part 570 ("CDBG Regulations"), provide that a county must qualify as an Urban County, and submit to HUD an annual request for funding in the form of a Consolidated Plan ("Con Plan") or an Annual Action Plan ("AAP"); and

WHEREAS, Adams County has qualified as an Urban County since Federal fiscal year ("FY") 1986 and has requalified every three (3) years thereafter; and

WHEREAS, eligible cities and units of local government within Adams County must enter into an intergovernmental or cooperative agreement, and may thereby be included in the Urban County's

CDBG Program. Eligible cities include the Cities of Brighton, Federal Heights, Northglenn, Town of Bennett, and Adams County (unincorporated areas) (“Urban County”); and

WHEREAS, participation in the Urban County automatically engages participation in the HOME program under the Adams County HOME Consortium; and

WHEREAS, it is recognized that the COUNTY does not have independent legal authority to conduct some kinds of community development and housing assistance activities within the boundaries of each of the URBAN COUNTY MEMBERS and, therefore, its ability to conduct the CDBG Program within the boundaries of URBAN COUNTY MEMBERS is limited. Accordingly, in order for the URBAN COUNTY MEMBERS to be considered a part of the Urban County and be included in the County’s annual requests to HUD for CDBG and HOME Program funds, CDBG regulations require that the URBAN COUNTY MEMBERS and the COUNTY enter into a cooperation agreement wherein the URBAN COUNTY MEMBERS authorize and agree to cooperate with the COUNTY to undertake or to assist in the undertaking of essential community development and housing assistance activities within the boundaries of each of the URBAN COUNTY MEMBERS, as may be approved and authorized in the COUNTY’s annual grant agreements with HUD; and

WHEREAS, HUD has determined that the COUNTY is authorized to undertake essential community development activities in its unincorporated areas that are necessary to qualify as an Urban County to receive funds from HUD by annual grant agreement. This determination is based on the authority granted the COUNTY pursuant to §§ 29-3-101 to 123, §§ 30-11-101 to 107; §§ 30-20-301 to 310; and §§ 30-20-401 to 422, Colorado Revised Statutes (C.R.S.), as amended; and

WHEREAS, pursuant to Colo. Const. art. XIV, § 18 and § 29-1-203, C.R.S., as amended, the COUNTY and each of the URBAN COUNTY MEMBERS are expressly authorized to cooperate and contract with each other for any function, service, or facility lawfully authorized to each; and

WHEREAS, the COUNTY and URBAN COUNTY MEMBERS have determined that it would be mutually beneficial and in the public interest to enter into this Agreement.

[REMAINDER OF THIS PAGE LEFT BLANK INTENTIONALLY]

AGREEMENT

NOW, THEREFORE, in consideration of the mutual covenants and promises herein set forth, the sufficiency of which is hereby acknowledged, the COUNTY and the URBAN COUNTY MEMBERS agree as follows:

I. TERM OF THE AGREEMENT

This Agreement covers the CDBG and HOME programs. The three (3) FYs covered by this Agreement and by the Urban County qualification period is for FY 2022, 2023, and 2024. Funding for this Agreement is based on the FY, which begins October 1 and ends September 30 of the following year.

Further, funds allocated from HUD to the COUNTY are expended and granted based the COUNTY'S defined program year, or October 1-September 30. The initial term of this Agreement shall be for three (3) program years, beginning **October 1, 2022**, and ending **September 30, 2025**. Program years may be adjusted at any time by the COUNTY with written notice provided to the URBAN COUNTY MEMBERS individually.

The URBAN COUNTY MEMBERS understand they may each individually receive a formula allocation under the HOME Program only through the Urban County. Thus, even if the Urban County does not receive a HOME formula allocation, the URBAN COUNTY MEMBERS cannot form a HOME Consortium with other local governments. Additionally, the URBAN COUNTY MEMBERS may receive a formula allocation under the Emergency Shelter Grant (ESG) Program only through the Urban County.

This Agreement shall automatically be renewed for additional three (3) year terms unless any PARTY provides written notice that it elects not to participate in a new, or next, qualification period. By the date specified in HUD's Urban County qualification notice for the next qualification period, the COUNTY shall provide notice to each of the URBAN COUNTY MEMBERS of their individual rights not to participate in the additional term, pursuant to applicable HUD regulations. Any changes to this Agreement required pursuant to HUD's Urban County Qualification Notice shall be made by written amendment to this Agreement, which shall be mutually agreed upon and executed by all PARTIES hereto and submitted to HUD.

The PARTIES agree that they will adopt any amendment to the Agreement incorporating changes necessary to meet the requirement for cooperation agreements set forth in an Urban County Qualification Notice applicable for a subsequent three (3)-year Urban County qualification period, and to submit such amendment to HUD as provided in the Urban County Qualification Notice.

This Agreement shall remain in effect until the CDBG funds and Program Income ("PI") received with respect to activities carried out during the three-year qualification period and any applicable successive qualification periods pursuant to renewals of the Agreement are expended and the funded activities completed, and neither the COUNTY and nor any URBAN COUNTY MEMBERS can terminate or withdraw from the Agreement while it remains in effect. Rules and

regulations to qualify or re-qualify as an Urban County are published annually by HUD through an official Urban County Qualification Notice.

II. RESPONSIBILITIES OF THE URBAN COUNTY MEMBERS

- A. **URBAN COUNTY MEMBERS and COUNTY Cooperation.** Each URBAN COUNTY MEMBER will cooperate and work with the COUNTY in the preparation of detailed projects and other activities to be conducted or performed within the boundaries of each URBAN COUNTY MEMBER during the FYs in which this Agreement is in effect. Each URBAN COUNTY MEMBER will also cooperate with the COUNTY, and the COUNTY will cooperate with the URBAN COUNTY MEMBER, to undertake or assist in undertaking community renewal and lower income housing assistance activities, specifically urban renewal and publicly assisted housing. The finalized projects and activities will be included in the COUNTY's Con Plan or AAP. The URBAN COUNTY MEMBER understands and agrees, however, that the COUNTY shall have final responsibility for the selection of all projects and activities to be included in the grant requests and the submission of requests. Each URBAN COUNTY MEMBER shall cooperate fully with the COUNTY in all CDBG Program efforts planned and performed hereunder and does hereby allow and permit the COUNTY to undertake or assist in undertaking essential community development and housing assistance activities within the URBAN COUNTY MEMBER as may be approved and authorized in the COUNTY's CDBG Plans, Agreements and/or Contracts, including the AAP and/or Con Plan.
- B. **Delegation of Administrative and Supervisory Control.** Each URBAN COUNTY MEMBER acknowledges that the COUNTY is ultimately responsible to HUD for the supervision and administration of any funds received by the Urban County or Participating Jurisdiction under the CDBG Program. However, to the extent authorized by law, the COUNTY hereby delegates to each URBAN COUNTY MEMBER responsibility for the supervision, administration, and expenditure of any funds it is allocated pursuant to this Agreement. Each URBAN COUNTY MEMBER hereby expressly agrees to independently supervise, administer, and spend such funds in compliance with this Agreement, project specific Agreements and/or Contracts, and the AAP and/or Con Plan.
- C. **Project Applications and Timelines.** Each URBAN COUNTY MEMBER shall submit to the COUNTY, no less frequent than annually, a formal application or proposal, including a timeline and budget for each project or activity. The application will be due pursuant to the COUNTY's established application timeline. The project or activity shall commence when the COUNTY provides written notification to each URBAN COUNTY MEMBER of proposal/project/activity approval and authorization by the COUNTY and/or HUD and a fully executed Subgrantee or Subrecipient Agreement.

The COUNTY will review all proposed CDBG projects and activities to determine whether they are being carried out in a timely manner as required by CDBG Regulations, 24 C.F.R. Volume 3, Subtitle B, Chapter V, Part 570.902.

- D. Subrecipient Agreements.** Pursuant to CDBG Regulations, as published in 24 C.F.R. Volume 3, Subtitle B, Chapter V, Part 570.501(b), each URBAN COUNTY MEMBER is subject to the same requirements applicable to “subrecipients or subgrantees,” including the requirement of a written agreement as set forth in 24 C.F.R. Volume 3, Subtitle B, Chapter V, Part 570.503. Additionally, the COUNTY shall use Subrecipient or Subgrantee Agreements for all projects administered on behalf of each URBAN COUNTY MEMBER and shall notify the URBAN COUNTY MEMBER of individual project and/or activity COUNTY approvals.
- E. Non-Appropriation Clauses.** Each URBAN COUNTY MEMBER agrees that every contract to which it is a party involving the use of CDBG funds allocated hereunder shall include a non-appropriation clause. Such clause shall state that the funding therefore is contingent upon the continuing allocation and availability of CDBG funding and not upon the availability of COUNTY General funds.
- F. Accounting Standards.** Each URBAN COUNTY MEMBER's financial management system shall comply with the standards specified in 2 CFR 200 or superseded regulations. In addition, each URBAN COUNTY MEMBER agrees to adhere to the accounting principles and procedures required therein, utilize adequate internal controls, and maintain necessary source documentation for all costs incurred.
- G. Small Cities or State CDBG Program.** Each URBAN COUNTY MEMBER understands that while this Agreement is in effect it may not apply for grants under the “Small Cities” or State CDBG Programs for the Federal fiscal years during which it is participating in the Urban County’s CDBG Program.
- H. Requests for Additional Funding.** Pursuant to CDBG Regulations, 24 C.F.R. Volume 3, Subtitle B, Chapter V, Part 570.504, Each URBAN COUNTY MEMBER shall fully expend all CDBG funds prior to requesting any additional funding from the COUNTY. If an URBAN COUNTY MEMBER terminates its participation in the Urban County, any CDBG Program funds received by that URBAN COUNTY MEMBER thereafter shall be returned to the COUNTY, unless the URBAN COUNTY MEMBER has become an “Entitlement Grantee” and the COUNTY agrees to permit the use of the funds by the URBAN COUNTY MEMBER solely for the purposes permitted under the CDBG Regulations governing Entitlement Grantee programs.
- I. Compliance With Local Laws.** All responsibilities of each URBAN COUNTY MEMBER enumerated herein shall be subject to applicable State statutes and regulations and the individual ordinances, resolutions, and rules and regulations of each URBAN COUNTY MEMBER insofar as they apply to projects or activities located within the boundaries of each URBAN COUNTY MEMBER.
- J. Additional Stipulations.** An URBAN COUNTY MEMBER may not sell, trade, or otherwise transfer all or any portion of funds to another such metropolitan city, urban county, unit of general local government, or Indian tribe, or insular area that directly or

indirectly receives CDBG funds in exchange for any other funds, credits or non-Federal considerations, but must use such funds for activities eligible under Title I of the Act.

III. RESPONSIBILITIES OF THE COUNTY

- A. **Administrative Oversight.** The COUNTY, as a designated Urban County and Participating Jurisdiction, is ultimately responsible for the administrative oversight and supervision of all funds allocated to each URBAN COUNTY MEMBER hereunder. As such, it is responsible for ensuring that all funds allocated to each URBAN COUNTY MEMBER are expended in accordance with the AAP and Con Plan, all agreements and/or contracts, and all applicable Federal, State, and local laws, ordinances, resolutions, regulations, and laws pertaining to this Agreement. It is the intent of the COUNTY to exercise only that degree of administrative and supervisory control concerning the projects and activities occurring within each URBAN COUNTY MEMBER as necessary to comply with such requirements and in accordance with the provisions of this Agreement.
- B. **Distribution of Funds.** The distribution of CDBG funds between the COUNTY and each URBAN COUNTY MEMBER shall be determined as follows:
1. **Administrative Allocation.** The COUNTY shall retain up to twenty percent (20%) of the total CDBG Program funds allocated to the COUNTY for the purpose of general oversight, management, coordination and related costs. The expenditure of these funds shall be within the sole discretion of the COUNTY for the purposes of carrying out the CDBG Program.
 2. **Allocations to URBAN COUNTY MEMBERS.** The funds remaining after the subtraction of the administrative allowance outlined above shall be made available to each URBAN COUNTY MEMBER based on an analysis of the percentage that each URBAN COUNTY MEMBER's population and low-income population represents in comparison to the total population of the Urban County. This formula will reflect the information provided in the most recent decennial United States Census and will be updated periodically as Census data is updated.
 3. **National Objective.** CDBG National Objectives require that at least seventy percent (70%) of CDBG funds utilized must principally benefit low- and moderate-income residents. The COUNTY and each individual URBAN COUNTY MEMBER agree to utilize their CDBG Program allocations each year in accordance with CDBG Program National Objective requirements by allocating at least seventy percent (70%) of their funds toward projects or activities that principally benefit low- and moderate-income residents. In preparing applications for funding, each URBAN COUNTY MEMBER shall also take into consideration provisions for the elimination of slums or blight and provisions to meet urgent community development needs that are a threat to public

health and safety and have become known or serious within the last eighteen (18) months, which are also part of the CDBG Program National Objectives.

4. **Community Service Activities Spending Cap.** Each URBAN COUNTY MEMBER agrees that no more than fifteen percent (15%) of its annual allocation hereunder may be spent on community service activities, pursuant to CDBG Regulations, 24 C.F.R. Chapter 3, Subtitle B, Chapter V, Part 570.201(e). No carry-over of community service activities will be allowed. Community service activities funds not fully expended within the specified timeframe must be recaptured and reprogrammed as part of the next annual funding cycle.
6. **Reallocation of Funds.** If, for any reason, an URBAN COUNTY MEMBER cannot comply with any applicable Federal laws and regulations, the funds for which that particular URBAN COUNTY MEMBER was eligible under this Agreement shall not be paid to that URBAN COUNTY MEMBER and shall be reallocated to the County to appropriate reallocation.

Unobligated or unexpended funds not used by each URBAN COUNTY MEMBER shall be transferred to the allocation formula for redistribution after two (2) consecutive years of no identified projects.

7. **Non-Use of Funds.** PARTIES agree each individual URBAN COUNTY MEMBER may elect not to apply for the funds for which it is eligible, in which case such funds shall be reallocated to the Urban County to reallocate as it deems appropriate.

IV. MUTUAL RESPONSIBILITIES

- A. **Compliance With Federal Laws and Regulations.** The PARTIES shall take all actions to do all things that are appropriate and required to comply with the applicable provisions of the grant agreements received from HUD by the COUNTY. These include but are not limited to: the Act, as most recently amended, including all associated regulations, rules, guidelines, and circulars promulgated by the Federal departments, agencies, and commissions relating to the CDBG Program; the Davis-Bacon Act, as applicable; Section 3, as applicable; Minority-Owned Businesses/Women-Owned Businesses, as applicable; the Contract Work Hours and Safety Standards Act; Title VI of the Civil Rights Act of 1964; Title VIII of the Civil Rights Act of 1968; the Housing and Community Development Act of 1974; The Fair Housing Act; the Uniform Federal Accessibility Standards (UFAS); the Americans With Disabilities Act (ADA); and the Residential Lead-Based Paint Hazard Reduction Act of 1992, as amended, and any associated regulations and rules. Additionally, in accordance with 24 C.F.R. Volume 3, Subtitle B, Chapter V, Part 570, no employee, official, agent or consultant of any URBAN COUNTY MEMBER shall exercise any function or responsibility in which a conflict of interest, real or apparent, would arise. The PARTIES shall take all actions necessary to assure compliance with the COUNTY's Urban County certification required by section 104(b) of Title I of the Housing and

Community Development Act of 1974, as amended, including Title VI of the Civil Rights Act of 1964, and the implementing regulations at 24 CFR part 1, the Fair Housing Act, and the implementing regulations at 24 CFR part 100, and will affirmatively further fair housing. The PARTIES must also comply with section 109 of Title I of the Housing and Community Development Act of 1974, and the implementing regulations at 24 CFR part 6, which incorporates Section 504 of the Rehabilitation Act of 1973, and the implementing regulations at 24 CFR part 8, Title II of the Americans with Disabilities Act, and the implementing regulations at 28 CFR part 35, the Age Discrimination Act of 1975, and the implementing regulation at 24 CFR part 146, and Section 3 of the Housing and Urban Development Act of 1968, and other applicable laws.

- B. **Governmental Immunity.** The PARTIES are all “Public Entities” as defined under the Colorado Governmental Immunity Act, § 24-10-101, *et seq.*, C.R.S., as amended. Nothing in this Agreement shall be construed to waive or in any manner limit any of the protections or immunities afforded thereunder.
- C. **Fair Housing.** The COUNTY is prohibited from funding activities that do not comply with HUD’s policies and regulations concerning fair housing. Each URBAN COUNTY MEMBER agrees not to take any actions pursuant to funding it receives under this Agreement that would result in the COUNTY being in noncompliance with its Fair Housing Certification. Each URBAN COUNTY MEMBER acknowledges that noncompliance by the URBAN COUNTY MEMBER may constitute noncompliance by the COUNTY, which may provide cause for funding sanctions or other remedial actions by HUD. Urban County funding shall not be used for activities in, or in support of, any locality that does not affirmatively further fair housing within its own jurisdiction or that impedes the COUNTY’s actions to comply with the County’s Fair Housing Certification.
- D. **Reporting.** Each URBAN COUNTY MEMBER will file all reports and other information necessary to comply with applicable Federal laws and regulations as required by the COUNTY and HUD. This includes providing to the COUNTY information necessary to complete the Consolidated Annual Performance and Evaluation Report (CAPER) in a timely fashion. Requirements will be specified in individual Agreements and/or Contracts. The COUNTY shall be responsible for confirming the compliance of each of the projects within the boundaries of each URBAN COUNTY MEMBER with applicable Federal laws and regulations. The COUNTY shall further be responsible for maintaining proper documentation of the COUNTY’s administrative expenses and for determining that all necessary reports and information are filed with HUD and other applicable Federal agencies in a timely fashion.
- E. **Support of Nonprofit Organizations.** The COUNTY recognizes nonprofit organizations as being valuable partners in addressing the needs of low- and moderate-income citizens. Each URBAN COUNTY MEMBER is encouraged to provide financial support utilizing its General funds, CDBG funds, and other available funds to support nonprofit organizations that serve low-income residents within the Urban County and/or within its boundaries. CDBG funds are limited to fifteen percent (15%) annually for community

service activities. CDBG funds should supplement activities above and beyond what local TOWN funds normally support; they are not meant to displace use of local support.

- F. **Termination.** This Agreement may only be terminated as provided herein or as otherwise provided by Federal, State, or local law, ordinance, resolution, regulation, or rule.
- G. **Citizen Participation Plan.** The PARTIES agree to follow the COUNTY's Citizen Participation Plan regarding public engagement for projects carried out under the CDBG Program.
- H. **Venue.** The laws of the State of Colorado shall govern as to the interpretation, validity and effect of this Agreement. The Parties agree that jurisdiction and venue for any disputes arising under this Agreement shall be with the District Court of Adams County, Colorado.
- I. **Modification.** This Agreement contains the entire understanding of the Parties and neither it, nor the rights and obligations hereunder, may be changed, modified, or waived, except by instrument in writing signed by all Parties.
- J. **Execution in Counterparts.** This Agreement may be executed in any number of counterparts and the Parties in separate counterparts, each of which when so executed shall be deemed to be an original and all of which taken together shall constitute one and the same agreement.

[REMAINDER OF THIS PAGE LEFT BLANK INTENTIONALLY]

IN WITNESS WHEREOF, the COUNTY and the URBAN COUNTY MEMBER have duly executed this Agreement, which shall become effective as of the latest date written below.

**BOARD OF COUNTY COMMISSIONERS
ADAMS COUNTY, COLORADO**

Chair

Date

ATTEST:

CLERK AND RECORDER

APPROVED AS TO FORM:

Deputy Clerk

Adams County Attorney's Office

**CITY OF BRIGHTON
ADAMS COUNTY, COLORADO**

Date

ATTEST:

APPROVED AS TO FORM:

Clerk

City Attorney

**CITY OF NORTHGLENN
ADAMS COUNTY, COLORADO**

Date

ATTEST:

APPROVED AS TO FORM:

Clerk

Attorney

**CITY OF FEDERAL HEIGHTS
ADAMS COUNTY, COLORADO**

Date

ATTEST:

APPROVED AS TO FORM:

Clerk

Attorney

**TOWN OF BENNETT
ADAMS COUNTY, COLORADO**

Date

ATTEST:

APPROVED AS TO FORM:

Clerk

Attorney

EXHIBIT 1

CERTIFICATIONS

Each URBAN COUNTY MEMBER certifies that:

- a. It possesses legal authority to make a grant request, and to execute a community development and housing program, and to contract with Adams County for such assistance.
- b. Its governing body will duly adopt or pass as an official act, a resolution, motion or similar action authorizing the person identified as its Official Representative to submit funding proposals and all understandings and assurances contained therein, and directing and authorizing the person identified as the Official Representative to act in connection with the submission of proposals and to provide such additional information as may be required.
- c. CDBG funds/projects/programs will be conducted and administered in compliance with:
 - 1. Title VI of the Civil Rights Act of 1964 (Pub.L. 88-352; 2 U.S.C. § 2000d *et seq.*);
 - 2. Title VIII of the Civil Rights Act of 1968 (Pub.L. 90-284; 42 U.S.C. § 3601 *et seq.*); and
 - 3. Federal Fair Housing Requirements.
- d. It has adopted and is enforcing:
 - 1. A policy prohibiting the use of excessive force by law enforcement agencies within its jurisdiction against any individuals engaged in non-violent civil rights demonstrations; and
 - 2. A policy of enforcing applicable State and local laws against physically barring entrance to or exit from a facility or location which is the subject of such non-violent civil rights demonstrations within jurisdictions.
- e. It will develop proposals of projected use of funds in which at least seventy percent (70%) of the funds are utilized on activities or projects that principally benefit low- and moderate-income families. Remaining funds may be used on activities or projects that address other National Objectives, in compliance with HUD requirements, including activities or projects that eliminate slum or blight, as identified in a HUD-approved Slum/Blight Plan, or projects that meet an urgent need, as defined by HUD.
- f. It will not attempt to recover any capital costs of public improvements assisted in whole or in part with funds provided under Section 206 of the Act or with amounts resulting from guarantee under Section 108 of the Act by assessing any amount against properties owned and occupied by persons of low- and moderate-income, including any fee charged or assessment made as a condition of obtaining access to such public improvements, unless:
 - 1. Funds received under Section 108 of the Act are used to pay the proportion of such fee or assessment that relates to the capital costs of such public improvements that are financed from revenue sources other than under Title I of the Act; or
 - 2. For purposes of assessing any amount against properties owned and occupied by persons of moderate-income, it certifies to the Secretary that it lacks sufficient funds received under Section 108 of the Act to comply with the requirements of subparagraph (1) above.

- g. When appropriate for its projects or activities under this Agreement, it will comply with Section 570.608 requirements for notifications, inspections, testing, and abatement procedures concerning lead-based paint.
- h. It will comply with the other provisions of the Act and with other applicable laws.
- i. It agrees to administer, in good faith, a policy designed to ensure that the activities and facilities are free from illegal use, possession, or distribution of drugs and alcohol by its beneficiaries and follows drug-free workplace policies.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: Resolution accepting Warranty Deed conveying property from 7480 Dexter Street, LLC to Adams County for right-of-way purposes
FROM: Brian Staley, P.E., PTOE, Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approve a resolution for accepting a Warranty Deed for the acquisition of property needed for road right-of-way.

BACKGROUND: Adams County is in the process of acquiring right-of-way and temporary construction easements along Dahlia Street from State Highway 224 to I-76 for the Dahlia Street Improvement Project. 7480 Dexter Street, LLC, has executed a Warranty Deed to Adams County for right-of-way purposes. The property is located in the Southwest Quarter of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian. The Warranty Deed will convey property needed for the Dahlia Street CIP project.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Warranty Deed
Draft resolution
Planning Commission Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund: 13**Cost Center: 3056**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			\$

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING WARRANTY DEED CONVEYING PROPERTY
FROM 7480 DEXTER STREET, LLC TO ADAMS COUNTY FOR
RIGHT-OF-WAY PURPOSES

WHEREAS, Adams County is in the process of acquiring right-of-way for the Dahlia Street Capital Improvement Program Project - Dahlia Street from State Highway 224 to I-76 ("Project"); and,

WHEREAS, the right-of-way parcel is from property at 7480 Dexter Street, located in the Southwest Quarter of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by 7480 Dexter Street, LLC ("Parcel 10"); and,

WHEREAS, Adams County requires ownership of the Parcel 10 for construction of the Project; and,

WHEREAS, 7480 Dexter Street, LLC, has executed a Warranty Deed to convey Parcel 10 for road right-of-way purposes for Dahlia Street that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 13th day of May 2021, the Planning Commission recommended that the Board of County Commissioners accept said Warranty Deed.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Warranty Deed from 7480 Dexter Street, LLC, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

WARRANTY DEED

THIS DEED, dated this 17 day of February, 2021, between **7480 Dexter Street LLC**, whose address is **7471 Dexter Street, Commerce City, Colorado 80022**, grantor(s), and the **COUNTY OF ADAMS, State of Colorado**, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for and in consideration of the sum of FOUR THOUSAND TWO HUNDRED NINETY-FIVE and NO/100 Dollars (\$4,295.00), and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Also known by street and number as: 7480 Dexter Street, Commerce City, Colorado 80022

Assessor's schedule or parcel number: part of 0172131301001

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the ensealing and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except oil, gas and mineral interests if any.

The grantor(s) shall and will WARRANT AND FOREVER DEFEND the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

7480 Dexter Street, LLC

By: Rose Mares

Print: Rose Mares

Title: Managing Member

STATE OF CO)
County of Adams) §

The foregoing instrument was acknowledged before me this 17 day of February, 2021,
Rose Mares, as Managing Member of 7480 Dexter Street, LLC.

Witness my hand and official seal.

My commission expires:

Dec 28, 2022

BRANDON MADRID
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20184048336
MY COMMISSION EXPIRES DECEMBER 20, 2022

[Signature]
Notary Public

EXHIBIT A
PROJECT CODE: 30561604W
PROJECT NUMBER: IMP 2016-00005
PROPERTY DESCRIPTION
RIGHT OF WAY PARCEL NUMBER: RW-10

A tract or parcel of land over and across that parcel of land described as Lot 1, Block 10, Carnation Meadows, Third Filing recorded at Reception No. 569330 in the Public Records of Adams County, located in the North Half of the Southwest Quarter of Section 31, Township 2 South, Range 67 West, of the Sixth Principal Meridian, County of Adams, State of Colorado, said parcel being more particularly described as follows:

For the purposes of this description the bearings are referenced to the East Line of the North Half of the Southwest Quarter of Section 31, Township 2 South, Range 67 West, of the Sixth Principal Meridian, bearing North 00°20'20" West, a distance of 1321.84 feet. Monumented by a 2 $\frac{1}{2}$ " Aluminum Cap marked LS 20155 1991 at the Center-South Sixteenth Corner (Southeast Corner North Half Southwest Quarter) and by a P.K. Nail at the Center Quarter Corner.

Commencing at the Center-South Sixteenth Corner (Southeast Corner North Half Southwest Quarter) of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian;

THENCE North 00°20'20" West along the East Line of the North Half of the Southwest Quarter of said Section 31, a distance of 513.00 feet to the north line extended of Lot 1, Block 10, Carnation Meadows, Third Filing recorded at Reception No. 569330 in the Public Records of Adams County;

THENCE South 89°33'40" West, a distance of 30.00 feet to the northeast corner of said Lot 1 and the Point of Beginning;

THENCE South 00°20'20" East, along the east line of said Lot 1 and the west right of way line of Dahlia Street, a distance of 54.09 feet;

THENCE along a curve to the left, an arc length of 37.75 feet, said curve having a radius of 189.50 feet, a delta angle of 11°24'47", a chord bearing of North 06°02'43" West and a chord length of 37.68 feet;

THENCE along a compound curve to the left, an arc length of 8.16 feet, said curve having a radius of 16.50 feet, a delta angle of 28°20'46", a chord bearing of North 25°55'29" West and a chord length of 8.08 feet;

THENCE South 89°39'40" West, a distance of 17.67 feet;

THENCE North 00°26'20" West, a distance of 9.26 feet to the north line of said Lot 1 and the south right of way line of 74th Way;

THENCE North 89°33'40" East, along said north line and said south right of way line, a distance of 24.93 feet to the Point of Beginning.

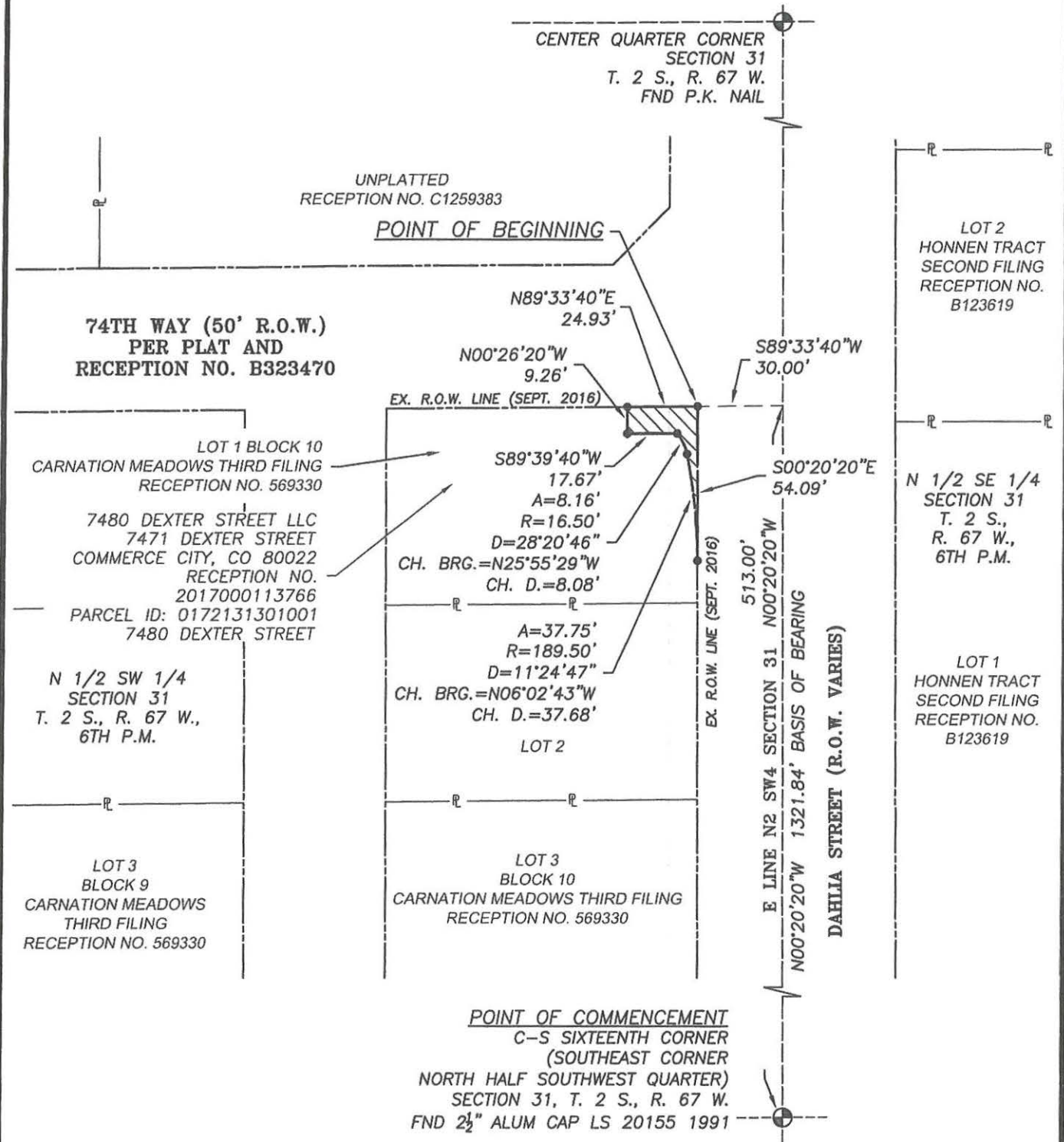
Containing 315 Square Feet, or 0.007 Acres, more or less.



FOR AND ON BEHALF OF
DALEY LAND SURVEYING INC.,
Robert Daley, PLS 35597

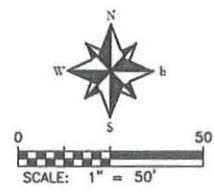
OWNER 7480 DEXTER STREET LLC		RIGHT OF WAY PARCEL NO. RW-10 N 1/2 SW 1/4 SEC. 31, T.2S., R.67W. ADAMS COUNTY, COLORADO	THIS DOES NOT REPRESENT A MONUMENTED SURVEY. DALEY LAND SURVEYING, INC. 17011 LINCOLN AVE #301 PARKER, CO 80134
APN: 0172131301001			
CALC: AVV	DATE: 10/18/2019		
DRWN: AVV	JOB No. 1503-014		
SHEET 1 OF 2			

ILLUSTRATION TO EXHIBIT A



OWNER 7480 DEXTER STREET LLC	
APN. 0172131301001	
CALC: AVV	DATE: 10/18/2019
DRWN: AVV	JOB No. 1503-014
SHEET 2 OF 2	

RIGHT OF WAY
PARCEL NO. RW-10
N 1/2 SW 1/4 SEC. 31, T.2S., R.67W.
ADAMS COUNTY, COLORADO



THIS DOES NOT REPRESENT
A MONUMENTED SURVEY.

DALEY LAND
SURVEYING, INC.
17011 LINCOLN AVE #361
PARKER, CO 80134

\\Survey\1503014\Drawings\Right of Way Legal Description - Right of Way Exhibit RW-10.dwg

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A WARRANTY DEED FROM
7480 DEXTER STREET, LLC TO ADAMS COUNTY FOR RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 13th day of May 2021, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Warranty Deed from 7480 Dexter Street, LLC, for right-of-way purposes on the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Warranty Deed is in conjunction with the Dahlia Street Capital Improvement Program Project – Dahlia Street from State Highway 224 to I-76, for a portion of 7480 Dexter Street, located in the Southwest Quarter of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Warranty Deed from 7480 Dexter Street, LLC, be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, John F. DuPriest, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: 6/15/2021
SUBJECT: Incentive Agreement Karcher, North America, Inc
FROM: Max Daffron, Economic Development Manager
AGENCY/DEPARTMENT: Community and Economic Development, County Manager's Office
HEARD AT STUDY SESSION ON:
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves the resolution

BACKGROUND:

Karcher, North America, Inc. is currently developing a facility located in Adams County within the City of Aurora. This facility will be a new 350,000 square feet facility to serve as a new headquarters and consolidated facilities facility. Adams County and the City of Aurora recognized the need to attract the facility to the county, as the company had been strongly considering other locations in Colorado and other states. An Incentive Agreement was drafted for the location of the facility within Adams County and the City of Aurora. The project has an estimated capital improvement cost of approximately \$45 million.

Karcher plans to employ and retain a minimum of four hundred and five (405) employees at the facility and plans to add an additional fifty-two (55) employees at the facility by the end of calendar year 2026. Karcher agrees to have the following minimum number of employees at the facility during the term of this agreement: 405 by the end of 2021; 416 by the end of 2022; 427 by the end of 2023; 438 by the end of 2024; 449 by the end of 2025; and 460 by the end of 2026. Incentive payments in the form of tax rebates are conditioned upon the compliance of Karcher in meeting these thresholds. Karcher has also committed to partnering with the Adams County Workforce and Business Center to ensure that Adams County residents have access to these new jobs.

Staff recommends approval of this incentive agreement because retaining the facility will substantially benefit the public through the creation of new jobs in Adams County, and the increase of tax base in the County.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

ATTACHED DOCUMENTS:

- Resolution Approving Incentive Agreement Between Adams County and Karcher, North America, Inc.
- Incentive Agreement between Karcher, North America, Inc and Adams County, Colorado
- Copy of Aurora's Incentive agreement with Karcher, North America, Inc.

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:
Cost Center:

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☐ NO

Future Amendment Needed:

☐ YES

☐ NO

Additional Note:

Fiscal Impact will not take place until the 2022 budget year, and therefore there is not a fiscal impact for the current year.

DRAFT

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ADOPTING INCENTIVE AGREEMENT BETWEEN ADAMS COUNTY
AND KARCHER, NORTH AMERICA, INC.

Resolution 2020-

WHEREAS, KARCHER, NORTH AMERICA, INC, (“Taxpayer”) intends to establish and operate a new 350,000 square foot headquarters and consolidated facilities facility, in Adams County, Colorado (the “Facility”); and,

WHEREAS, Taxpayer further plans to employ four-hundred and sixty employees at the at the Facility by the final year of this agreement; and,

WHEREAS, the Board of County Commissioners, County of Adams, State of Colorado, finds that the development and operation of this Facility will substantially benefit the public with an increase in the tax base of the County; and,

WHEREAS, C.R.S. §30-11-123 authorizes incentive payments to taxpayers who establish and expand business facilities, as defined in C.R.S. §39-30-105; and,

WHEREAS, the County deems it to be in its best interests to have Taxpayer develop its Facility upon the terms and conditions contained within the Incentive Agreement attached hereto.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Incentive Agreement between Adams County and Karcher, North America, Inc., a copy of which is attached hereto and incorporated herein by this reference, including all terms and conditions contained therein, be adopted.

BE IT FURTHER RESOLVED, that the Chair of the Board of County Commissioners be authorized to execute said Agreement on behalf of Adams County.

INCENTIVE AGREEMENT
(Personal Property Tax)

THIS AGREEMENT is made and entered into this 16th day of APRIL, 2021, by and between **Karcher, North America, Inc.**, located at 6398 N Karcher Way, Aurora, CO (hereinafter referred to as "**Taxpayer**"), and Adams County, Colorado, a body politic and corporate under the laws of the State of Colorado, located at 4430 S. Adams County Parkway, Brighton, CO 80601 (hereinafter "**County**").

WITNESSETH:

WHEREAS, **Taxpayer** has decided to establish a new, 350,000 square foot headquarters and consolidated facilities facility in Adams County, Colorado (the "Facility") and to invest approximately \$35,000,000 in purchasing land and new equipment for the Facility; and,

WHEREAS, **Taxpayer** plans on employing 460 employees at the Facility by the final year of this Agreement; and,

WHEREAS, the County deems it to be in its best interests to have **Taxpayer** establish its Facility in Adams County and to receive revenues from the development occurring thereon upon the terms and conditions contained herein; and,

WHEREAS, **Taxpayer** has established a new business facility as defined in C.R.S. § 39-30-105(7)(e); and,

WHEREAS, the County finds that the Facility will substantially benefit the public, through the retention of employees, the generation of new jobs and the increase in tax base in the County; and,

WHEREAS, §30-11-123, C.R.S., provides for incentive payment based on personal property taxes to any taxpayer who qualifies under C.R.S. § 39-30-105(7)(e).

NOW, THEREFORE, in consideration of the foregoing promises and covenants, to be kept and performed by each of them, the parties agree as follows:

1. Incentive payment. The County agrees to make six (6) annual incentive payments to **Taxpayer** (each an "Incentive Payment" and together the "Incentive Payments"). The amount of each incentive payment shall be the lesser

of: (1) \$56,000 for assessment year 2021; \$56,000 for assessment year 2022; \$56,000 for assessment year 2023; \$56,000 for assessment year 2024; \$56,000 for assessment year 2025; \$56,000 for assessment year 2026; or the amount of personal property taxes levied upon the Facility. Incentive payments shall not exceed personal property taxes levied by the County¹ upon the taxable personal property directly attributable to the Facility, located at or within such Facility, and used in connection with the operation of such Facility for the applicable property tax year. In no event shall the total amount of the incentive payments exceed \$336,000.

Proof of payment of the taxes to the County Treasurer for the Facility must be submitted each year by **Taxpayer** to the Director of the Adams County Department of Fiscal Affairs before any incentive payment is due. Proof of payment of taxes for each incentive year must be submitted by **Taxpayer** no later than December 31 of the year taxes are due. **Taxpayer understands and agrees that failure to submit proof of payment of taxes to the Adams County Department of Fiscal Affairs by December 31 of the year taxes are due shall result in a waiver of the incentive payment due on the tax payment not presented by the December 31 deadline, and the County shall be released from its obligation to pay the incentive payment for that tax year.**

Each incentive payment shall be due and payable within sixty days of receipt of proof of payment of taxes. **Taxpayer** waives the right to file a protest or seek an abatement or refund with respect to the tax years enumerated in the first paragraph of this Section 1.

2. Condition Precedent. The County has appropriated sufficient funds for this Agreement for the current fiscal year. Payment pursuant to this Agreement, whether in full or in part, is subject to and contingent upon the continuing availability of County funds for the purposes hereof. In the event that funds become unavailable, as determined by the County, the County may immediately terminate this Agreement or amend it accordingly.

3. Attorney's Fees and Costs of Suit. The parties agree that in the event any suit is brought under this Agreement, each party shall pay its own attorney's fees, costs and expenses.

4. Assignment. None of the rights, duties and obligations of **Taxpayer** hereunder may be assigned.

¹ Taxes levied by other taxing entities such as school districts, municipalities, special districts, etc., are not County funds and are, therefore, not included in this calculation.

5. Term of Agreement. The term of this Agreement shall not exceed six (6) years of assessments.

6. Entire Agreement, Amendments. This Agreement embodies the whole agreement of the parties. There are no promises, terms, conditions or obligations, other than those contained herein. This Agreement may be amended only by written agreement between **Taxpayer** and the County acting pursuant to Board authorization.

7. Remedies. This Agreement shall be interpreted according to, and shall be governed by, the laws of the State of Colorado, whose courts shall have exclusive jurisdiction over any claim or cause of action arising hereunder. Venue for any suit arising under this Agreement shall be in Adams County, Colorado.

8. Severability. The parties agree that if any part, term or provision of this Agreement is held by a court of competent jurisdiction to be illegal or in conflict with any law of the State of Colorado, the validity of the remaining portions or provisions shall not be affected, and the rights and obligations of the parties shall be construed and enforced as if the Agreement did not contain the particular part, term, or provisions held to be invalid.

9. Effective Date. This Agreement shall become effective and binding upon the parties immediately upon execution by all parties hereto.

10. Jobs for Adams County Residents. For purposes of this Agreement, "Employee" will have the meaning set forth in C.R.S. 39-30-105(7)(f). **Taxpayer** has represented that it plans to employ at the Facility four hundred five (405) Employees by the end of 2021; four hundred sixteen (416) Employees by the end of 2022; four hundred twenty-seven (427) Employees by the end of 2023; four hundred thirty-eight (438) Employees by the end of 2024; four hundred forty-nine (449) Employees by the end of 2025; and four hundred sixty (460) employees during 2026. The obligations of the County under this Agreement are expressly conditioned upon compliance by **Taxpayer** with this representation. **Taxpayer** agrees to work with the Adams County Workforce and Business Center on recruiting and posting new job opportunities in an effort to give Adams County residents first access to open positions at the Facility. **Taxpayer** agrees to make available to the County sufficient records of employment to establish compliance with this Section 10, at the request of the County.

11. Warranty. **Taxpayer** represents and warrants that the Facility relocation and establishment that is contemplated herein qualifies for tax incentives under applicable Colorado law.

IN WITNESS WHEREOF, the parties hereto have caused their duly authorized officials to execute this Agreement on their behalf.

Dated this 16TH day of APRIL, 2021.

COUNTY OF ADAMS
STATE OF COLORADO

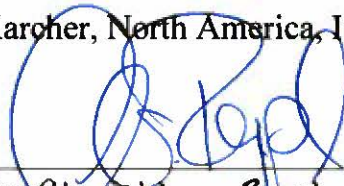
ATTEST:
JOSH ZYGIELBAUM, CLERK

By: Chair, Board of County Commissioners

Deputy Clerk

Approved as to form:

Karcher, North America, Inc.


By: Christina Rapl
Title: CFO

Subscribed and sworn to before me this 16TH day of APRIL,
2021, by CHRISTINA RAPL.


Notary Public

My commission expires: 03-22-2025

KIMBERLY PAULINO MURPHY Notary Public State of Colorado Notary ID # 20134018282 My Commission Expires 03-22-2025
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TAX REBATE AGREEMENT BETWEEN THE CITY OF AURORA,
COLORADO, AND KARCHER NA, INC

THIS AGREEMENT (this "Agreement"), made and entered into as of this 5th day of MARCH, 2020, by and between the City of Aurora, a home rule municipal corporation of the State of Colorado ("City") and Karcher, North America, Inc. ("Taxpayer").

WITNESSETH:

WHEREAS, Taxpayer is a provider of cleaning technologies with operations in over 60 countries; and

WHEREAS, Taxpayer desires to locate its North American headquarters and consolidate several facilities in Aurora; and

WHEREAS, Taxpayer has acquired land in the Porteos development to construct a 350,000 square foot facility ("Facility") which includes Class A office space; and

WHEREAS, it is anticipated that Taxpayer will invest approximately \$35 million for construction, equipment purchases and site design improvements; and

WHEREAS, the location of the Facility in the City is expected to generate significant capital investment and primary job growth and tax revenue for the City, and employment opportunities for City residents; and

WHEREAS, Section 130-298 of the City Code authorizes the City to negotiate with any taxpayer who establishes, expands or redevelops a commercial or industrial enterprise in the City for the waiver of sales and use tax levied by the City upon such taxpayer as an incentive to the establishment, expansion, or redevelopment of such enterprise ("Waiver"); and

WHEREAS, for the purposes of this Agreement, the Waiver shall include and operate as rebate or repayment to the Taxpayer of the stated portion of the sales and use taxes it paid to the City; and

WHEREAS, the City has agreed to rebate a portion of the City sales and use tax levied upon Taxpayer as an incentive to and in consideration for Taxpayer's establishment of a commercial enterprise in the City and the employment of City residents who have valid qualifications to fill vacant job positions at said enterprise.

NOW, THEREFORE, in consideration of the mutual covenants, agreements, and provisions herein contained, the parties hereto covenant and agree as follows:

1. Rebate of City Sales and Use Tax. Subject to the terms and conditions set forth in this Agreement (including without limitation the rebate process included in paragraph 2 below),

the City hereby agrees to rebate to Taxpayer the City sales and use tax for the Facility as follows (the "Rebate"):

- (a) Rebate forty-eight percent (48%) of the total amount of City sales and use tax legally due in accordance with Section 130-61 of the City Code by Taxpayer or Taxpayer's contractors of the type of materials and fixtures that are subject to the sales and use tax imposed thereby with respect to the Facility ("Qualified Construction Materials"); and
- (b) Rebate forty-eight percent (48%) of the total amount of City sales and use tax on all sales to, the use, storage, distribution or consumption by Taxpayer of all equipment and building fixtures which could qualify as depreciable assets used by or for the benefit of the Facility ("Qualified Equipment").

In no event shall the total amount of the Rebate ever exceed three-hundred thirty-six thousand and six hundred dollars (\$336,600). Subject to Taxpayer's satisfaction of the requirements in Section 2 of this Agreement, Taxpayer shall have the right to request a Rebate during the term commencing on the earliest to occur of: 1) the issuance of the temporary or final certificate of occupancy for the Facility; 2) if no new certificate of occupancy is required, the date of the first final inspection for any building permit issued at the Facility subsequent to this Agreement; or 3) if no new certificate of occupancy is required, the date which Taxpayer takes occupancy of the Facility and starts operations (the "Start of Term"). The Rebate shall end ten (10) years after the Start of Term (the "Term of Rebate"). Only City sales and use tax paid by Taxpayer for Qualified Construction Material within the Term of Rebate are eligible for the Rebate pursuant to this Paragraph. Taxpayer shall have the right to accrue any Rebates for costs incurred for Qualified Construction Materials and Qualified Equipment prior to the Start of Term, but shall not request a Rebate for such costs until the Start of Term.

For purposes of this Agreement, the term "Qualified Equipment" shall not include consumable supplies, to the extent such consumable supplies do not qualify as depreciable assets.

For purposes of this Agreement, "City sales and use tax" shall include all sales and use taxes included in the City Code other than the 0.25% sales and use tax dedicated for the purpose of defraying the costs associated with increased staffing of the City police department and the operation and maintenance of the City detention facility.

2. Requirements for Rebate of City Sales and Use Tax. The City hereby agrees to the Rebate, which shall be made as follows:

- (a) With regard to the City sales and use tax levied upon Qualified Construction Materials, the City shall rebate all taxes pursuant to paragraph 1 for the issuance of the building permit for the Facility. Taxpayer shall submit a Compliance Report as required by paragraph 9 of this Agreement at the same time it submits a request for the Rebate to the City. The City shall rebate such taxes to Taxpayer within thirty (30) days after the date upon which Taxpayer submits the Rebate request and a complete Compliance Report pursuant to paragraph 9.

- (b) With regard to the sales or use tax levied upon Qualified Equipment, the City shall rebate all such taxes pursuant to paragraph 1. Taxpayer shall submit a Compliance Report as required by paragraph 9 of this Agreement at the same time it submits a request for rebate to the City. The City shall rebate such taxes to Taxpayer within thirty (30) days after the date upon which Taxpayer submits the Rebate request and a complete Compliance Report pursuant to paragraph 9.
- (c) In no event shall City sales or use tax be rebated on any transaction eligible for rebate under this Agreement unless and until Taxpayer has submitted building permits, invoices or other evidence reasonably acceptable to the City of the payment of such tax by Taxpayer or its contractors, subcontractors or suppliers or any retailer licensed by the City. Notwithstanding anything in this Agreement to the contrary, Taxpayer shall have up to ninety (90) days following the expiration of the Term of Rebate within which to submit a request for Rebate to the City; provided that, in no event shall any such request be accepted beyond such ninety (90) days. The amount of any such Rebate shall be included in the total amount of the City sales and use tax rebate granted pursuant to this Agreement.
- (d) City sales and use tax will not be rebated during any period until the Taxpayer creates 90% of the commitment of 405 full-time jobs in Aurora, and maintains the required number of jobs at the Facility, as set forth in paragraph 6 of this agreement.

3. Limitation on the Rebate. In no event shall the total amount of the Rebate at any time hereunder exceed the total amount of City sales and use tax revenue actually generated by, or in connection with the construction of, the Facility.

4. Location of Facility. The Facility shall be located in the City. Only Taxpayer's operations at the Facility during the Term of Rebate (and construction of the Facility prior to the Term of Rebate) shall be eligible for consideration of Taxpayer's economic impact upon the City for purposes of this Agreement.

5. Length of Operation. At a minimum, Taxpayer shall operate the Facility in the City for a period of ten (10) years from the Start of Term. If, at any time prior to that date, Taxpayer decides to terminate its operations at the Facility, Taxpayer shall provide the City with written notice of such decision no later than thirty (30) days prior to the actual termination of operations.

6. Creation of Jobs. Taxpayer hereby commits that in Aurora it shall create and maintain jobs at the Facility in accordance with the schedule below, as measured from the first December 31 following the first anniversary date of the Start of Term. Such created and maintained jobs shall be limited to full-time employees hired for a wage, salary, fee or payment to perform work for Taxpayer at the Facility. The average annual salary shall be no less than in the schedule below, exclusive of bonuses and benefits, for the applicable periods; provided that for any period that is less than one full year, such average annual salary shall be prorated.

the schedule below, exclusive of bonuses and benefits, for the applicable periods; provided that for any period that is less than one full year, such average annual salary shall be prorated.

Year	Period Ending Date	Number of FTE	Average Annual Salary
Period 1	First December 31 following the first Anniversary Date of the Start of Term.	405	\$68,094
Period 2	December 31 of the following year.	416	\$69,903
Period 3	December 31 of the following year.	427	\$71,301
Period 4	December 31 of the following year.	438	\$72,727
Period 5	December 31 of the following year.	449	\$74,181
Period 6	December 31 of the following year.	460	\$75,765
Period 7	December 31 of the following year.	471	\$77,178
Period 8	December 31 of the following year.	482	\$78,722
Period 9	December 31 of the following year.	493	\$80,296
Period 10	December 31 of the following year.	504	\$81,902
Period 11 (partial year)	10 th anniversary date of the Start of Term.	515	\$83,540

A minimum of the Average Annual Salary as set forth above, exclusive of benefits and bonus, shall be maintained throughout the ten (10)-year period commencing upon the first December 31 following the first anniversary date of the Start of Term.

The Average Annual Salary shall be determined by dividing the total payroll paid to the employees at the Facility (exclusive of benefits and bonus) by the total number of Full-Time Employees at the Facility. Full-Time Employees are those working on average 32 paid hours per week during the reporting period.

7. Employees Residing Within City. Taxpayer shall review applications for employment at the Facility from qualified job seekers recommended to Taxpayer by the local county workforce development office.

8. Promotion of Location within City. Taxpayer shall make commercially reasonable efforts to not intentionally misrepresent to the general public the Facility's municipal

location. Nothing herein shall restrict Taxpayer from making general statements regarding the location of the Facility (without reference to Aurora) in a manner consistent with the disclosure of its other facilities (e.g. the Facility is one of 10 such facilities in Colorado). If the City determines Taxpayer have not materially complied with this requirement, the City will provide written notice to the Taxpayer and the Taxpayer will make commercially reasonable efforts to cure such non-compliance.

9. Compliance Reporting Requirements. Within 120 days following the close of each calendar year during the Term of Rebate, commencing on the completion of Period 1, Taxpayer shall submit a written report to the City concerning its local operations (the "Compliance Report") for the 12-month period ending December 31 of the same calendar year. Upon written notification to the City, Taxpayer shall be granted an additional thirty (30) days to submit the Compliance Report. The Compliance Report shall generally be in the form set out in Exhibit A to this Agreement. Taxpayer shall also submit a Compliance Report along with each Rebate request as a condition of eligibility for such Rebate of City sales and use tax hereunder. Taxpayer shall certify in the Compliance Report that it is in compliance with its various obligations hereunder and shall provide the following information to the City:

- (a) The number of employees at the Facility by category and the average annual salary paid to such categories of employees during the preceding calendar year (as shall be prorated for any partial year employment);
- (b) A brief description of any coordination efforts with the City to promote the fact that the Facility is located within the City, and a description of the percentage of full-time employees that reside within the City; and
- (c) Any information that would lead a reasonably prudent person to conclude that Taxpayer will either reduce or terminate operations at the Facility during the ensuing calendar year.

In no event shall Taxpayer be required to disclose the names or other sensitive personally identifiable information (such as social security numbers, home addresses or telephone numbers) of specific employees as part of the Compliance Report. Upon the City's prior written request, the Taxpayer shall allow the City to review the Taxpayer's records and documents on location at the Facility that are directly related to the Compliance Reports for the sole purpose of verification of the information contained in the Compliance Reports; provided, however, such review must be done during normal business hours no more than once per calendar year, the City shall not be permitted to photocopy any documentation, Taxpayer may withhold any information it reasonably deems to be sensitive information, and the City agrees it will make best efforts not to interrupt the Taxpayer's business with such reviews.

Taxpayer shall provide a final compliance report ("Final Compliance Report") within ninety days of the 10th Anniversary of the Start of Term. Taxpayer shall submit the Final Compliance Report to the City, also certifying therein that it has fully complied with its various obligations hereunder.

10. Compliance with Laws. Taxpayer hereby warrants to the City that, to the Taxpayer's knowledge, the Facility shall be in material compliance with all applicable zoning and other federal, state, county, and City statutes, rules, regulations, and ordinances, subject to any waivers or variances that Taxpayer may obtain at the Start of the Term.

11. Taxpayer's Failure to Meet Obligations.

(a) Termination of Operations. If, for any reason, Taxpayer should fully terminate its operations in the City at any time prior to the expiration of the ten-year period described in paragraph 5 of this Agreement, then Taxpayer shall, within thirty (30) days following written demand therefor by the City, promptly repay to the City an amount equal to ten percent (10%) of the Rebate actually received by Taxpayer pursuant to this Agreement, multiplied by the total number of calendar years remaining in said period, which payment shall be deemed full satisfaction of Taxpayer's obligations under this Agreement.

(b) Jobs below Minimum Requirements. If, for any reason, Taxpayer should fail to achieve 90% of the job creation and retention requirements set forth in paragraph 6 of this Agreement in any of the periods set out in paragraph 6, then Taxpayer shall, within sixty (60) days following written demand therefor by the City, promptly repay to the City an amount calculated in accordance with the following formula:

$$\begin{aligned} & ((\text{Total Rebate actually received by Taxpayer} \div \text{Minimum jobs required to be} \\ & \text{created}) \times \text{Number of jobs below minimum required to be created}) \times 10\% = \\ & \text{Amount to be repaid} \end{aligned}$$

Taxpayer's compliance with said job retention and creation requirements shall be measured for each period identified in Section 6.

(c) Failure to Comply with Compliance Reporting Requirements. If the Taxpayer fails to provide a Compliance Report to the City for two or more consecutive years, the City shall have the right to terminate this Agreement with thirty (30) days written notice to Taxpayer. Upon receipt by Taxpayer of written notice indicating failure to provide a Compliance Report to the City for two or more consecutive years, Taxpayer shall have thirty (30) days to cure any such alleged failure. If it is determined that Taxpayer failed to meet the job creation and retention requirements set forth in paragraph 6 of this Agreement during any such period it failed to submit the Compliance Report(s), Taxpayer shall promptly repay to the City an amount calculated in accordance with the formula included in paragraph 11(b) above.

(d) Limitation of Liability. Notwithstanding anything to the contrary contained herein, Taxpayer's liability shall not be greater than the total amount of the Rebate received by such Taxpayer hereunder.

(e) Lien. In the event that Taxpayer fails to repay such taxes and fees within the time provided for herein, the City shall impose its lien in the full amount of the unpaid taxes and fees and accrued interest upon all of the tangible personal property of or used by Taxpayer at the Facility as provided in Section 130-74 of the City Code. Such lien shall be in the full amount of

the unpaid taxes and fees and accrued interest and shall be a first lien on such property, which shall take precedence over other liens or claims of whatever kind or nature, except any liens for the non-payment of property tax and State sales and use tax. In addition to said lien, the City shall have all other rights and remedies granted to it by state and local law for the collection of unpaid taxes and fees and accrued interest; provided that the City's damages shall be limited to full repayment of any taxes, interest and other fees directly attributable to a Rebate that is required to be repaid by Taxpayer to the City pursuant to this Agreement.

12. Right to Terminate Agreement Without Cause. Any extension of the Rebate beyond the close of the then current fiscal year shall be subject to the right of City Council or Taxpayer to terminate this Agreement as provided in this paragraph. If, on or before the final day of the then current fiscal year, either the City Council or Taxpayer, in their sole discretion and for any reason, determines that the rebate of City sales and use tax should not continue on into the ensuing fiscal year, it may terminate this Agreement upon immediate written notice to the other party. In such event, Taxpayer shall be entitled to claim such rebate through and including the final day of the then current fiscal year. The termination of this Agreement shall be without penalty and recourse to the terminating party, except as otherwise set forth in this Section. If Taxpayer elects to terminate this Agreement pursuant to this Section, then Taxpayer shall, within thirty (30) days following written demand therefor by the City, promptly repay to the City an amount equal to ten percent (10%) of the Rebate actually received by Taxpayer pursuant to this Agreement, multiplied by the total number of calendar years remaining in said period, which payment shall be deemed full satisfaction of Taxpayer's obligations in this Agreement. Should either party fail to take affirmative action to terminate this Agreement prior to the close of the then current fiscal year, such rebate shall be deemed automatically renewed and in full force and effect for the ensuing fiscal year, provided that such year falls within the Term of Rebate.

13. Effective Date. The City's commitment to provide the rebate of City sales and use tax described herein shall become effective upon the execution of this Agreement by the parties. Any failure of Taxpayer to execute said Agreement by February 28, 2020 shall render the City's commitment to provide such rebate null and void.

14. Non-Assignability. The City's commitment to provide the rebate of City sales and use tax described herein is made in favor of Taxpayer or any Affiliates of Taxpayer only and, as such, with the exception of any Affiliate of Taxpayer (to which Taxpayer may assign in its its discretion without prior written consent of the City or any other party), this Agreement is not assignable by Taxpayer, nor is it transferable by operation of law or otherwise to any entity, except with the prior written consent of the City Manager of the City, which shall not be unreasonably withheld, conditioned or delayed. For purposes of this Section 14 the term "Affiliate" shall mean any entity that, directly or indirectly, is controlled by, controlled or is in common control with the Taxpayer.

15. Amendment. This Agreement may be amended only with the prior written consent or approval of each of the parties hereto by an agreement in writing duly authorized and executed by the parties with the same formality as this Agreement.

16. Entire Agreement. Except as may otherwise be provided herein, this Agreement constitutes the entire understanding among the parties with respect to the subject matter hereof and neither Party has relied upon any fact or representation not expressly set forth herein.

17. No Implied Terms. No obligations, agreements, representations, warranties, or certifications, expressed or implied, shall exist as among the parties except as expressly stated herein.

18. Headings for Convenience. All headings and captions used herein are for the convenience of the parties only and are of no meaning in the interpretation or effect of this Agreement.

19. Open Records. The City will comply with the Colorado Open Records Act in connection with any requests for this Agreement or any documents or information related to or prepared in connection therewith, and if the City receives a request for information under such act, the City will promptly notify Taxpayer of the request and inform Taxpayer of its rights under the act such that Taxpayer can submit in writing the reasons why the information should be withheld or released.

20. Applicable Law; Venue; Waiver of Jury Trials. This Agreement shall be interpreted and enforced according to the laws of the State of Colorado, without regard to the choice of law thereof. The parties agree that venue for any litigated disputes regarding this Agreement shall be the federal and state courts in and for Arapahoe County, Colorado. Each party hereby agrees that any litigated dispute regarding this Agreement shall be tried to a judge without a jury, and expressly waives any right to a trial by jury.

21. Severability. Each paragraph of this Agreement is intertwined with the others and is not severable unless by mutual consent of the Parties. Should the waiver or rebate of City sales and use tax described herein be judicially adjudged to be illegal, invalid, or unenforceable under present laws effective during the term of this Agreement, or contrary to public policy by a court of competent jurisdiction in a final non-appealable judgment, this Agreement shall immediately terminate without penalty or recourse to the City. Otherwise, should any one or more of the provisions of this Agreement be judicially adjudged illegal, invalid, or unenforceable under present or future laws effective during the term of this Agreement or contrary to public policy by a court of competent jurisdiction in a final non-appealable judgment without a corresponding determination being made with regard to such waiver or rebate itself, and the basis of the bargain between the parties hereto is not destroyed or rendered ineffective thereby, the remainder of this Agreement shall not be affected, impaired, or invalidated, the intent of the parties being that such provision or provisions are severable.

22. Multiple Originals. This Agreement may be simultaneously executed in any number of counterparts, each of which shall be deemed original but all of which constitute one and the same Agreement.

23. No Attorney's Fees or Costs. In the event of any litigation, non-binding mediation or other dispute resolution process arising out of this Agreement, the parties agree that each shall

be responsible for its own costs and fees associated with any such legal action, notwithstanding that the prevailing party may recover reasonable attorneys' fees associated with litigation, non-binding mediation or other dispute resolution process arising out of this Agreement.

24. Expenses and Apportionment. Except as otherwise expressly set forth in this Agreement, each of the parties will bear its own expenses in connection with the transactions contemplated by this Agreement.

25. Joint Draft. The parties agree they drafted this Agreement jointly with each having the advice of legal counsel and an equal opportunity to contribute to its content.

26. Intent of Agreement. This Agreement is intended to describe the rights and responsibilities of and between the Parties and is not intended to, and shall not be deemed to confer any rights or responsibilities upon any persons or entities not signatories hereto.

27. Notices. All notices, consents, reports, demands, requests and other communications required or permitted hereunder ("Notices") shall be in writing, and shall be: (a) personally delivered with a written receipt of delivery; (b) sent by a nationally recognized overnight delivery service requiring a written acknowledgement of receipt or providing a certification of delivery or attempted delivery; or (c) sent by PDF or email with an original copy thereof transmitted to the recipient by one of the means described in subsections (a) or (b). All Notices shall be deemed effective when actually delivered as documented in a delivery receipt; provided, however, that if the Notice was sent by overnight courier or mail as aforesaid and is affirmatively refused or cannot be delivered during customary business hours by reason of the absence of a signatory to acknowledge receipt, or by reason of a change of address with respect to which the addressor did not have either knowledge or written notice delivered in accordance with this section, then the first attempted delivery shall be deemed to constitute delivery; and provided further, however, that Notices given by PDF or email shall be deemed given when received. All Notices shall be sent to the addressee at its address set forth below or any other such address as either party may hereafter designate by written notice to the other party.

FOR THE CITY:

City of Aurora, Colorado

15151 East Alameda Parkway

Aurora, Colorado 80012

Attn: Andrea Amonick, Development Services Manager

Email: aamonick@auroragov.org

with a copy to:

City of Aurora, Colorado

15151 East Alameda Parkway

Aurora, Colorado 80012

Attn: City Attorney

Email: CMcKenne@auroragov.org

FOR TAXPAYER:

Kärcher North America, Inc.
4555 Airport Way
Denver, Colorado 80239
Attn: Javier Gonzalez, Chief Executive Officer
Email: javier.gonzalez@karcherna.com

(remainder of page intentionally left blank)

IN WITNESS WHEREOF, the parties have executed this Agreement to be effective as of the day and year first written above.

CITY
CITY OF AURORA, COLORADO


Mike Coffman, Mayor

03/05/2020
Date of Signature

ATTEST:


City Clerk

3/5/20
Date of Signature

TAXPAYER
KARCHER NORTH AMERICA, INC.


Name: Javier Gonzalez, Chief Executive Officer

12/19/19
Date of Signature


Name: Lisa Gillette, Controller

12/31/19
Date of Signature

APPROVED AS TO FORM:


CHRISTINE MCKENNEY, Senior Assistant City Attorney

3/2/2020
Date of Signature

EXHIBIT A
COMPLIANCE REPORT SAMPLE FORMAT

_____, 20XX

Chad Argentar
Economic & Business Development Supervisor
Planning & Development Services
City of Aurora
15151 E. Alameda Parkway
Aurora, CO 80012

Re: COMPLIANCE REPORT/REBATE REQUEST: City of Aurora /Taxpayer ("Agreement")

Mr. Argentar:

Taxpayer is submitting this compliance report as required by the above referenced Agreement.

Please provide a brief narrative of current operations and project status and state that "Company certifies that it is in full compliance with the various obligations of the Agreement as described below". If not in full compliance, explain why. If a rebate request is being submitted at the same time, please complete the "rebate request" section.

AGREEMENT OBLIGATIONS

- **Location of Facility (Paragraph 4):** *State how you are complying with this requirement.*
- **Length of Operation (Paragraph 5):** *State how you are complying with this requirement and reference the Start of Term (Paragraph 1).*
- **Creation of Jobs (Paragraph 6):** *Reference "anniversary date" and provide tables showing jobs/salaries provided vs actual:*

	Required Jobs	Actual Jobs	Difference
Period 1	_____	_____	_____
Period 2	_____	_____	_____
Period 3	_____	_____	_____
Etc.			

	Required Ave. Salary	Actual	Difference
Year 1	\$ _____	\$ _____	+/- \$ _____
Year 2	\$ _____	\$ _____	+/- \$ _____
Year 3	\$ _____	\$ _____	+/- \$ _____
Etc.			

In no event shall Company be required to disclose the names or other sensitive personally identifiable information (such as social security numbers, home addresses or telephone numbers) or specific employees.

- **Employees Residing Within City (Paragraph 7):** *Describe efforts made to review applications for employment at the facility from qualified job seekers recommended to the Company by the local county workforce development office, if any.*

REBATE REQUEST

If your Compliance Report also has a Rebate request in it, please summarize your requested Rebate here and attach supporting documentation (summary, proof of payment, etc.)

Qualified Construction Materials *(if applicable to your agreement)*

For any Building Use Taxes paid that was not waived at the counter, please provide a summary of amounts paid and the Rebate request here. On separate sheets, provide a spreadsheet and supporting documentation for building use taxes paid:

Example

Paid Date	Contractor	Permit Summary	Amount Paid	Rebate Requested
Total				

Qualified Equipment *(if applicable to your agreement)*

For taxes on Qualified Equipment, please summarize amounts and rebate requested here. On separate sheets, provided a spreadsheet that itemizes qualified equipment purchases.

Example

Paid Date	Vendor	Equipment Description	Amount Paid	Unit Price	Rebate Requested
Total					



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: Resolution accepting Warranty Deed conveying property from Integrity Traffic Holding Company, LLC to Adams County for right-of-way purposes
FROM: Brian Staley, P.E., PTOE, Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approve a resolution for accepting a Warranty Deed for the acquisition of property needed for road right-of-way.

BACKGROUND: Adams County is in the process of acquiring right-of-way and temporary construction easements along Dahlia Street from State Highway 224 to I-76 for the Dahlia Street Improvement Project. Integrity Traffic Holding Company, LLC, has executed a Warranty Deed to Adams County for right-of-way purposes. The property is located in the Southwest Quarter of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian. The Warranty Deed will convey property needed for the Dahlia Street CIP project.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Warranty Deed
Draft resolution
Planning Commission Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund: 13**Cost Center: 3056**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			\$

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING WARRANTY DEED CONVEYING PROPERTY
FROM INTEGRITY TRAFFIC HOLDING COMPANY, LLC TO ADAMS COUNTY FOR
RIGHT-OF-WAY PURPOSES

WHEREAS, Adams County is in the process of acquiring right-of-way for the Dahlia Street Capital Improvement Program Project - Dahlia Street from State Highway 224 to I-76 ("Project"); and,

WHEREAS, the right-of-way parcel is from property at 7625 Dahlia Street, located in the Southwest Quarter of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Integrity Traffic Holding Company, LLC ("Parcel 18 & 19"); and,

WHEREAS, Adams County requires ownership of Parcel 18 & 19 for construction of the Project; and,

WHEREAS, Integrity Traffic Holding Company, LLC, has executed a Warranty Deed to convey Parcel 18 & 19 for road right-of-way purposes for Dahlia Street that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 13th day of May 2021, the Planning Commission recommended that the Board of County Commissioners accept said Warranty Deed.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Warranty Deed from Integrity Traffic Holding Company, LLC, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

WARRANTY DEED

THIS DEED, dated this 23 day of September 2020 between **Integrity Traffic Holding Company, LLC, a Colorado Limited Liability Company**, whose address is 7627 Dahlia Street, Commerce City, Colorado 80022, grantor(s), and the **COUNTY OF ADAMS, State of Colorado**, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for and in consideration of the sum of Ten and no/100 Dollars (\$10.00), and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Also known by street and number as: 7625 Dahlia Street, Commerce City, CO 80022

Assessor's schedule or parcel number: part of 0172131203001
0172131300011

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the ensembling and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except oil, gas and mineral interests if any.

The grantor(s) shall and will WARRANT AND FOREVER DEFEND the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

Integrity Traffic Holding Company, LLC

By: [Signature]

Print: JASON BOWEN

Title: MANAGER

STATE OF Colorado

County of Adams

The foregoing instrument was acknowledged before me this 23rd day of September, 2020,
JASON BOWEN, as MANAGER of Integrity Traffic Holding Company LLC

Witness my hand and official seal.
My commission expires:

MARK E. MOORE
Notary Public
State of Colorado
Notary ID # 20104015585
My Commission Expires 05-11-2022

[Signature]

Notary Public

EXHIBIT A
PROJECT CODE: 30561604W
PROJECT NUMBER: IMP 2016-00005
PROPERTY DESCRIPTION
RIGHT OF WAY PARCEL NUMBER: RW-18

A tract or parcel of land over and across that parcel of land described at Reception No. C0686003 recorded in the Public Records of Adams County, located in the North Half of the Southwest Quarter of Section 31, Township 2 South, Range 67 West, of the Sixth Principal Meridian, County of Adams, State of Colorado, said parcel being more particularly described as follows:

For the purposes of this description the bearings are referenced to the East Line of the North Half of the Southwest Quarter of Section 31, Township 2 South, Range 67 West, of the Sixth Principal Meridian, bearing North 00°20'20" West, a distance of 1321.84 feet. Monumented by a 2½" Aluminum Cap marked LS 20155 1991 at the Center-South Sixteenth Corner (Southeast Corner North Half Southwest Quarter) and by a P.K. Nail at the Center Quarter Corner.

Commencing at the Center-South Sixteenth Corner (Southeast Corner North Half Southwest Quarter) of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian;

THENCE North 00°20'20" West along the East Line of the North Half of the Southwest Quarter of said Section 31, a distance of 1115.47 feet to the south line extended of that parcel of land described at Reception No. C0686003 recorded in the Public Records of Adams County;

THENCE South 89°39'40" West, a distance of 30.00 feet to the southeast corner of said parcel of land and the Point of Beginning;

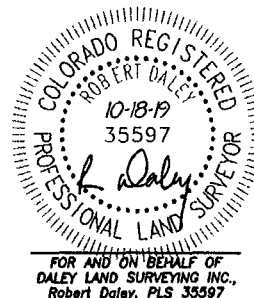
THENCE continuing South 89°39'40" West, along the south line of said parcel of land a distance of 10.00 feet;

THENCE North 00°20'20" West, parallel with and 10.00 feet west of the east line of said parcel of land and the west right of way line of Dahlia Street, a distance of 206.39 feet to the north line of said parcel of land;

THENCE North 89°41'39" East, along said north line, a distance of 10.00 feet to the northeast corner of said parcel of land and said west right of way line of Dahlia Street;

THENCE South 00°20'20" East, along said west line, a distance of 206.39 feet to the Point of Beginning.

Containing 2064 Square Feet, or 0.047 Acres, more or less.



THIS DOES NOT REPRESENT
A MONUMENTED SURVEY.

**DALEY LAND
SURVEYING, INC.**
 17011 LINCOLN AVE #301
 PARKER, CO 80134

OWNER

MARKLEY, CHRIS ET AL

**RIGHT OF WAY
PARCEL NO. RW-18**

N 1/2 SW 1/4 SEC. 31, T.2S., R.67W.
ADAMS COUNTY, COLORADO

APN. 0172131300011

CALC: AVV

DATE: 10/18/2019

DRWN: AVV

JOB No. 1503-014

SHEET 1 OF 2

ILLUSTRATION TO EXHIBIT A

NORTH QUARTER CORNER
SECTION 31, T. 2 S., R. 67 W.
FND #6 REBAR INSIDE A 2" DIAMETER PIPE

CENTER QUARTER CORNER
SECTION 31, T. 2 S., R. 67 W.
FND P.K. NAIL

N00°16'04"W
2652.86'

N LINE SW4 SECTION 31

N 1/2 SW 1/4
SECTION 31
T. 2 S., R. 67 W., 6TH P.M.

UNPLATTED
RECEPTION NO. C0686003

MARKLEY, CHRIS ET AL
5040 ASPEN DRIVE
LITTLETON, CO 80123
RECEPTION NO. C0686003
PARCEL ID: 0172131300011

30' INGRESS & EGRESS EASEMENT
RECEPTION NO. B569046

10' DRAINAGE &
UTILITY EASEMENT
RECEPTION NO. B059750

THE N 30' OF LOT 1
LAWRENCE TRACT
RECEPTION NO. 2016000023734

8' P.S.CO. EASEMENT
RECEPTION NO. C0383808

POINT OF COMMENCEMENT
C-S SIXTEENTH CORNER
(SOUTHEAST CORNER
TH HALF SOUTHWEST QUARTER)
SECTION 31, T. 2 S., R. 67 W.
2" ALUM CAP LS 20155 1991

LOT 3
DAHLIA
INDUSTRIAL
PARK AMENDED
RECEPTION NO.
B743947

**LOT 2
DAHLIA
INDUSTRIAL
PARK AMENDED
RECEPTION NO.
B743947**

- POINT OF BEGINNING

S89°39'40"W
30.00'

N 1/2 SE 1/4
SECTION 31
T. 2 S.,
R. 67 W.,
6TH P.M.

LOT 1

OWNER

MARKLEY, CHRIS ET AL

**RIGHT OF WAY
PARCEL NO. RW-18**

N 1/2 SW 1/4 SEC. 31, T.2S., R.67W.
ADAMS COUNTY, COLORADO

APH. 0172131300011

CALC: AW	DATE: 10/18/2019
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DRWN: AWW	JOB No. 1503-014
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SHEET 2 OF 2



0 S 6
SCALE: 1" = 60'

THIS DOES NOT REPRESENT
A MONUMENTED SURVEY.

**DALEY LAND
SURVEYING, INC.**
17011 LINCOLN AVE #301
PARKER, CO 80134

EXHIBIT A
PROJECT CODE: 30561604W
PROJECT NUMBER: IMP 2016-00005
PROPERTY DESCRIPTION
RIGHT OF WAY PARCEL NUMBER: RW-19

A tract or parcel of land over and across that parcel of land described as Lot 1, Block 1, Petco Subdivision recorded at Reception No. A015532 in the Public Records of Adams County, located in the South Half of the Northwest Quarter of Section 31, Township 2 South, Range 67 West, of the Sixth Principal Meridian, County of Adams, State of Colorado, said parcel being more particularly described as follows:

For the purposes of this description the bearings are referenced to the East Line of the Northwest Quarter of Section 31, Township 2 South, Range 67 West, of the Sixth Principal Meridian, bearing North 00°16'04" West, a distance of 2652.86 feet. Monumented by a P.K. Nail at the Center Quarter Corner and by a #6 rebar inside a 2" diameter pipe at the North Quarter Corner.

Commencing at the Center Quarter Corner of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian;

THENCE South 89°41'39" West, along the south line of Northwest Quarter of said Section 31, a distance of 30.00 feet to the southeast corner of Lot 1, Block 1, Petco Subdivision recorded at Reception No. A015532 in the Public Records of Adams County and the Point of Beginning;

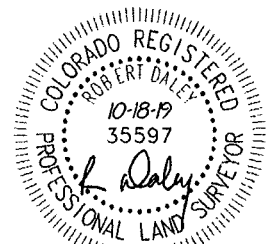
THENCE continuing South 89°41'39" West, along the south line of said Lot 1 and said south line of Northwest Quarter, a distance of 10.00 feet;

THENCE North 00°16'04" West, parallel with and 10.00 feet west of the east line of said Lot 1 and the west right of way line of Dahlia Street, a distance of 295.03 feet to the north line of said Lot 1;

THENCE North 89°43'56" East, along said north line, a distance of 10.00 feet to the northeast corner of said Lot 1 and said west right of way line of Dahlia Street;

THENCE South 00°16'04" East, along the east line of said Lot 1 and said west right of way line, a distance of 295.02 feet to the Point of Beginning.

Containing 2950 Square Feet, or 0.068 Acres, more or less.



FOR AND ON BEHALF OF
DALEY LAND SURVEYING INC.,
Robert Daley, PLS 35597

OWNER

MARKLEY, CHRIS ET AL

**RIGHT OF WAY
PARCEL NO. RW-19**

S 1/2 NW 1/4 SEC. 31, T.2S., R.67W.
ADAMS COUNTY, COLORADO

THIS DOES NOT REPRESENT
A MONUMENTED SURVEY.

**DALEY LAND
SURVEYING, INC.**
17011 LINCOLN AVE #301
PARKER, CO 80134

APN. 0172131300011

CALC: AVV DATE: 10/18/2019

DRWN: AVV JOB No. 1503-014

SHEET 1 OF 2

ILLUSTRATION TO EXHIBIT A

NORTH QUARTER CORNER
SECTION 31, T. 2 S., R. 67 W.
FND #6 REBAR INSIDE A 2" DIAMETER PIPE

N89°43'56"E
10.00'

LOT 1
BLOCK 1
PETCO SUBDIVISION
RECEPTION NO. A015532

MARKLEY, CHRIS ET AL
5040 ASPEN DRIVE
LITTLETON, CO 80123
RECEPTION NO. C0686003
PARCEL ID: 0172131203001
7625 DAHLIA STREET

S 1/2 NW 1/4
SECTION 31
T. 2 S., R. 67 W., 6TH P.M.

S LINE NW4 SECTION 31

N 1/2 SW 1/4
SECTION 31
T. 2 S., R. 67 W., 6TH P.M.

S89°41'39"W
10.00'

S89°41'39"W
30.00'

N00°16'04"W 295.03'
S00°16'04"E 295.02'

EX. R.O.W. LINE (SEPT. 2016)

E LINE NW4 SECTION 31
N00°16'04"W 2652.86' BASIS OF BEARING

DAHLIA STREET (R.O.W. VARIES)

EX. R.O.W. LINE (SEPT. 2016)

POINT OF COMMENCEMENT
CENTER QUARTER CORNER
SECTION 31, T. 2 S., R. 67 W.
FND P.K. NAIL

LOT 3
DAHLIA
INDUSTRIAL
PARK AMENDED
RECEPTION NO.
B743947

OWNER

MARKLEY, CHRIS ET AL

RIGHT OF WAY
PARCEL NO. RW-19

S 1/2 NW 1/4 SEC. 31, T.2S., R.67W.
ADAMS COUNTY, COLORADO

APN. 0172131300011

CALC: AVV DATE: 10/18/2019

DRWN: AVV JOB No. 1503-014

SHEET 2 OF 2



0 60
SCALE: 1" = 60'

THIS DOES NOT REPRESENT
A MONUMENTED SURVEY.

DALEY LAND
SURVEYING, INC.
17011 LINCOLN AVE #301
PARKER, CO 80134

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A WARRANTY DEED FROM
INTEGRITY TRAFFIC HOLDING COMPANY, LLC TO ADAMS COUNTY FOR
RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 13th day of May 2021, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Warranty Deed from Integrity Traffic Holding Company, LLC for right-of-way purposes on the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Warranty Deed is in conjunction with the Dahlia Street Capital Improvement Program Project – Dahlia Street from State Highway 224 to I-76, for a portion of 7625 Dahlia Street, located in the Southwest Quarter of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Warranty Deed from Integrity Traffic Holding Company, LLC, be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, John F. DPriest, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: Resolution accepting Warranty Deed conveying property from Fortenberry Investment Co., LLP to Adams County for right-of-way purposes
FROM: Brian Staley, P.E., PTOE, Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approve a resolution for accepting a Warranty Deed for the acquisition of property needed for road right-of-way.

BACKGROUND: Adams County is in the process of acquiring right-of-way and temporary construction easements along Dahlia Street from State Highway 224 to I-76 for the Dahlia Street Improvement Project. Fortenberry Investment Co., LLP, has executed a Warranty Deed to Adams County for right-of-way purposes. The property is located in the Northeast Quarter of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian. The Warranty Deed will convey property needed for the Dahlia Street CIP project.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Warranty Deed
Draft resolution
Planning Commission Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund: 13**Cost Center: 3056**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			\$

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING WARRANTY DEED CONVEYING PROPERTY
FROM FORTENBERRY INVESTMENT CO., LLP TO ADAMS COUNTY FOR
RIGHT-OF-WAY PURPOSES

WHEREAS, Adams County is in the process of acquiring right-of-way for the Dahlia Street Capital Improvement Program Project - Dahlia Street from State Highway 224 to I-76 ("Project"); and,

WHEREAS, the right-of-way parcel is from property at 7630 Dahlia Street, located in the Northeast Quarter of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Fortenberry Investment Co., LLP ("Parcel 25"); and,

WHEREAS, Adams County requires ownership of Parcel 25 for construction of the Project; and,

WHEREAS, Fortenberry Investment Co., LLP has executed a Warranty Deed to convey Parcel 25 for road right-of-way purposes for Dahlia Street that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 13th day of May 2021, the Planning Commission recommended that the Board of County Commissioners accept said Warranty Deed.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Warranty Deed from Fortenberry Investment Co., LLP, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

WARRANTY DEED

THIS DEED, dated this _____ day of _____, 20____, between **Fortenberry Investment Co., LLP**, whose address is 6545 W. Berry Ave., Littleton, Colorado 80123, grantor(s), and the **COUNTY OF ADAMS, State of Colorado**, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for and in consideration of the sum of Ten and no/100 Dollars (\$10.00), and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Also known by street and number as: 7630 Dahlia Street, Commerce City, CO 80022

Assessor's schedule or parcel number: part of 0172131106001

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the ensealing and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except oil, gas and mineral interests if any.

The grantor(s) shall and will **WARRANT AND FOREVER DEFEND** the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

Fortenberry Investment Co., LLP

By: _____

Print: _____

Title: _____

STATE OF Colorado)
County of Jefferson) §

The foregoing instrument was acknowledged before me this 21 day of May, 2020,
Peter Fortenberry, as Manager of Fortenberry Investment Co.

Witness my hand and official seal.

My commission expires: 11/26/2022

Nicholas Wethington

Notary Public

EXHIBIT A
PROJECT CODE: 30561604W
PROJECT NUMBER: IMP 2016-00005
PROPERTY DESCRIPTION
RIGHT OF WAY PARCEL NUMBER: RW-25

A tract or parcel of land over and across that parcel of land described as Plot 9, Henebry's Dupont Annex at Reception No. 57850 and in Plat Book 3, Map 84 recorded in the Public Records of Adams County, located in the South Half of the Northeast Quarter of Section 31, Township 2 South, Range 67 West, of the Sixth Principal Meridian, County of Adams, State of Colorado, said parcel being more particularly described as follows:

For the purposes of this description the bearings are referenced to the West Line of the Northeast Quarter of Section 31, Township 2 South, Range 67 West, of the Sixth Principal Meridian, bearing North 00°16'04" West, a distance of 2652.86 feet. Monumented by a P.K. Nail at the Center Quarter Corner and by a #6 rebar inside a 2" diameter pipe at the North Quarter Corner.

Commencing at the Center Quarter Corner of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian;

THENCE North 00°16'04" West along the west line of the Northeast Quarter of said Section 31, a distance of 412.50 feet to the south line extended of Plot 9, Henebry's Dupont Annex described at Reception No. 57850 and in Plat Book 3, Map 84 recorded in the Public Records of Adams County;

THENCE North 89°45'43" East, along said south line extended, a distance of 30.00 feet to the southwest corner of said Plot 9 and the Point of Beginning;

THENCE North 00°16'04" West, along the west line of said Plot 9 and the east right of way line of Dahlia Street, a distance of 234.92 feet to the northwest corner of said Plot 9;

THENCE North 89°44'54" East, along the north line of said Plot 9 and the south right of way line of 77th Avenue, a distance of 129.79 feet;

THENCE South 01°02'20" East, a distance of 3.39 feet;

THENCE South 88°57'40" West, a distance of 3.20 feet;

THENCE South 88°33'11" West, a distance of 25.79 feet;

THENCE along a curve to the left, an arc length of 68.74 feet, said curve having a radius of 192.50 feet, a delta angle of 20°27'34", a chord bearing of South 78°19'24" West and a chord length of 68.37 feet;

THENCE along a compound curve to the left, an arc length of 11.02 feet, said curve having a radius of 42.50 feet, a delta angle of 14°51'39", a chord bearing of South 60°39'47" West and a chord length of 10.99 feet;

THENCE South 00°16'04" East, a distance of 16.40 feet;

THENCE South 89°43'56" West, a distance of 10.00 feet;

THENCE along a curve to the left, an arc length of 18.43 feet, said curve having a radius of 39.50 feet, a delta angle of 26°43'39", a chord bearing of South 13°05'46" West and a chord length of 18.26 feet;

THENCE South 00°16'04" East, parallel with and 10.00 feet east of the west line of said Plot 9 and said east right of way line, a distance of 177.89 feet to the south line of said Plot 9;

THENCE South 89°45'43" West, a distance of 10.00 feet to the Point of Beginning.

Containing 3810 Square Feet, or 0.087 Acres, more or less.



FOR AND ON BEHALF OF
DALEY LAND SURVEYING INC.,
Robert Daley, PLS 35597

OWNER

**FORTENBERRY
INVESTMENT CO LLP**

**RIGHT OF WAY
PARCEL NO. RW-25**

S 1/2 NE 1/4 SEC. 31, T.2S., R.67W.
ADAMS COUNTY, COLORADO

THIS DOES NOT REPRESENT
A MONUMENTED SURVEY.

**DALEY LAND
SURVEYING, INC.**
17011 LINCOLN AVE #301
PARKER, CO 80134

APN: 0172131106001

CALC: AVV

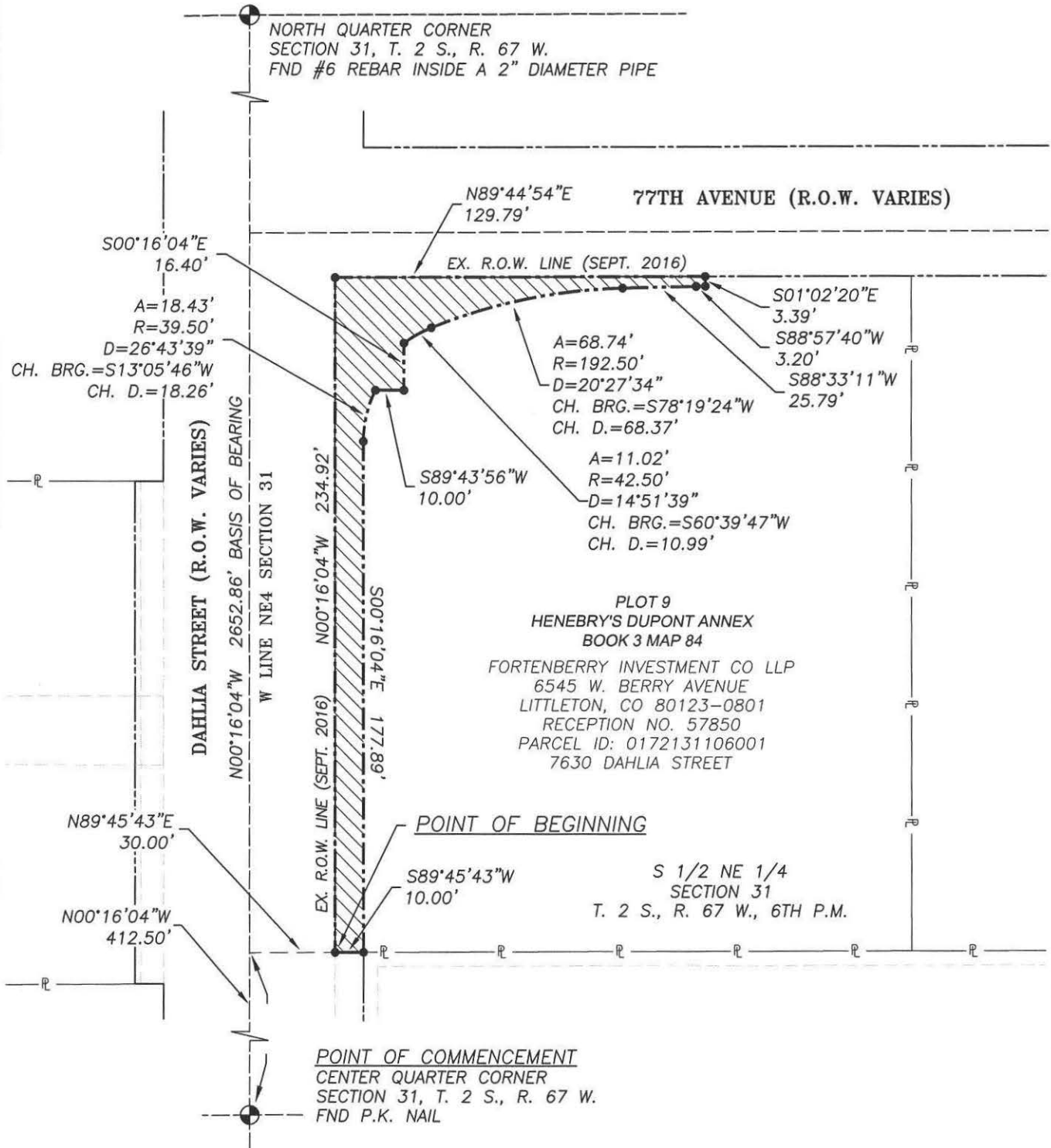
DATE: 10/18/2019

DRWN: AVV

JOB No. 1503-014

SHEET 1 OF 2

ILLUSTRATION TO EXHIBIT A



OWNER

**FORTENBERRY
INVESTMENT CO LLP**

APN. 0172131106001

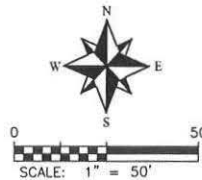
CALC: AVV DATE: 10/18/2019

DRWN: AVV JOB No. 1503-014

SHEET 2 OF 2

**RIGHT OF WAY
PARCEL NO. RW-25**

S 1/2 NE 1/4 SEC. 31, T.2S., R.67W.
ADAMS COUNTY, COLORADO



THIS DOES NOT REPRESENT
A MONUMENTED SURVEY.

**DALEY LAND
SURVEYING, INC.**
17011 LINCOLN AVE #361
PARKER, CO 80134

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A WARRANTY DEED FROM
FORTENBERRY INVESTMENT CO., LLP TO ADAMS COUNTY FOR
RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 13th day of May 2021, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Warranty Deed from Fortenberry Investment Co., LLP, for right-of-way purposes on the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Warranty Deed is in conjunction with the Dahlia Street Capital Improvement Program Project – Dahlia Street from State Highway 224 to I-76, for a portion of 7630 Dahlia Street, located in the Northeast Quarter of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Warranty Deed from Fortenberry Investment Co., LLP, be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, John F. DuPriet, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: Resolution accepting a Permanent Drainage Easement from Fortenberry Investment Co., LLP to Adams County for drainage purposes
FROM: Brian Staley, P.E., PTOE, Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approve a resolution for accepting a Permanent Drainage Easement needed for drainage purposes.

BACKGROUND: Adams County is in the process of acquiring right-of-way, temporary construction easements and permanent drainage easement along Dahlia Street from State Highway 224 to I-76 for the Dahlia Street Improvement Project. Fortenberry Investment Co., LLP, has executed a Permanent Drainage Easement to Adams County for storm water drainage purposes. The property is located in the Northeast Quarter of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian. The Permanent Drainage Easement will grant an easement needed for the Dahlia Street CIP project.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Permanent Drainage Easement
Draft resolution
Planning Commission Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund: 13**Cost Center: 3056**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			\$

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING A PERMENENT DRAINAGE EASEMENT FROM
FORTENBERRY INVESTMENT CO., LLP TO ADAMS COUNTY
FOR DRAINAGE PURPOSES

WHEREAS, Adams County is in the process of acquiring right-of-way, permanent easements and temporary construction easements for the Dahlia Street Capital Improvement Program Project - Dahlia Street from State Highway 224 to I-76 ("Project"); and,

WHEREAS, Fortenberry Investment Co., LLP, owns certain property located in the Northeast Quarter of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian, County of Adams, State of Colorado; and,

WHEREAS, Adams County requires easements over certain Fortenberry Investment Co., LLP property for drainage purposes; and,

WHEREAS, Fortenberry Investment Co., LLP is granting the easement to Adams County under the terms and conditions of the attached Permanent Drainage Easement; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 13th day of May 2021, the Planning Commission recommended that the Board of County Commissioners accept said Permanent Drainage Easement.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Permanent Drainage Easement between Adams County and Fortenberry Investment Co., LLP, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is approved.

PERMANENT DRAINAGE EASEMENT

KNOW ALL MEN BY THESE PRESENTS:

That FORTENBERRY INVESTMENT CO., LLP, a Colorado limited liability partnership, whose legal address is 6545 West Berry Avenue, Littleton, CO 80123-0801, hereinafter called "Grantor", for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, does hereby grant, bargain, and convey to the COUNTY OF ADAMS, STATE OF COLORADO, a body politic, whose address is 4430 South Adams County Parkway, Brighton, Colorado 80601 hereinafter "County", its successors and assigns, a permanent storm water drainage easement for the purpose of maintenance of all drainage facilities including inlets, pipes, culverts, channels, ditches, hydraulic structures, detention basins, catch grates, maintenance roads, etc., said easement to be used solely in the event Grantor fails to maintain such drainage facilities, together with lateral and subjacent support thereto as may from time to time be required on, over, across, and through the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated by this reference.

Together with the right to ingress and egress over and across the land of Grantor by means of roads and lanes thereon if such there be; otherwise by such route as shall cause the least practical damage and inconvenience to the Grantor.

In further consideration hereof, Grantor covenants and agrees that no permanent buildings or structures will be placed, erected, installed or permitted upon said easement that will cause any obstructions to prevent the proper maintenance and use of said drainage facility.

In the event the County exercises its right to maintain the detention pond, all of the County's costs to maintain the detention pond shall be reimbursed by Grantor within thirty days of receiving the County's invoice, including any collection costs and attorney fees.

In further consideration of the granting of this easement, it is hereby agreed that all work performed by the County, its successors and assigns, in connection with this easement shall be done with care, and the surface of the property shall be restored to its original condition, or as close thereto as possible, except as necessarily modified to accommodate the facilities and appurtenances installed and any damages caused on said easement arising out of the reconstruction, maintenance and repair of said drainage facilities and appurtenances in the exercise of the rights hereby provided shall be restored reasonably similar to its original condition following completion of the work performed.

IN WITNESS WHEREOF, Grantor has hereto set his hand on this 21 day of May, 2020.

FORTENBERRY INVESTMENT CO., LLP,
a Colorado limited liability partnership

By: Peter R Fortenberry
Print Name: Peter R Fortenberry
Print Title: Manager

STATE OF COLORADO)

COUNTY OF Jefferson) §

The foregoing instrument was acknowledged before me this 21 day of May, 2020 by Peter Fortenberry, as Manager of Fortenberry Investment Co., LLP, a Colorado limited liability partnership.

IN WITNESS WHEREOF, I have hereto set my hand and official seal.

Nick Wethington
Notary Public

My commission expires: 11/26/2022

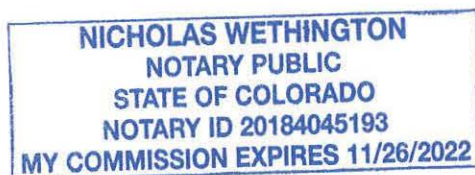


EXHIBIT A
PROJECT CODE: 30561604W
PROJECT NUMBER: IMP 2016-00005
PROPERTY DESCRIPTION
DRAINAGE EASEMENT PARCEL NUMBER: DE-25

A tract or parcel of land over and across that parcel of land described as Plot 9, Henebry's Dupont Annex at Reception No. 57850 and in Plat Book 3, Map 84 recorded in the Public Records of Adams County, located in the South Half of the Northeast Quarter of Section 31, Township 2 South, Range 67 West, of the Sixth Principal Meridian, County of Adams, State of Colorado, said parcel being more particularly described as follows:

For the purposes of this description the bearings are referenced to the West Line of the Northeast Quarter of Section 31, Township 2 South, Range 67 West, of the Sixth Principal Meridian, bearing North 00°16'04" West, a distance of 2652.86 feet. Monumented by a P.K. Nail at the Center Quarter Corner and by a #6 rebar inside a 2" diameter pipe at the North Quarter Corner.

Commencing at the Center Quarter Corner of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian;

THENCE North 00°16'04" West along the west line of said Northeast Quarter of Section 31 a distance of 412.50 feet to the south line extended of Plot 9, Henebry's Dupont Annex described at Reception No. 57850 and in Plat Book 3, Map 84 recorded in the Public Records of Adams County;

THENCE North 89°45'43" East, along said south line extended, a distance of 30.00 feet to the southwest corner of said Plot 9;

THENCE continuing North 89°45'43" East, along the south line of said Plot 9, a distance of 10.00 feet;

THENCE North 00°16'04" West, parallel with and 10 feet east of the west line of said Plot 9, a distance of 136.37 feet to the the Point of Beginning;

THENCE continuing North 00°16'04" West, parallel with and 10 feet east of the west line of said Plot 9, a distance of 14.00 feet;

THENCE North 89°43'56" East, a distance of 13.00 feet;

THENCE South 00°16'04" East, a distance of 14.00 feet;

THENCE South 89°43'56" West, a distance of 13.00 feet to the Point of Beginning.

Containing 182 Square Feet, or 0.004 Acres, more or less.



FOR AND ON BEHALF OF
DALEY LAND SURVEYING INC.,
Robert Daley, PLS 35597

OWNER

**FORTENBERRY
INVESTMENT CO LLP**

**DRAINAGE EASEMENT
PARCEL NO. DE-25**

**THIS DOES NOT REPRESENT
A MONUMENTED SURVEY.**

APN. 0172131106001

S 1/2 NE 1/4 SEC. 31, T.2S., R.67W.
ADAMS COUNTY, COLORADO

CALC: AVV

DATE: 10/18/2019

DRWN: AVV

JOB No. 1503-014

SHEET 1 OF 2

**DALEY LAND
SURVEYING, INC.**
17011 LINCOLN AVE #361
PARKER, CO 80134

ILLUSTRATION TO EXHIBIT A

NORTH QUARTER CORNER
SECTION 31, T. 2 S., R. 67 W.
FND #6 REBAR INSIDE A 2" DIAMETER PIPE

77TH AVENUE (R.O.W. VARIES)

EX. R.O.W. LINE (SEPT. 2016)

DAHILIA STREET (R.O.W. VARIES)

N00°16'04"W 2652.86' BASIS OF BEARING
W LINE NE4 SECTION 31

RW-25

S 1/2 NE 1/4
SECTION 31
T. 2 S., R. 67 W., 6TH P.M.

N89°43'56"E
13.00'

S00°16'04"E
14.00'

N00°16'04"W
14.00'

S89°43'56"W
13.00'

POINT OF BEGINNING

PLOT 9
HENEGBRY'S DUPONT ANNEX
BOOK 3 MAP 84

FORTENBERRY INVESTMENT CO LLP
6545 W. BERRY AVENUE
LITTLETON, CO 80123-0801
RECEPTION NO. 57850
PARCEL ID: 0172131106001
7630 DAHLIA STREET

EX. R.O.W. LINE (SEPT. 2016)
RW-25
N00°16'04"W 136.37'

N89°45'43"E
30.00'

N00°16'04"W
412.50'

N89°45'43"E
10.00'

POINT OF COMMENCEMENT
CENTER QUARTER CORNER
SECTION 31, T. 2 S., R. 67 W.
FND P.K. NAIL

OWNER

FORTENBERRY
INVESTMENT CO LLP

APN. 0172131106001

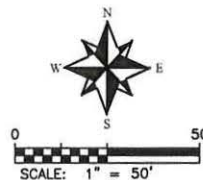
CALC: AVW DATE: 10/18/2019

DRWN: AVW JOB No. 1503-014

SHEET 2 OF 2

DRAINAGE EASEMENT
PARCEL NO. DE-25

S 1/2 NE 1/4 SEC. 31, T.2S., R.67W.
ADAMS COUNTY, COLORADO



THIS DOES NOT REPRESENT
A MONUMENTED SURVEY.

DALEY LAND
SURVEYING, INC.
17011 LINCOLN AVE #361
PARKER, CO 80134

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A PERMANENT DRAINAGE
EASEMENT FROM FORTENBERRY INVESTMENT CO., LLP, TO
ADAMS COUNTY FOR STORM WATER PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 13th day of May 2021, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Permanent Drainage Easement from Fortenberry Investment Co., LLP, for right-of-way purposes on the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Permanent Drainage Easement is in conjunction with the Dahlia Street Capital Improvement Program Project – Dahlia Street from State Highway 224 to I-76, located at 7630 Dahlia Street, in the Northeast Quarter of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Permanent Drainage Easement from Fortenberry Investment Co., LLP be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, John F. DuPriest, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: Resolution accepting Warranty Deed conveying property from Dennis and Jeff Enterprises, LLC to Adams County for right-of-way purposes
FROM: Brian Staley, P.E., PTOE, Director of Public Works
AGENCY/DEPARTMENT: Public Works
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approve a resolution for accepting a Warranty Deed for the acquisition of property needed for road right-of-way.

BACKGROUND: Adams County is in the process of acquiring right-of-way and temporary construction easements along Dahlia Street from State Highway 224 to I-76 for the Dahlia Street Improvement Project. Dennis and Jeff Enterprises, LLC has executed a Warranty Deed to Adams County for right-of-way purposes. The property is located in the Northwest Quarter of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian. The Warranty Deed will convey property needed for the Dahlia Street CIP project.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Adams County Public Works, Office of the County Attorney and Adams County Board of County Commissioners.

ATTACHED DOCUMENTS:

Warranty Deed
Draft resolution
Planning Commission Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund: 13**Cost Center: 3056**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			\$

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION ACCEPTING WARRANTY DEED CONVEYING PROPERTY
FROM DENNIS AND JEFF ENTERPRISES, LLC TO ADAMS COUNTY FOR
RIGHT-OF-WAY PURPOSES

WHEREAS, Adams County is in the process of acquiring right-of-way for the Dahlia Street Capital Improvement Program Project - Dahlia Street from State Highway 224 to I-76 ("Project"); and,

WHEREAS, the right-of-way parcel is from property at 7685 Dahlia Street, located in the Northwest Quarter of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian, County of Adams, State of Colorado and is owned by Dennis and Jeff Enterprises, LLC ("Parcels 26 & 27"); and,

WHEREAS, Adams County requires ownership of Parcels 26 & 27 for construction of the Project; and,

WHEREAS, Dennis and Jeff Enterprises, LLC has executed a Warranty Deed to convey Parcels 26 & 27 for road right-of-way purposes for Dahlia Street that complies with County standards and will benefit the citizens of Adams County; and,

WHEREAS, at a regular meeting of the Planning Commission for Adams County, Colorado, held at the County Government Center in Brighton on Thursday the 13th day of May 2021, the Planning Commission recommended that the Board of County Commissioners accept said Warranty Deed.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners, County of Adams, State of Colorado, that the Warranty Deed from Dennis and Jeff Enterprises, LLC, a copy of which is attached hereto and incorporated herein by this reference, be and hereby is accepted.

WARRANTY DEED

THIS DEED, dated this 14 day of Jan, 2021, between **Dennis and Jeff Enterprises, LLC, a Colorado Limited Liability Company**, whose address is 7685 Dahlia Street, Commerce City, CO 80022, grantor(s), and the **COUNTY OF ADAMS, State of Colorado**, whose legal address is 4430 South Adams County Parkway, Brighton, Colorado 80601 of the said County of Adams and State of Colorado, grantee(s):

WITNESS, that the grantor(s), for and in consideration of the sum of Eighteen Thousand Nine Hundred Forty Three and no/100 Dollars (\$18,943.00), and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, have granted, bargained, sold and conveyed, and by these presents doth grant, bargain, sell, convey and confirm, unto the grantee(s), its successors and assigns forever, all the real property, together with improvements, if any, situate, lying and being in the said County of Adams, State of Colorado, described as follows:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

Also known by street and number as: 7685 Dahlia Street, Commerce City, CO 80022

Assessor's schedule or parcel number: part of 0172131200019
0172131205003

TOGETHER with all and singular the hereditaments and appurtenances thereto belonging, or in anywise appertaining, the reversion and reversions, remainder and remainders, rents, issues and profits thereof, and all the estate, right, title, interest, claim and demand whatsoever of the grantor(s), either in law or equity, of, in and to the above bargained premises, with the hereditaments and appurtenances;

TO HAVE AND TO HOLD the said premises above bargained and described, with the appurtenances, unto the grantee(s), its successors and assigns forever. The grantor(s), for itself, its successors and assigns, do covenant, grant, bargain and agree to and with the grantee(s), its successors and assigns, that at the time of the ensembling and delivery of these presents, it is well seized of the premises above conveyed, have good, sure, perfect, absolute and indefeasible estate of inheritance, in law, in fee simple, and have good right, full power and authority to grant, bargain, sell and convey the same in manner and form as aforesaid, and that the same are free and clear from all former and other grants, bargains, sales, liens, taxes, assessments, encumbrances and restrictions of whatever kind or nature soever, except oil, gas and mineral interests if any.

The grantor(s) shall and will WARRANT AND FOREVER DEFEND the above bargained premises in the quiet and peaceable possession of the grantee(s), its successors and assigns, against all and every person or persons lawfully claiming the whole or any part thereof.

IN WITNESS WHEREOF, the grantor(s) have executed this deed on the date set forth above.

By: Dennis R. Richey
Print: Dennis Richey

Title: Member-Manager

STATE OF Colorado)

County of Adams) §

Dennis and Jeff Enterprises, LLC

By: Jeff Richey
Print: Jeff Richey

Title: Member-Manager

The foregoing instrument was acknowledged before me this 14 day of Jan, 2021, Dennis Richey and Jeff Richey, as Member-Managers of Dennis and Jeff Enterprises, LLC.

Witness my hand and official seal.

My commission expires: 2-8-22

ERICT MEYERS
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20184006674

Notary Public

EXHIBIT A
PROJECT CODE: 30561604W
PROJECT NUMBER: IMP 2016-00005
PROPERTY DESCRIPTION
RIGHT OF WAY PARCEL NUMBER: RW-26

A tract or parcel of land over and across that parcel of land described at Reception No. C1214201 recorded in the Public Records of Adams County, located in the South Half of the Northwest Quarter of Section 31, Township 2 South, Range 67 West, of the Sixth Principal Meridian, County of Adams, State of Colorado, said parcel being more particularly described as follows:

For the purposes of this description the bearings are referenced to the East Line of the the Northwest Quarter of Section 31, Township 2 South, Range 67 West, of the Sixth Principal Meridian, bearing North 00°16'04" West, a distance of 2652.86 feet. Monumented by a P.K. Nail at the Center Quarter Corner and by a #6 rebar inside a 2" diameter pipe at the North Quarter Corner.

Commencing at the Center Quarter Corner of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian;

THENCE North 00°16'04" West along the east line of the Northwest Quarter of said Section 31, a distance of 576.67 feet to the south line extended of that parcel of land described at Reception No. C1214201 recorded in the Public Records of Adams County;

THENCE North 89°58'24" West, along said south line extended, a distance of 30.00 feet to the southeast corner of said parcel of land and the Point of Beginning;

THENCE continuing North 89°58'24" West, along the south line of said parcel, a distance of 10.00 feet;

THENCE North 00°16'04" West, parallel with and 10.00 feet west of the east line of said parcel and the west right of way line of Dahlia Street, a distance of 175.00 feet to the north line of said parcel;

THENCE South 89°58'24" East, a distance of 10.00 feet to the northeast corner of said parcel and the west right of way line of Dahlia Street;

THENCE South 00°16'04" East, along said east line and said west right of way line, a distance of 175.00 feet to the Point of Beginning.

Containing 1750 Square Feet, or 0.040 Acres, more or less.



FOR AND ON BEHALF OF
DALEY LAND SURVEYING INC.,
Robert Daley, PLS 35597

OWNER

**DENNIS AND JEFF
ENTERPRISES LLC**

APN. 0172131200019

CALC: AVV

DATE: 10/18/2019

DRWN: AVV

JOB No. 1503-014

SHEET 1 OF 2

**RIGHT OF WAY
PARCEL NO. RW-26**

S 1/2 NW 1/4 SEC. 31, T.2S., R.67W.
ADAMS COUNTY, COLORADO

THIS DOES NOT REPRESENT
A MONUMENTED SURVEY.

**DALEY LAND
SURVEYING, INC.**
17011 LINCOLN AVE #301
PARKER, CO 80134

ILLUSTRATION TO EXHIBIT A

NORTH QUARTER CORNER
SECTION 31, T. 2 S., R. 67 W.
FND #6 REBAR INSIDE A 2" DIAMETER PIPE

LOT 1
BILLKORT SUBDIVISION RECEPTION
NO. B088220

S 1/2 NW 1/4
SECTION 31
T. 2 S., R. 67 W., 6TH P.M.

UNPLATTED
RECEPTION NO. C1214201

DENNIS AND JEFF ENTERPRISES LLC
7715 DAHLIA STREET
COMMERCE CITY, CO 80022
RECEPTION NO. C1214201
PARCEL ID: 0172131200019
7685 DAHLIA STREET

POINT OF BEGINNING

N89°58'24"W
10.00'

LOT 1 BLOCK 1
REPLAT OF MOON'S SUBDIVISION
RECEPTION NO. B583113

24' INGRESS/EGRESS EASEMENT
VACATED BY RECEPTION NO. 2013000042602

POINT OF COMMENCEMENT
CENTER QUARTER CORNER
SECTION 31, T. 2 S., R. 67 W.
FND P.K. NAIL

S89°58'24"E
10.00'

S00°16'04"E
175.00'
N00°16'04"W
175.00'

EX. R.O.W. LINE (SEPT. 2016)

E LINE S2 NW4 SECTION 31
N00°16'04"W 2652.86' BASIS OF BEARING

DAHLIA STREET (R.O.W. VARIES)

LOT 2
ZAGO TRACT
AMENDMENT NO. 1
RECEPTION NO.
2011000052130

77TH AVENUE
(R.O.W. VARIES)

N89°58'24"W
30.00'

PLOT 9
HENEYBRY'S DUPONT
ANNEX
BOOK 3 MAP 84

EX. R.O.W. LINE (SEPT. 2016)

N00°16'04"W 576.67'

8' UTILITY EASEMENT

OWNER

DENNIS AND JEFF
ENTERPRISES LLC

APN. 0172131200019

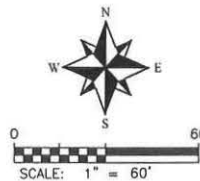
CALC: AVV DATE: 10/18/2019

DRWN: AVV JOB No. 1503-014

SHEET 2 OF 2

RIGHT OF WAY
PARCEL NO. RW-26

S 1/2 NW 1/4 SEC. 31, T.2S., R.67W.
ADAMS COUNTY, COLORADO



THIS DOES NOT REPRESENT
A MONUMENTED SURVEY.

DALEY LAND
SURVEYING, INC.
17011 LINCOLN AVE #301
PARKER, CO 80134

EXHIBIT A
PROJECT CODE: 30561604W
PROJECT NUMBER: IMP 2016-00005
PROPERTY DESCRIPTION
RIGHT OF WAY PARCEL NUMBER: RW-27

A tract or parcel of land over and across that parcel of land described at Reception No. C0633506 as Lot 1, Billkort Subdivision Reception No. B088220 recorded in the Public Records of Adams County, located in the South Half of the Northwest Quarter of Section 31, Township 2 South, Range 67 West, of the Sixth Principal Meridian, County of Adams, State of Colorado, said parcel being more particularly described as follows:

For the purposes of this description the bearings are referenced to the East Line of the Northwest Quarter of Section 31, Township 2 South, Range 67 West, of the Sixth Principal Meridian, bearing North 00°16'04" West, a distance of 2652.86 feet. Monumented by a P.K. Nail at the Center Quarter Corner and by a #6 rebar inside a 2" diameter pipe at the North Quarter Corner.

Commencing at the Center Quarter Corner of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian;

THENCE North 00°16'04" West along the east line of the Northwest Quarter of said Section 31, a distance of 751.67 feet to the south line extended of Lot 1, Billkort Subdivision described at Reception No. B088220 recorded in the Public Records of Adams County;

THENCE North 89°58'24" West, along said south line extended, a distance of 35.00 feet to the southeast corner of said Lot 1 and the Point of Beginning;

THENCE continuing North 89°58'24" West, along the south line of said Lot 1, a distance of 5.00 feet;

THENCE North 00°16'04" West, parallel with and 5.00 feet west of the east line of said Lot 1 and the west right of way line of Dahlia Street, a distance of 149.97 feet to the north line of said Lot 1;

THENCE North 89°43'56" East, a distance of 5.00 feet to the northeast corner of said Lot 1 and the west right of way line of Dahlia Street;

THENCE South 00°16'04" East, along said east line and said west right of way line, a distance of 150.00 feet to the Point of Beginning.

Containing 750 Square Feet, or 0.017 Acres, more or less.



FOR AND ON BEHALF OF
DALEY LAND SURVEYING INC.,
Robert Daley, PLS 35597

OWNER

**DENNIS AND JEFF
ENTERPRISES LLC**

APN. 0172131205003

CALC: AVV DATE: 10/18/2019

DRWN: AVV JOB No. 1503-014

SHEET 1 OF 2

**RIGHT OF WAY
PARCEL NO. RW-27**

**S 1/2 NW 1/4 SEC. 31, T.2S., R.67W.
ADAMS COUNTY, COLORADO**

**THIS DOES NOT REPRESENT
A MONUMENTED SURVEY.**

**DALEY LAND
SURVEYING, INC.**
17011 LINCOLN AVE #301
PARKER, CO 80134

ILLUSTRATION TO EXHIBIT A

NORTH QUARTER CORNER
SECTION 31, T. 2 S., R. 67 W.
FND #6 REBAR INSIDE A 2" DIAMETER PIPE

LOT 2
BILLKORT SUBDIVISION
RECEPTION NO. B088220

ACCESS EASEMENT
RECEPTION NO. 2013000027371

LOT 1
BILLKORT SUBDIVISION
RECEPTION NO. B088220

DENNIS AND JEFF ENTERPRISES LLC
7715 DAHLIA STREET
COMMERCE CITY, CO 80022
RECEPTION NO. C0633506
PARCEL ID: 0172131205003

S 1/2 NW 1/4
SECTION 31
T. 2 S., R. 67 W., 6TH P.M.

UNPLATTED
RECEPTION NO. C1214201

POINT OF COMMENCEMENT
CENTER QUARTER CORNER
SECTION 31, T. 2 S., R. 67 W.
FND P.K. NAIL

LOT 2
ZAGO TRACT
AMENDMENT NO. 1
RECEPTION NO.
2011000052130

DAHIA STREET (R.O.W. VARIES)

77TH AVENUE
(R.O.W. VARIES)

E LINE NW4 SECTION 31
N00°16'04"W 2652.86' BASIS OF BEARING

S00°16'04"E 150.00'
EX. R.O.W. LINE (SEPT. 2016)

N89°43'56"E
5.00'

N89°58'24"W
5.00'

N89°58'24"W
35.00'

N00°16'04"W 751.67'

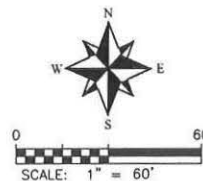
N00°16'04"W 149.97'

RIGHT OF WAY
PARCEL NO. RW-27

S 1/2 NW 1/4 SEC. 31, T.2S., R.67W.
ADAMS COUNTY, COLORADO

THIS DOES NOT REPRESENT
A MONUMENTED SURVEY.

DALEY LAND
SURVEYING, INC.
17011 LINCOLN AVE #301
PARKER, CO 80134



OWNER
DENNIS AND JEFF
ENTERPRISES LLC

APN. 0172131205003
CALC: AVV DATE: 10/18/2019
DRWN: AVV JOB No. 1503-014
SHEET 2 OF 2

PLANNING COMMISSION FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION RECOMMENDING ACCEPTANCE OF A WARRANTY DEED FROM
DENNIS AND JEFF ENTERPRISES, LLC TO ADAMS COUNTY FOR
RIGHT-OF-WAY PURPOSES

At the regular meeting for the Planning Commission for Adams County, Colorado, held at County Government Center in Brighton on Thursday the 13th day of May 2021, the following proceedings and others were had and done, to wit:

WHEREAS, the Adams County Planning Commission has considered the advisability of acceptance by the Board of County Commissioners of a Warranty Deed from Dennis and Jeff Enterprises, LLC, for right-of-way purposes on the following described land to wit:

Legal description as set forth in Exhibit "A" attached hereto and incorporated herein by this reference.

WHEREAS, this Warranty Deed is in conjunction with the Dahlia Street Capital Improvement Program Project – Dahlia Street from State Highway 224 to I-76, for a portion of 7685 Dahlia Street, located in the Northwest Quarter of Section 31, Township 2 South, Range 67 West of the 6th Principal Meridian, County of Adams, State of Colorado.

NOW, THEREFORE, BE IT RESOLVED, that the Adams County Planning Commission recommends to the Board of County Commissioners that said Warranty Deed from Dennis and Jeff Enterprises, LLC, be accepted by the Board of County Commissioners.

Upon a motion duly made and seconded, the foregoing resolution was adopted.

I, John F. DuPriest, Chairperson/Acting Chairperson of the Adams County Planning Commission do hereby certify that the annexed foregoing resolution is a true and correct record of the proceedings of the Adams County Planning Commission.



Chairperson/Acting Chairperson
Adams County Planning Commission



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: South Platte Crossing - Partial Release & Termination of Right of First Refusal
FROM: Nicci Beauprez, Facilities & Fleet Management - Project Manager of Land & Assets
AGENCY/DEPARTMENT: Facilities & Fleet Management
HEARD AT STUDY SESSION ON: n/a
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Partial Release and Termination of Right of First Refusal agreement.

BACKGROUND:

Adams County (County) created a Condominium of the floors in the building calling it South Platte Crossing, as part of the partial sale of the old Human Service building located at 7190 Colorado Blvd to Urban Land Conservancy doing business as Adams Tower NP Center, LLC. (Adams Tower and Seller). As a result of that Condominium formation, the County retained a right of first refusal to match any offer received on the other units in the building. Adams Tower has received an offer to purchase the 4th floor (now known as Unit 5) from Kid's First Health Care (Buyer) and the county wishes to terminate its right or first refusal retained on the Unit, allowing the transaction to continue its course between the Buyer and Seller.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Facilities & Fleet Management, County Attorney's office, County Manager's Office.

ATTACHED DOCUMENTS:

Resolution

Partial Release and Termination of Right of First Refusal

FISCAL IMPACT:

Please check if there is no fiscal impact ☒. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			<u>0</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>0</u>

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING PARTIAL RELEASE AND TERMINATION OF RIGHT OF
FIRST REFUSAL AGREEMENT FOR UNIT 5 OF SOUTH PLATTE CROSSING

WHEREAS, Adams County (County) created a condominium in the old Human Services building at 7190 Colorado Blvd., Commerce City, CO, called South Platte Crossing, as part of a partial sale to Urban Land Conservancy doing business as Adams Tower NP Center, LLC. (Adams Tower); and,

WHEREAS, as a result of that condominium formation, the County retained the basement, first and second floors (known as Units 1, 2, and 3), and a right of first refusal to purchase the other units in the building; and,

WHEREAS, Adams Tower has received an offer to purchase its 4th floor (known as Unit 5) from Kid's First Health Care; and,

WHEREAS, County wishes to terminate its right of first refusal of Unit 5 according to the terms and conditions of the attached agreement.

NOW THEREFORE BE IT RESOLVED, by the Board of County Commissioners of the County of Adams, State of Colorado, that the Partial Release and Termination of Right of First Refusal agreement for Unit 5 of South Platte Crossing, a copy of which is attached hereto, be and hereby is approved.

BE IT FURTHER RESOLVED that the Chair is authorized to execute the Partial Release and Termination of Right of First Refusal Agreement on behalf of Adams County.

AFTER RECORDING RETURN TO:

Kutak Rock LLP
1801 California Street, Suite 3000
Denver, CO 80202
Attention: Meredith R. Riley

**PARTIAL RELEASE AND TERMINATION OF
RIGHT OF FIRST REFUSAL AGREEMENT
[Unit 5, South Platte Crossing]**

THIS PARTIAL RELEASE AND TERMINATION OF RIGHT OF FIRST REFUSAL AGREEMENT [Unit 5, South Platte Crossing] ("**Partial Release**"), dated _____, 2021 ("**Effective Date**"), is between **ADAMS COUNTY, COLORADO**, a political subdivision duly organized and existing under the constitution and laws of the State of Colorado ("**Adams County**"), and **ADAMS TOWER NP CENTER LLC**, a Colorado limited liability company ("**Adams Tower**") (Adams County and Adams Tower are referred to individually as a "**Party**" and collectively as the "**Parties**"), with reference to the following:

A. Adams County and Adams Tower entered into a Right of First Refusal Agreement, dated December 4, 2018 ("**ROFR Agreement**"), pursuant to which the Parties agreed to certain rights of first refusal with respect to certain properties owned by the Parties. The ROFR Agreement was recorded on December 7, 2018 at Reception No. 2018000098233 in the records of the Clerk and Recorder of Adams County, Colorado.

B. The Parties have now agreed to release and terminate the provisions of the ROFR Agreement as to, but only as to, that certain real property described on **Exhibit A** ("**Released Property**").

FOR GOOD AND VALUABLE CONSIDERATION, the Parties agree as follows:

1. **Release and Termination.** As of the Effective Date, the Parties (i) agree the terms of the ROFR Agreement are released with respect to, but only with respect to, the Released Property (i.e., so that they cannot be enforced against the Released Property); (ii) agree that the ROFR Agreement no longer constitutes a lien or encumbrance affecting title to the Released Property and, accordingly, as of the Effective Date, the owner of the Released Property (and its successors and assigns, solely as owner(s) of the Released Property) has no obligations (present or future) under the ROFR Agreement; and (iii) release the owner of the Released Property (and its successors and assigns, solely as owner of the Released Property), from all liabilities and obligations arising under the ROFR Agreement. It is the Parties' express intent that this Partial Release apply only to the Released Property. Nothing contained in this Partial Release in any way affects, alters, or diminishes the Parties' rights, interests, and obligations under ROFR Agreement on any other property other than the Released Property.

2. **Binding Effect.** This Partial Release is binding upon and inures to the benefit of the Parties, and their successors and assigns.

3. **Captions; Interpretation.** The paragraph headings or captions appearing in this Partial Release are for convenience only, are not a part of this Partial Release, and are not to be considered in interpreting this Partial Release. All Exhibits referenced in and attached to this Partial Release are incorporated in this Partial Release. Unless otherwise specifically indicated, any references in this Partial Release to paragraphs are to paragraphs in this Partial Release.

4. **Further Assurances.** Each Party will use reasonable commercial efforts and exercise reasonable diligence to accomplish and effect the transactions contemplated by this Partial Release and will execute and deliver all further documents as may be reasonably requested by any other Party in order to fully carry out the intent of this Partial Release (but only if doing so does not diminish any right of such Party).

5. **Counterparts.** This Partial Release may be executed in counterpart originals.

6. **Severability.** The invalidity or unenforceability of a particular provision of this Partial Release does not affect the other provisions of this Partial Release, and this Partial Release will be construed in all respects as if the invalid or unenforceable provision were omitted.

7. **Authorization.** Each individual executing this Partial Release represents that they have been duly authorized to execute and deliver this Partial Release in the capacity and for the entity for whom that individual signs.

8. **Entire Agreement.** This Partial Release sets forth the entire understanding of the Parties with respect to the releases contemplated by this Partial Release and cannot be amended, except pursuant to an instrument in writing signed by the Parties.

9. **Construction.** The Parties acknowledge that (i) each Party is of equal bargaining strength; (ii) each Party has actively participated in the drafting, preparation, and negotiation of this Partial Release; (iii) each Party has consulted with its own independent counsel, and those other professional advisors as it has deemed appropriate, relating to any and all matters contemplated under this Partial Release; (iv) each Party and its counsel and advisors have reviewed this Partial Release; (v) each Party has agreed to enter into this Partial Release following that review and the rendering of that advice; and (vi) any rule of construction to the effect that ambiguities are to be resolved against the drafting Parties does not apply in the interpretation of this Partial Release.

10. **Governing Law.** This Partial Release is governed by and interpreted in accordance with the laws of the State of Colorado.

[Intentionally Blank – Signature Pages and Acknowledgements Follow]

THE PARTIES have caused this Partial Release to be executed as of the Effective Date.

ADAMS TOWER:

ADAMS TOWER NP CENTER LLC,
a Colorado limited liability company

By: Urban Land Conservancy, a Colorado
nonprofit corporation, its sole member

By: _____
Name: _____
Title: _____

STATE OF _____) : ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me this ____ day of _____, 2021, by _____, the _____ of Urban Land Conservancy, a Colorado nonprofit corporation, the sole member of Adams Tower NP Center LLC, a Colorado limited liability company.

NOTARY PUBLIC

My Commission Expires:

ADAMS COUNTY:

ADAMS COUNTY, COLORADO,
a political subdivision duly organized and
existing under the constitution and laws of the
State of Colorado

By: _____
Name: _____
Title: _____

STATE OF _____)
: ss.
COUNTY OF _____)

The foregoing instrument was acknowledged before me this ____ day of _____,
2021, by _____, as _____ of Adams County, Colorado, a
political subdivision duly organized and existing under the constitution and laws of the State of
Colorado.

NOTARY PUBLIC

My Commission Expires:

EXHIBIT A
TO
PARTIAL RELEASE AND TERMINATION OF
RIGHT OF FIRST REFUSAL AGREEMENT
[Unit 5, South Platte Crossing]

LEGAL DESCRIPTION OF RELEASED PROPERTY

The real property referenced in the foregoing instrument as the “Released Property” is located in Adams County, Colorado and is more particularly described as follows:

UNIT 5, SOUTH PLATTE CROSSING, ACCORDING TO THE CONDOMINIUM MAP OF SOUTH PLATTE CROSSING RECORDED ON DECEMBER 7, 2018, AT RECEPTION No. 2018000098210, AND THE DECLARATION OF CONDOMINIUM FOR SOUTH PLATTE CROSSING, RECORDED ON DECEMBER 7, 2018, AT RECEPTION No. 2018000098209, BOTH IN THE RECORDS OF THE CLERK AND RECORDER OF ADAMS COUNTY, COLORADO, AS AMENDED AND SUPPLEMENTED FROM TIME TO TIME.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: Second Amendment to the 2021 Adams County Budget
FROM: Marc Osborne, Deputy Budget Director
AGENCY/DEPARTMENT: Budget & Finance Department
HEARD AT STUDY SESSION ON: May 18, 2021
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves the Second Amendment to the 2021 Adams County Budget.

BACKGROUND:

The Annual Budget is a financial plan and is adopted prior to the start of the fiscal year. Budget Amendments are periodically required to properly incorporate items into the Annual Budget as they arise during the course of the fiscal year. See attached summary for more information regarding items included in this particular amendment.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Manager's Office and Budget and Finance Departments

ATTACHED DOCUMENTS:

Resolution Authorizing Second Supplemental Appropriations to the 2021 Adams County Government Budget.

Exhibit A – Summary of items included in the Second Amendment to 2021 Budget.

FISCAL IMPACT:

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☐ NO

Future Amendment Needed: ☐ YES ☐ NO

Additional Note:

Fiscal impact is summarized at the fund level. Given the length, the summary is attached for full disclosure of fiscal impact.

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION AUTHORIZING SECOND SUPPLEMENTAL APPROPRIATIONS TO THE
2021 ADAMS COUNTY GOVERNMENT BUDGET

Resolution 2021 -

WHEREAS, the 2021 Adams County Government Budget requires supplemental appropriations of funds to satisfy requests as listed on the attached Exhibit A; and,

WHEREAS, the Budget & Finance Department has determined the availability of unappropriated fund balances; and,

WHEREAS, there are additional revenues and other financing sources that were not assured at the time of the adoption of the 2021 Adams County Government Budget; and,

WHEREAS, the following departmental budgets listed by fund on the attached Exhibit A will be increased or decreased by the amounts so noted; and,

WHEREAS, the revenues to support the budget increases are listed by amount from respective sources.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Second Supplemental Appropriations to the 2021 Adams County Government budget is hereby authorized.

BE IT FURTHER RESOLVED, that the Budget & Finance Department is authorized to make the above stated budget adjustments to the 2021 Adams County Government Budget.

Exhibit A - Carryovers

Second Amendment to the 2021 Budget
Resolution No. TBD
For Adoption on May 25, 2021
Study Session: May 18, 2021



Purpose of Resolution:

A resolution to amend the 2021 Budget. Summary information by Fund and Department is listed below. Additional detailed information is attached for consideration and review.

Fund	Department	Expenditure Amount	Revenue Amount	Use of Fund Balance	FTE
GENERAL FUND	Sheriff's Office	\$4,372,796	\$0	\$4,372,796	0.00
	District Attorney	189,986	0	189,986	0.00
	Community Safety & Well-being	728,421	0	728,421	0.00
	Community & Economic Development	167,228	0	167,228	0.00
	Parks, Open Space & Cultural Arts	1,908,139	0	1,908,139	0.00
	Information Technology & innovation	701,485	0	701,485	0.00
	Facilities & Fleet Management	9,697,013	0	9,697,013	0.00
CAPITAL FACILITIES FUND	Facilities & Fleet Management	21,318,051	0	21,318,051	0.00
STORMWATER UTILITY FUND	Stormwater Utility	635,232	0	635,232	0.00
ROAD & BRIDGE FUND	Public Works	1,608,694	0	1,608,694	0.00
OPEN SPACE PROJECTS FUND	Open Space Projects	895,244	0	895,244	0.00
WASTE MANAGEMENT FUND	Solid Waste Operations	444,293	0	444,293	0.00
GOLF COURSE FUND	Golf Course	37,570	0	37,570	0.00
FLEET MANAGEMENT FUND	Fleet Admin	901,530	0	901,530	0.00
FLATROCK FACILITY FUND	FLATROCK	\$150,000	\$0	\$150,000	0.00
Total Appropriation		\$43,755,682	\$0	\$43,755,682	0.00

Fund Summary	Expenditure Amount	Revenue Amount	Use of Fund Balance	FTE
GENERAL FUND	\$17,765,068	\$0	\$17,765,068	0.00
CAPITAL FACILITIES FUND	21,318,051	0	21,318,051	0.00
STORMWATER UTILITY FUND	635,232	0	635,232	0.00
ROAD & BRIDGE FUND	1,608,694	0	1,608,694	0.00
OPEN SPACE PROJECTS FUND	895,244	0	895,244	0.00
WASTE MANAGEMENT FUND	444,293	0	444,293	0.00
GOLF COURSE FUND	37,570	0	37,570	0.00
FLEET MANAGEMENT FUND	901,530	0	901,530	0.00
FLATROCK FACILITY FUND	\$150,000	\$0	\$150,000	0.00
Total Appropriation	\$43,755,682	\$0	\$43,755,682	0.00



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: Third Amendment to the 2021 Adams County Budget
FROM: Marc Osborne, Deputy Budget Director
AGENCY/DEPARTMENT: Budget & Finance Department
HEARD AT STUDY SESSION ON: May 18, 2021
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves the Third Amendment to the 2021 Adams County Budget.

BACKGROUND:

The Annual Budget is a financial plan and is adopted prior to the start of the fiscal year. Budget Amendments are periodically required to properly incorporate items into the Annual Budget as they arise during the course of the fiscal year. See attached summary for more information regarding items included in this particular amendment.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

County Manager's Office and Budget and Finance Departments

ATTACHED DOCUMENTS:

Resolution Authorizing Third Supplemental Appropriations to the 2021 Adams County Government Budget.

Exhibit A – Summary of items included in the Third Amendment to 2021 Budget.

FISCAL IMPACT:

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

Fund:**Cost Center:**

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☐ NO

Future Amendment Needed: ☐ YES ☐ NO

Additional Note:

Fiscal impact is summarized at the fund level. Given the length, the summary is attached for full disclosure of fiscal impact.

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION AUTHORIZING THIRD SUPPLEMENTAL APPROPRIATIONS TO THE
2021 ADAMS COUNTY GOVERNMENT BUDGET

Resolution 2021 -

WHEREAS, the 2021 Adams County Government Budget requires supplemental appropriations of funds to satisfy requests as listed on the attached Exhibit A; and,

WHEREAS, the Budget & Finance Department has determined the availability of unappropriated fund balances; and,

WHEREAS, there are additional revenues and other financing sources that were not assured at the time of the adoption of the 2021 Adams County Government Budget; and,

WHEREAS, the following departmental budgets listed by fund on the attached Exhibit A will be increased or decreased by the amounts so noted; and,

WHEREAS, the revenues to support the budget increases are listed by amount from respective sources.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Third Supplemental Appropriations to the 2021 Adams County Government budget is hereby authorized.

BE IT FURTHER RESOLVED, that the Budget & Finance Department is authorized to make the above stated budget adjustments to the 2021 Adams County Government Budget.

Exhibit A - Amendments

Third Amendment to the 2021 Budget
Resolution No. TBD
For Adoption on May 25, 2021
Study Session: May 18, 2021



Purpose of Resolution:

A resolution to amend the 2021 Budget. Summary information by Fund and Department is listed below. Additional detailed information is attached for consideration and review.

Fund	Department	Expenditure Amount	Revenue Amount	Use of Fund Balance	FTE
GENERAL FUND	Community Safety & Well-being	\$127,175	\$93,350	\$33,825	0.75
	Finance	\$145,682	\$0	\$145,682	2.00
	IT Application Support	\$107,360	\$0	\$107,360	1.00
	Fleet & Facilities	\$79,181	\$0	\$79,181	1.00
	County Manager	\$108,900	\$0	\$108,900	2.00
	Admin Org	\$910,024	\$335,590	\$574,434	-
	Sheriff's Office	\$3,407,487	\$0	\$3,407,487	12.00
	Community & Economic Development	\$108,805	\$0	\$108,805	2.00
CAPITAL FACILITIES FUND	General Capital Improvements	\$2,000,000	\$0	\$2,000,000	-
WORKFORCE & BUSINESS CENTER FUND	Workforce & Business Center	\$550,000	\$550,000	\$0	-
COLORADO AIR & SPACE PORT	Spaceport	\$344,524	\$344,524	\$0	-
Total Appropriation		\$7,889,139	\$1,323,464	\$6,565,675	20.75

Fund Summary	Expenditure Amount	Revenue Amount	Use of Fund Balance	FTE
GENERAL FUND	\$4,994,615	\$428,940	\$4,565,675	20.75
CAPITAL FACILITIES FUND	\$2,000,000	\$0	\$2,000,000	0.00
WORKFORCE & BUSINESS CENTER FUND	\$550,000	\$550,000	\$0	0.00
COLORADO AIR & SPACE PORT	\$344,524	\$344,524	\$0	0.00
Total Appropriation	\$7,889,139	\$1,323,464	\$6,565,675	20.75



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: 2021 Polymeric Compaction Aid Materials and Services
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
AGENCY/DEPARTMENT: Public Works Department
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners Approves Amendment One to the Agreement with G5 Biosolutions, Inc., for Polymeric Compaction Aid Materials and Services for Adams County gravel road maintenance and rehabilitation programs. .

BACKGROUND:

The County's Public Works Department has implemented an accelerated gravel road rehabilitation program. This program includes utilizing various soil/gravel additives that enhance performance, create efficiencies, and promote sustainable resources and infrastructures.

A formal invitation for bid (IFB) for Polymeric Compaction Aid Materials and Services was publicly advertised through BidNet on December 9, 2019. G5 Biosolutions, Inc., was awarded an Agreement to provide Polymeric Compaction Aid Materials and Services.

This will be the first (1st) renewal option of two (2) as described in the original solicitation. G5 Biosolutions, Inc. has proposed no price increase for the 2021 Amendment. Public Works is recommending awarding the renewal in amount to not exceed \$99,199.80, the original Agreement breaks down as follows:

Original Contract Amount	Approved 1/21/20	\$ 419,400.00
Amendment One		\$ 99,199.80
New Total Contract Value		\$ 518,599.80

The recommendation is that Amendment One renewing the Agreement with G5 Biosolutions be approved. Public Works has sufficient 2021 budget to support Amendment One, a budget amendment will not be required.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Public Works Department

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

Fund: 13**Cost Center:** 3031

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	7470.1		425,000.00
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			\$425,000.00

New FTEs requested: ☐ YES ☒ NO**Future Amendment Needed:** ☐ YES ☒ NO

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT ONE TO THE AGREEMENT BETWEEN
ADAMS COUNTY AND G5 BIOSOLUTIONS, INC., FOR POLYMERIC COMPACTION
AID MATERIALS AND SERVICES

WHEREAS, G5 Biosolutions, Inc., and Adams County entered into an Agreement on January 21, 2020, to provide polymeric compaction aid materials and services; and,

WHEREAS, the County and G5 Biosolutions, Inc., mutually agree to amend the Agreement to extend the term for one additional year; and,

WHEREAS, G5 Biosolutions, Inc., agrees to provide polymeric compaction aid materials and services in accordance with the original fee schedule in the amount of \$99,199.80 for a total not to exceed Agreement amount of \$518,599.80.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment One to the Agreement between Adams County and G5 Biosolutions, Inc., for polymeric compaction aid materials and services is hereby approved.

BE IT FURTHER RESOLVED, by the Chair of the Board of County Commissioners is hereby authorized to sign Amendment One to the Agreement between Adams County and G5 Biosolutions, Inc., on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: 2021 Acrylic Based Soil Stabilizing Polymer
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
AGENCY/DEPARTMENT: Public Works Department
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment Two to the Agreement with EP&A Envirotac, Inc., for supplying acrylic based soil stabilizing polymer.

BACKGROUND:

The Public Works Operations Department has a gravel road rehabilitation program, which includes a gravel stabilization program. Gravel stabilization is specified for specific roadways that have historically required constant grading resulting from traffic, weather, oil & gas and agriculture impacts. By stabilizing gravel road surface materials, the maintenance demand (grading) can be decreased and thereby reduce fuel consumption, equipment/vehicle wear & tear, and the demand on labor and equipment resources, which allows other critical functions to be performed. Additional benefits include reducing dust and distress for longer periods of time, reducing construction water utilization, extending surface gravel lifecycles and providing a gravel surface that is pave/chip seal ready should surface change be required.

An agreement was awarded to EP&A Envirotac, Inc. on May 1, 2020 for acrylic based soil stabilizing polymer. Due to current shortages in raw materials for building supplies, and in particular the shortages of monomers which are used in polymer manufacturing for adhesives, emulsions and paints. The causes are related to several factors which include Covid-19 restricted manufacturing and production, raw material availability, tariffs from China and the more serious impact of a production plant in Texas damaged from Winter Storm Uri. Fuel is also impacting freight nationally. EP&A Envirotac, Inc, did not pass on any increased costs in previous amendment in order to still provide competitive products. However, due to the most recent raw material price increase of another \$0.90 per gallon, EP&A is unable to absorb the most recent increase without taking a significant loss. The agreement breaks down as follows:

Original Contract Amount	Approved 3/31/2020	\$ 1,001,576.80
Amendment One	Approved 2/9/2021	\$ 1,355,384.36
Amendment Two	-	\$ 111,375.00
New Total Contract Value	-	\$ 2,468,336.16

It is recommended that Amendment Two to the Agreement with EP&A Envirotac, Inc. be approved in the amount of \$111,375.00 for a total not to exceed agreement amount of \$2,468,336.16.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Public Works Department

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

Fund: 13

Cost Center: 3031

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	7415.1		\$1,300,000
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>\$1,300,000</u>

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

Any amount over the current budgeted operating expenditure will be covered by savings in other areas of the Public Works Operations budget.

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT TWO TO THE AGREEMENT BETWEEN
ADAMS COUNTY AND EP&A ENVIROTAC, INC. FOR ACRYLIC BASED SOIL
STABILIZING POLYMER

WHEREAS, EP&A Envirotac, Inc., was awarded an agreement on May 1, 2020 to provide acrylic based soil stabilizing polymer; and,

WHEREAS, EP&A Envirotac, Inc., agrees to extend the current agreement and provide acrylic based soil stabilizing polymer in the amount of \$111,375.00 for a new total not to exceed agreement amount of \$2,468,336.16.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment Two to the Agreement between Adams County and EP&A Envirotac, Inc., for Acrylic Based Soil Stabilizing Polymer is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign Amendment Two to the Agreement with EP&A Envirotac, Inc., on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: Human Services Workforce and Business Center (TANF) Funded Program
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget and Finance Director Jennifer Hammer Tierney, Procurement and Contracts Manager
AGENCY/DEPARTMENT: Adams County Human Services Department Workforce and Business Center, (TANF)
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment One to the Agreement with Tri-County Health Department to provide Pregnancy Prevention Services for Temporary Assistance for Needy Families (TANF) in Adams County.

BACKGROUND:

Tri-County Health Department provides high quality nurse visitation services in the homes of new and expectant mothers, as well as classroom instruction. The home visitation program is voluntary and is provided to a monthly average of 40-60 participants. Clients are offered face to face visits with a Public Health Nurse in their home or community setting of their choice. In addition, prenatal and postnatal classes are conducted at the Adams County Human Services Center, Adams County school districts, Thornton Recreation Centers and other community locations.

A formal Request for Proposal was solicited through BidNet and an Agreement was approved by the Board of County Commissioners on June 2, 2020, with Tri-County Health Department. The Agreement breaks down as follows:

Agreement	Approval Date	Amount	Cumulative Amount
Original Agreement 2020.612	6/2/2020	\$372,761.00	\$372,761.00
Requested Amendment One 2021.628		\$384,744.00	\$757,505.00

The recommendation is to approve Amendment One to the Agreement with Tri-County Health Department to extend the Agreement an additional year in the not to exceed amount of \$384,744.00 for a total not to exceed agreement amount of \$757,505.00.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Human Services Department Workforce and Business Center (TANF)

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

Fund: 15			
Cost Center: 99915, Various			
	Object Account	Subledger	Amount
Current Budgeted Revenue:	99915.5755		\$50,239,790
Additional Revenue not included in Current Budget:			
Total Revenues:			<u>\$50,239,790</u>
	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	Various.7645		\$6,078,100
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>\$6,078,100</u>

New FTEs requested: ☐ YES ☐ NO

Future Amendment Needed: ☐ YES ☐ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT ONE TO THE AGREEMENT BETWEEN
ADAMS COUNTY AND TRI-COUNTY HEALTH DEPARTMENT FOR PREGNANCY
PREVENTION SERVICES

WHEREAS, the Board of County Commissioners approved an Agreement with Tri-County Health Department on June 2, 2020, to provide Pregnancy Prevention Services for the Human Services Department, Temporary Assistance for Needy Families (TANF) Division; and,

WHEREAS, Adams County Human Services TANF Program would like to extend the Agreement for one additional year; and,

WHEREAS, Tri-County Health Department agrees to provide Pregnancy Prevention Services in the amount of \$384,744.00, for a total not to exceed Agreement amount of \$757,505.00; and,

WHEREAS, this program is being funded eighty-five (85%) percent by TANF Block Grant Funds, with Adams County responsible for the remaining fifteen (15%) percent.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment One to the Agreement between Adams County and Tri-County Health Department for Pregnancy Prevention Services is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign Amendment One to the Agreement between Adams County and Tri-County Health Department after negotiation and approval is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: Pregnancy Prevention Services
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement and Contracts Manager
AGENCY/DEPARTMENT: Adams County Human Services Department Workforce and Business Center, Temporary Assistance for Needy Families (TANF)
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves an Agreement with Friends First to provide Pregnancy Prevention Services.

BACKGROUND:

Adams County's Human Services Department (HSD) currently provides programs that provide educational and mentoring programs designed to empower teens to make positive life choices and develop healthy relationships. Programs include the Students Teaching About Relationship and Success (STARS) mentoring program in which high school students are trained to mentor middle school students in areas such as goal setting, healthy relationships, communication, benefits of sexual risk avoidance and avoiding high risk activities. Project Adult Identity Mentoring (AIM) is a positive youth development program that is evidence based for teen pregnancy prevention and HIV prevention. HSD receives Temporary Assistance for Needy Families (TANF) federal grant funds to implement its TANF program.

A formal Request for Proposal (RFP) was posted on BidNet for the Adams County Human Services Department, TANF program. Proposals were accepted on March 24, 2021. Two proposals were received.

The proposals were evaluated on the following criteria:

- Contractor's experience, qualifications, references, past performance and ability to provide all services as defined in the Scope of Work
- Contractor's fee structure for performing the services
- Contractor's approach, key personnel, experience and qualifications
- Contractor's demonstrated understanding of the project and experience managing projects with Federal funding and reporting requirements

The evaluation team found that the proposal submitted by Friends First met the criteria set forth in the RFP and recommends an award.

The Workforce Business Center Department receives federal TANF block grant funds through the State to assist with the goals of the Workforce and Business Center TANF program. The grant awarded will provide eighty-five percent (85%) funding with Adams County responsible for the remaining fifteen percent (15%).

The recommendation is to approve an Agreement with Friends First to provide Pregnancy Prevention Services in the not to exceed amount of \$331,808.38.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Human Services Department Workforce and Business Center (TANF)

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

Fund: 15			
Cost Center: 99915, Various			
	Object Account	Subledger	Amount
Current Budgeted Revenue:	99915.5755		\$50,239,790
Additional Revenue not included in Current Budget:			
Total Revenues:			<u>\$50,239,790</u>
	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	Various.7645		\$6,078,100
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u><u>\$6,078,100</u></u>

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☐ NO

Additional Note:

These expenditures are based on 2020 budget approval.

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AN AGREEMENT BETWEEN ADAMS COUNTY AND
FRIENDS FIRST FOR PREGNANCY PREVENTION SERVICES

WHEREAS, Friends First submitted a proposal on March 24, 2021, to provide Pregnancy Prevention Services for the Human Services Department, Temporary Assistance for Needy Families (TANF); and,

WHEREAS, the evaluation team found that the proposal submitted by Friends First met the required criteria and is qualified to provide Pregnancy Prevention Services; and,

WHEREAS, Friends First agrees to provide the Pregnancy Prevention Services in the amount not to exceed \$331,808.38; and,

WHEREAS, Friends First is funded 85/15 under the Federal Temporary Assistance for Needy Families block grant funds, 85% is paid by the State of Colorado with a 15% County match required.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement between Adams County and Friends First for Pregnancy Prevention Services is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign the Agreement with Friends First after negotiation and approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: Custodial Services
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
AGENCY/DEPARTMENT: Facilities and Fleet Management Department
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment Four to the Agreement with Commercial Cleaning Systems for custodial cleaning services.

BACKGROUND:

A formal Request for Proposal was solicited in 2017 for Custodial Cleaning Services. On May 9, 2017, the Board of County Commissioners approved the award to Commercial Cleaning Systems to provide custodial cleaning services in all County buildings, with exception of the Government Center.

The Facilities and Fleet Management Department are pleased with the services provided by Commercial Cleaning Systems, and recommends renewing the agreement for one additional year. Commercial Cleaning Systems has requested an increase of 4% for the 2021/2022 renewal year. Staff feels the increase is fair and reasonable as a result of the minimum wage increase at the beginning of 2021. The contract breakdown is as follows:

Description	Approval Date	Price
Original Agreement- Term 5/16/17-5/16/18	Approved 5/30/2017	\$761,114.93
Amendment One- Extend Term to 5/16/19	Approved 5/29/2018	\$966,436.08
Amendment Two- Extend Term to 5/16/20	Approved 5/7/2019	\$1,014,757.92
Amendment Three- Extend Term to 5/16/21	Approved 5/12/2020	\$1,238,584.08
Amendment Four- Extend Term to 5/16/22		\$1,325,210.52
	TOTAL	\$5,306,103.53

The recommendation is to approve Amendment Four to renew the Agreement with Commercial Cleaning Systems in the not to exceed amount of \$1,325,210.52 for custodial cleaning services. This is the final renewal option allowable on the contract.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Facilities and Fleet Management Department

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

Fund: 1			
Cost Center: Various			
	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			
	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	Various		\$1,325,210.52
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			\$1,325,210.52

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☐ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT FOUR
TO THE AGREEMENT BETWEEN ADAMS COUNTY AND
COMMERCIAL CLEANING SYSTEMS FOR
CUSTODIAL CLEANING SERVICES

WHEREAS, on May 9, 2017, the Board of County Commissioners approved an Agreement with Commercial Cleaning Systems to provide custodial cleaning services; and,

WHEREAS, the County and Commercial Cleaning Systems mutually agree to amend the Agreement to extend the term for one additional year; and,

WHEREAS, Commercial Cleaning Systems has requested a 4% increase to the current contract, in the amount not to exceed \$1,325,210.52 for the renewal year.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment Four to the Agreement between Adams County and Commercial Cleaning Systems to provide custodial cleaning services is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign Amendment Four to the Agreement with Commercial Cleaning Systems on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: Government Center Space Utilization Phase 2 Addition
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
AGENCY/DEPARTMENT: Facilities and Fleet Management Department
HEARD AT STUDY SESSION ON: October 27, 2020
AUTHORIZATION TO MOVE FORWARD: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment Two with Saunders Construction, LLC, to provide additional Construction Manager / General Contractor Services for Phase 2 of the Space Utilization at the Government Center.

BACKGROUND:

The Government Center Space Utilization Project has an objective to improve building and staff security, to improve client and public access and to improve workflow and efficiencies. On December 10, 2019, the Board of County Commissioners approved an agreement to Saunders Construction, LLC, for Construction Manager / General Contractor (CMGC) Services for Phase 1 of the Government Center Space Utilization Project.

Phase 2 which included minor renovations to the space on the first floor, formerly the Public Trustee Office, to accommodate the combination of services for the Treasurer's Office (relocated from the second floor) and the Public Trustee Office. The space improvements on the fifth floor will accommodate a centralized reception and a more welcoming, transparent, and accessible Study Session room for the public. After further design review, additional work is required to increase security and therefore an amendment is needed for an additional amount of \$298,393.32.

Description	Phase	Approval	Amount
Original Agreement	Phase One	12/10/2019	\$1,500,641.00
Amendment One	Phase Two	10/27/2020	\$1,156,170.00
Amendment Two	Phase Two Additional Work		\$ 298,393.32
		Project Total	\$2,955,204.32

It is recommended that Amendment Two with Saunders Construction, LLC, for additional CMGC Services for Phase 2 of the Space Utilization at the Adams County Government Center is approved. The Amendment for Phase Two will be in the not to exceed amount of \$298,393.32 for a total agreement amount of \$2,955,204.32.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Facilities and Fleet Management Department

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

Fund: 04**Cost Center:** 3098

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	9055	30981902	\$1,500,000
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			\$1,500,000

New FTEs requested: ☐ YES ☒ NO**Future Amendment Needed:** ☐ YES ☒ NO**Additional Note:**

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT TWO TO AN AGREEMENT BETWEEN
ADAMS COUNTY AND SAUNDERS CONSTRUCTION, LLC, FOR THE
GOVERNMENT CENTER SPACE UTILIZATION PHASE 2 PROJECT

WHEREAS, on December 10, 2019, Saunders Construction, LLC, was awarded an agreement for Construction Manager / General Contractor (CMGC) Services for Phase 1 of the Government Center Space Utilization Project; and,

WHEREAS, in October 2020, Amendment One was approved for Phase 2 of the Government Center Space Utilization Project; and,

WHEREAS, Saunders Construction, LLC, has agreed to provide additional work for Phase 2 of the Government Center Space Utilization Project in the not to exceed amount of \$298,393.32 for a total agreement amount to \$2,955,204.32.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment Two to the Agreement between Adams County and Saunders Construction, LLC, for the Government Center Space Utilization Phase 2 Project is hereby approved.

BE IT FURTHER RESOLVED that the Chair is hereby authorized to sign Amendment Two with Saunders Construction, LLC, on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: CMGC Services for the Addition and Renovation of Coroner's Office and Probation Facility
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
AGENCY/DEPARTMENT: Facilities and Fleet Management Department
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves an Agreement to Saunders Construction, Inc., to provide Construction Manager/General Contractor (CM/GC) Services for the Addition and Renovation of the Adams County Coroner's Office and Probation Facility.

BACKGROUND:

The Adams County Coroner's Office, and Sheriff's Office Headquarters was a shared facility. With the relocation of the Sheriff's Office, the Coroner's Office will remain operational during the course of the addition and renovation of the facility. The existing facility is planned for development to serve two separate programs: a fully functional Coroner space and Probation space with associated offices and amenities. The general work includes interior demolition and renovation throughout the existing footprint for a new exterior expansion., There will be minimal furniture, fixtures and equipment replacement with the exception of upgrades within the autopsy suite of specialized equipment.

A formal Request for Proposal was sent to the pre-qualified construction firms. Proposals were opened on March 17, 2021, and six of the nine pre-qualified firms submitted proposals. After a thorough evaluation, the top three scoring firms were interviewed. After interviews and reference checks, it was determined that Saunders Construction, Inc., was the best overall value for the County.

The recommendation is that Saunders Construction, Inc., be awarded the contract for CM/GC Services for the Addition and Renovation of the Adams County Coroner's Office and Probation Facility. The initial phase of this project is pre-construction and design in the amount of \$7,000.00. The Guaranteed Maximum Price will be finalized prior to construction.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Facilities and Fleet Management Department

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

Fund: 00004

Cost Center: 3098

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	9055	30982007	\$4,000,000
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u>\$4,000,000</u>

New FTEs requested: ☐ YES ☐ NO

Future Amendment Needed: ☐ YES ☐ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AN AGREEMENT BETWEEN ADAMS COUNTY AND
SAUNDERS CONSTRUCTION, INC., FOR CONSTRUCTION MANAGEMENT GENERAL
CONTRACT SERVICES FOR THE ADDITION AND RENOVATION OF THE ADAMS
COUNTY CORONER'S OFFICE AND PROBATION FACILITY

WHEREAS, Saunders Construction, Inc. submitted a proposal on March 17, 2021, to provide Construction Management General Contractor Services (CM/GC) for the Addition and Renovation of the Adams County Coroner's Office and Probation Facility; and,

WHEREAS, after a thorough evaluation it was deemed that Saunders Construction, Inc., was the most responsive and responsible proposer; and,

WHEREAS, Saunders Construction, Inc., agrees to provide the Construction Management General Contractor Services (CM/GC) for the Addition and Renovation of the Adams County Coroner's Office and Probation Facility, with the initial pre-construction and design cost of \$7,000.00.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement to Saunders Construction, Inc., to provide Construction Management General Contractor Services (CM/GC) for the Addition and Renovation of the Adams County Coroner's Office and Probation Facility is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign the Agreement with Saunders Construction, Inc., on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: Construction Manager/General Contractor Services for the Adam County Veterans Memorial
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement & Contracts Manager
AGENCY/DEPARTMENT: Facilities and Fleet Management Department
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves an Agreement to ECI Site Construction Management, Inc., to provide Construction Manager/General Contractor (CM/GC) Services for the Adams County Veterans Memorial project.

BACKGROUND:

The Adams County Veterans Advisory Board requested a memorial to reflect on the Veterans' service. A team from Facilities, Parks and Veterans Services was tasked to select a site and a concept design including natural setting, military representation, public artwork, access and a "Wow" factor.

The Adams County Veterans Memorial will be located at the Riverdale Regional Park. A concept design has been developed and approved for the Adams County Veterans Memorial for multi-generational use of the area to reflect on the Veterans' service. It will create a place where families may gather to tell their part of serving through their own eyes or through the eyes of those watching their loved ones serve in the military. The design will consist of a pier, plaza, interpretive wall, parking and signage.

A formal Request for Proposal was sent to the pre-qualified construction firms. Proposals were opened on April 30, 2021, with five of the eight pre-qualified firms submitting proposals.

The proposals were evaluated on the following criteria:

- Professionalism
- Understanding of the Project
- General Project Experience
- Similar Project Experience
- General Items
- References/Client List

After a thorough evaluation it was determined that ECI Site Construction Management, Inc., was the best overall value for the County.

The recommendation is that ECI Site Construction Management, Inc., be awarded the contract for CM/GC services for the Adams County Veterans Memorial project. The initial phase of this project is for the pre-construction and design in the amount of \$13,200.00. The Guaranteed Maximum Price will be finalized prior to construction.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Facilities and Fleet Management Department

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

Fund: 00001

Cost Center: 9253

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:	9003	92531903	435,000
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			

New FTEs requested: ☐ YES ☐ NO

Future Amendment Needed: ☐ YES ☐ NO

Additional Note:

Additional budget for construction is requested in the 2022 budget.

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AN AGREEMENT BETWEEN ADAMS COUNTY AND
ECI SITE CONSTRUCTION MANAGEMENT, INC., FOR CONSTRUCTION
MANAGEMENT GENERAL CONTRACT SERVICES FOR THE ADAMS COUNTY
VETERANS MEMORIAL

WHEREAS, ECI Site Construction Management, Inc., submitted a proposal on April 30, 2021, to provide Construction Management General Contractor Services (CM/GC) for the Adams County Veterans Memorial; and,

WHEREAS, after a thorough evaluation it was deemed that ECI Site Construction Management, Inc., was the most responsive and responsible proposer; and,

WHEREAS, ECI Site Construction Management, Inc., agrees to provide the CM/GC Services for the Adams County Veterans Memorial, with the initial pre-construction and design cost of \$13,200.00.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement between Adams County and ECI Site Construction Management, Inc., to provide Construction Management General Contractor Services for the Adams County Veterans Memorial is hereby approved.

BE IT FURTHER RESOLVED, that the Chair is hereby authorized to sign the Agreement with ECI Site Construction Management, Inc., on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: Commercial Brokerage Services
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement and Contracts Manager
AGENCY/DEPARTMENT: Facilities and Fleet Management Department
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves Amendment Two to the agreement with CBRE, Inc., to provide Commercial Brokerage Services.

BACKGROUND:

Adams County currently uses a firm to provide commercial brokerage services to assist with the purchase, sale and the lease of properties.

In May 2019, the Board of County Commissioners approved an agreement with CBRE, Inc., to provide Commercial Brokerage Services. The original agreement included two renewal terms for a total of 3 years. The Facilities and Fleet Management Department is pleased with the service provided by CBRE, Inc., and the firm has agreed to keep the commission at the same rates as the previous year.

The agreement breaks down as follows:

Agreement /Amendment	Approved	Description
Original Agreement	May 2019	Initial agreement for services
Amendment One	May 2020	Contract renewal for one year
Amendment Two		Contract renewal for one year

The recommendation is to approve Amendment Two to renew the agreement with CBRE, Inc., for the second, and final one-year term of the agreement.

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

Fund: 01

Cost Center: 1091

	Object Account	Subledger	Amount
Current Budgeted Revenue:			
Additional Revenue not included in Current Budget:			
Total Revenues:			

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:	7635		\$50,000
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			\$50,000

New FTEs requested: ☐ YES ☒ NO

Future Amendment Needed: ☐ YES ☒ NO

Additional Note:

*Fiscal Impact only if a sale has been made

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AMENDMENT TWO TO THE AGREEMENT BETWEEN
ADAMS COUNTY AND CBRE, INC., FOR COMMERCIAL BROKERAGE SERVICES

WHEREAS, the Board of County Commissioners approved an Agreement in May 2019, with CBRE, Inc., to provide Commercial Brokerage Services; and,

WHEREAS, the Board of County Commissioners approved Amendment One for one additional year of service in May 2020; and,

WHEREAS, the County and CBRE, Inc., mutually agree to amend the Agreement to extend the term for one additional year with the commission rates remaining the same.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that Amendment Two to the Agreement between Adams County and CBRE, Inc., for Commercial Brokerage Services is hereby approved.

BE IT FURTHER RESOLVED that the Chair is hereby authorized to sign Amendment Two to the agreement with CBRE, Inc., on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.



PUBLIC HEARING AGENDA ITEM

DATE OF PUBLIC HEARING: June 15, 2021
SUBJECT: Agricultural Land Lease of the Fukaye Open Space
FROM: Raymond H. Gonzales, County Manager Alisha Reis, Deputy County Manager Nancy Duncan, Budget & Finance Director Jennifer Tierney Hammer, Procurement and Contracts Manager
AGENCY/DEPARTMENT: Facilities and Fleet Management Department, Parks and Open Space Department
HEARD AT STUDY SESSION ON: N/A
AUTHORIZATION TO MOVE FORWARD: <input type="checkbox"/> YES <input type="checkbox"/> NO
RECOMMENDED ACTION: That the Board of County Commissioners approves an Agreement with Star Farms, Inc., to lease the Fukaye Open Space agricultural land.

BACKGROUND:

Adams County owns open space property known as the Fukaye Open Space, located near 104th Avenue and McKay Road in Adams County, Colorado with approximately 128 acres of productive agricultural land. Specific to this open space land, Adams County has allowed for Agritourism for the operation of a “maze” or pumpkin patch on part of the Fukaye Open Space during fall of each year. Under the terms of the agreement, Agritourism shall be at the sole subjective discretion of the County, and if Agritourism were to occur it may only be considered on the west side of McKay Road.

This property was formally solicited as an Invitation for Bid (IFB) on BidNet for the lease of the Fukaye Open Space. Bids were opened on February 24, 2021. The County received one bid in response to the solicitation as follows:

- Star Farms, Inc., \$35,890.00 – Annually for farming of the open space

Star Farms, Inc., bid also includes an additional \$14,550.00 a year for Agritourism for any given year that Adams County would agree to allow Agritourism to take place on the property. Star Farms, Inc., has already requested authorization to conduct Agritourism, specifically the operation of a “maze” or pumpkin patch in 2021.

The recommendation is to award a three-year lease agreement with Star Farms, Inc., in the annual amount of \$35,890.00 per year, for a not to exceed agreement amount of \$107,670.00. The amount includes

\$14,550.00 per year, in any year Adams County allows Agritourism to take place on the open space. The agreement breaks down as follows:

Proceeds Annual Agricultural Lease	Proceeds Annual Agritourism If Allowed By County	Total Proceeds Annual Agricultural Lease & Agritourism	Total Annual Proceeds Agricultural Lease Only
\$35,890.00	\$14,550.00	\$50,440.00	\$35,890.00
\$35,890.00	\$14,550.00	\$50,440.00	\$35,890.00
\$35,890.00	\$14,550.00	\$50,440.00	\$35,890.00
		\$151,320.00	\$107,670.00

AGENCIES, DEPARTMENTS OR OTHER OFFICES INVOLVED:

Facilities and Fleet Management Department
Parks and Open Space Department

ATTACHED DOCUMENTS:

Resolution

FISCAL IMPACT:

Please check if there is no fiscal impact ☐. If there is fiscal impact, please fully complete the section below.

Fund: 27

Cost Center: 6107

	Object Account	Subledger	Amount
Current Budgeted Revenue:	6735		35,890
Additional Revenue not included in Current Budget:			
Total Revenues:			<u>35,890</u>

	Object Account	Subledger	Amount
Current Budgeted Operating Expenditure:			
Add'l Operating Expenditure not included in Current Budget:			
Current Budgeted Capital Expenditure:			
Add'l Capital Expenditure not included in Current Budget:			
Total Expenditures:			<u></u>

New FTEs requested:

☐ YES

☒ NO

Future Amendment Needed:

☐ YES

☒ NO

Additional Note:

BOARD OF COUNTY COMMISSIONERS FOR
ADAMS COUNTY, STATE OF COLORADO

RESOLUTION APPROVING AN AGREEMENT BETWEEN ADAMS COUNTY AND
STAR FARMS, INC., FOR THE FUKAYE OPEN SPACE AGRICULTURAL AND
AGRITOURISM LEASE

WHEREAS, Adams County owns approximately 128 acres of agricultural land, part of which can also be used for agritourism, commonly known as the Fukaye Open Space property; and,

WHEREAS, Star Farms, Inc., submitted a bid on February 24, 2021, to lease the Fukaye Open Space property; and,

WHEREAS, after thorough evaluation it was deemed that Star Farms, Inc., was the most responsive and responsible bidder; and,

WHEREAS, Star Farms, Inc., agrees to pay an annual amount to the County of \$35,890.00, for use of the property.

NOW, THEREFORE, BE IT RESOLVED, by the Board of County Commissioners, County of Adams, State of Colorado, that the Agreement between Adams County and Star Farms, Inc., for the Fukaye Open Space Agricultural and Agritourism lease is hereby approved.

BE IT FURTHER RESOLVED that the Chair is hereby authorized to sign the Agreement with Star Farms, Inc., on behalf of Adams County, after negotiation and approval as to form is completed by the County Attorney's Office.



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT**

**CASE NAME: BASELINE LAKES
CASE NO.: PRC2019-00015**

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**COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT
STAFF REPORT**

Board of County Commissioners

June 15, 2021

CASE No.: PRC2019-00015	CASE NAME: Baseline Lakes
Owner's Name:	Taylor R Carlson & Cory J Thornton
Applicant's Name:	Brad Penwell
Applicant's Address:	12460 First Street, Eastlake, CO 80614
Location of Requests:	West of the intersection of West 164 th Avenue and Havana Street; North of West 164 th Avenue and Kingston Street
Parcel Numbers:	0157102200005, 0157102203017, and 0157103400002
Nature of Requests:	1. Major amendment to the Baseline Lakes Final Development Plan to reduce the number of residential lots and amend the layout (PUD2020-00005); 2. Preliminary plat for major subdivision to create 33 residential lots and associated tracts (PLT2020-00016)
Future Land Use:	Estate Residential
Site Size:	Approximately 71 acres
Proposed Uses:	Single-family Residential
Existing Use:	Vacant
Hearing Date(s):	PC: May 13, 2021/ 6:00 pm BOCC: June 15, 2021/ 9:30 am
Report Date:	May 25, 2021
Case Manager:	Greg Barnes
PC/Staff Recommendations:	APPROVAL with 13 Findings-of-Fact and 7 notes

SUMMARY OF APPLICATION

Background:

The applicant, Brad Penwell, is requesting to amend a development plan approved in 2006 for the Baseline Lakes Planned Unit Development. The application for major amendment to the development plan has been filed along with an application for preliminary plat for a major subdivision to create 33 lots in Baseline Lakes, Filing No. 2. In 2006, the Baseline Lakes Planned Unit Development was established by the approval of its final development plan. This approval entitled 197 lots over 317 acres to be known as Baseline Lakes. The first filing of the Baseline Lakes was also approved at this time creating 54 single-family residential lots over 133 acres. The first filing also included two water storage ponds known as Stouffer Reservoirs 1 & 2.

These water reservoirs were designated as open space in the Baseline Lakes Development Plan and were provided to meet the open space requirements of the Baseline Lakes development.

Development Standards and Regulations:

Section 2-02-10 of the County's Development Standards and Regulations outlines the process for amending a development plan. The subject application does reduce the overall number of lots entitled in the Baseline Lakes Planned Unit Development and has been deemed a major amendment to the development plan. Major amendments are required by these standards to be processed in the same manner as the original approval.

Section 2-02-19 of the County's Development Standards and Regulations outlines the process for creating a major subdivision. The application for a preliminary plat is pursuant to the requirements of this Section.

The subject property is designated Planned Unit Development (PUD) on the County's zoning map. Per Section 3-30-01 of the County's Development Standards and Regulations, the purpose of the Planned Unit Development designation is to encourage the development of land as a single unit. A P.U.D. allows greater flexibility in the design of a development, more variety and diversification in the relationships between buildings, open spaces and uses, and conservation and retention of historical and natural topographic features while meeting the goals, policies and objectives of the comprehensive plan. The proposed preliminary plat is consistent with the character of the Baseline Lakes Final Development Plan in 2006, and fully complies with the proposed amendment to the development plan.

Future Land Use Designation/Comprehensive Plan:

The Adams County Comprehensive Plan designates the subject site as Estate Residential, allowing single-family housing at lower densities to preserve an ex-urban lifestyle. Overall, the subject request would create approximately one dwelling unit per 2.2 acres. The request is consistent with the goals of the Comprehensive Plan to provide lower density housing in this area. Additionally, areas surrounding the subject site are also designated as Estate Residential future land use in the Comprehensive Plan.

Site Characteristics:

The subject properties are in the portion of Adams County just northwest of the City of Brighton. The region includes many single-family residential subdivisions, a majority of which are located within Planned Unit Developments. The site is divided into two noncontiguous parcels that are very close in proximity. Both parcels are very similar in character.

Parcel A is located along the western edge of the Bartley Subdivision. The site borders the intersection of Havana Street and East 164th Avenue to its east. The Stouffer Reservoirs are located to the north. The Shook subdivision is located to its west. The Twin Lakes subdivision is located to its south. The Bartley, Shook, and Twin Lakes subdivisions are all developed with single-family homes that are similar in size and character to the proposed second filing for Baseline Lakes.

Parcel B is located along the northern edge of the Bartley Subdivision. The site borders the intersection of Kingston Street and East 164th Avenue to its south. The Stouffer Reservoirs are located to the east. The first filing of the Baseline Lakes subdivision is located to its north. The undeveloped portions of the Baseline Lakes PUD are located to its east. The Bartley and Baseline Lakes subdivisions are developed with single-family homes that are similar in size and character to the proposed second filing for Baseline Lakes.

Surrounding Zoning Designations and Existing Use Activity:

Northwest PUD Open Space (Ponds)	North PUD Single-Family Residential	Northeast PUD Single-Family Residential
West PUD Single-Family Residential	Subject Property PUD Vacant	East PUD Vacant
Southwest PUD Single-Family Residential	South RE Single-Family Residential	Southeast PUD Single-Family Residential

Compatibility with the Surrounding Area:

The surrounding area is predominantly developed with single-family residential lots or vacant lands that are designated with single-family residential zoning. The only exception to this is the nearby Stouffer Ponds which is located between the two subject parcels. The ponds are intended to serve as open space for the Baseline Lakes PUD.

PLANNING COMMISSION UPDATE:

The Planning Commission (PC) considered this case on May 13, 2021 and voted (6-1) to recommend approval of the requests. The applicant spoke at the meeting and had no concerns with the staff report or presentation. There were two members from the public to speak on this request. The first public comment had concern with construction traffic. Staff noted the concern and will attempt to address how construction traffic can be mitigated when development is permitted. The second comment was related to the reservoirs and the status of refilling the reservoirs. Although not part of this application, staff and the applicant noted that they would try to determine the status of this project. The Planning Commission expressed concern the applicant's will-serve letter was several years old. After the Planning Commission hearing, staff asked the applicant to provide an updated letter. At the time that this report was drafted, the updated letter had not been received. Staff will provide another update during the public hearing.

Staff Recommendation:

Based upon the applications, the criteria for approval for amendment to the final development plan and the criteria for approval for preliminary plat for major subdivision, and a recent site visit, staff recommends approval of this request with 13 findings-of-fact and 7 notes:

RECOMMENDED FINDINGS-OF-FACT

Major Subdivision (Preliminary Plat):

1. The preliminary plat is consistent with the Adams County Comprehensive Plan and any available area plan.
2. The preliminary plat is consistent with the purposes of these standards and regulations.
3. The preliminary plat is in conformance with the subdivision design standards and any approved sketch plan.
4. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
5. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that such system complies with state and local laws and regulations.
6. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
7. The applicant has provided evidence that adequate drainage improvements comply with these standards and regulations.
8. The overall density of development within the proposed subdivision conforms to the zone district density allowances.
9. The proposed subdivision is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. The proposed subdivision has established an adequate level of compatibility by:
 - a. Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use;
 - b. Incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County;
 - c. Incorporating physical design features in the subdivision to provide a transition between the project and adjacent land uses through the provision of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures;
 - d. Incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the project design; and
 - e. Incorporating public facilities or infrastructure, or cash-in-lieu, reasonably related to the proposed subdivision so the proposed subdivision will not negatively impact the levels of service of the County services and facilities.

Amendment to the Final Development Plan:

1. The FDP is in general conformity with the Adams County Comprehensive Plan and any applicable area plan.
2. The FDP conforms to the P.U.D. standards.
3. The FDP is consistent with any approved Preliminary Development Plan (PDP) for the property.
4. The FDP construction plans meet the requirements of these standards and regulations and have been approved by the Director of Community and Economic Development, all infrastructure and utility providers, Tri-County Health Department, and all other referral agencies.

RECOMMENDED NOTES

1. The preliminary plat approval shall expire on June 15, 2023 if a final plat application has not submitted for Baseline Lakes, Filing No. 2.
2. Adams County will require building permit approval to establish the new uses. These reviews shall include, but are not limited to, landscaping, site design, parking, building safety, traffic, and drainage.
3. The applicant shall submit to the Adams County Community and Economic Development Department a final drainage analysis and report for review and approval with any application for a final plat.
4. The applicant shall submit to the Adams County Community and Economic Development Department a final traffic impact study for review and approval with any application for a final plat.
5. A Subdivision Improvements Agreement and collateral shall be submitted with the final plat application.
6. A public land dedication fee for parks and schools shall be paid to Adams County prior to or with the final plat submittal. This fee shall be determined by the fee structure specified in Section 5-05 of the Adams County Development Standards and Regulations.
7. All utilities shall be located underground pursuant to the Adams County Development Standards and Regulations.

PUBLIC COMMENTS

Notifications Sent	Comments Received
182	14

All property owners and occupants within 1,000 feet of the subject property were notified of the request. As of writing this report, staff has received responses from 14 different parties. Many of the comments were received upon the first review of the application. Originally, the applicant had proposed to fill the Stouffer Reservoirs and construct houses upon them. This proposal was met with quite a bit of opposition from the public. In addition, the proposal was deemed inconsistent with County Regulations unless improved open space was provided to replace the ponds. Subsequent to the first review, the applicant changed the proposal to leave the Ponds untouched. Since that change was made, only three comments have been received. Two of those commenters expressed gratitude for the change. One commenter expressed concerns related to drainage. Adams County staff responded to the drainage concerns and indicated that engineering

plan review would occur concurrently with the final plat process, and that drainage would be addressed in that review.

Responding with Concerns:

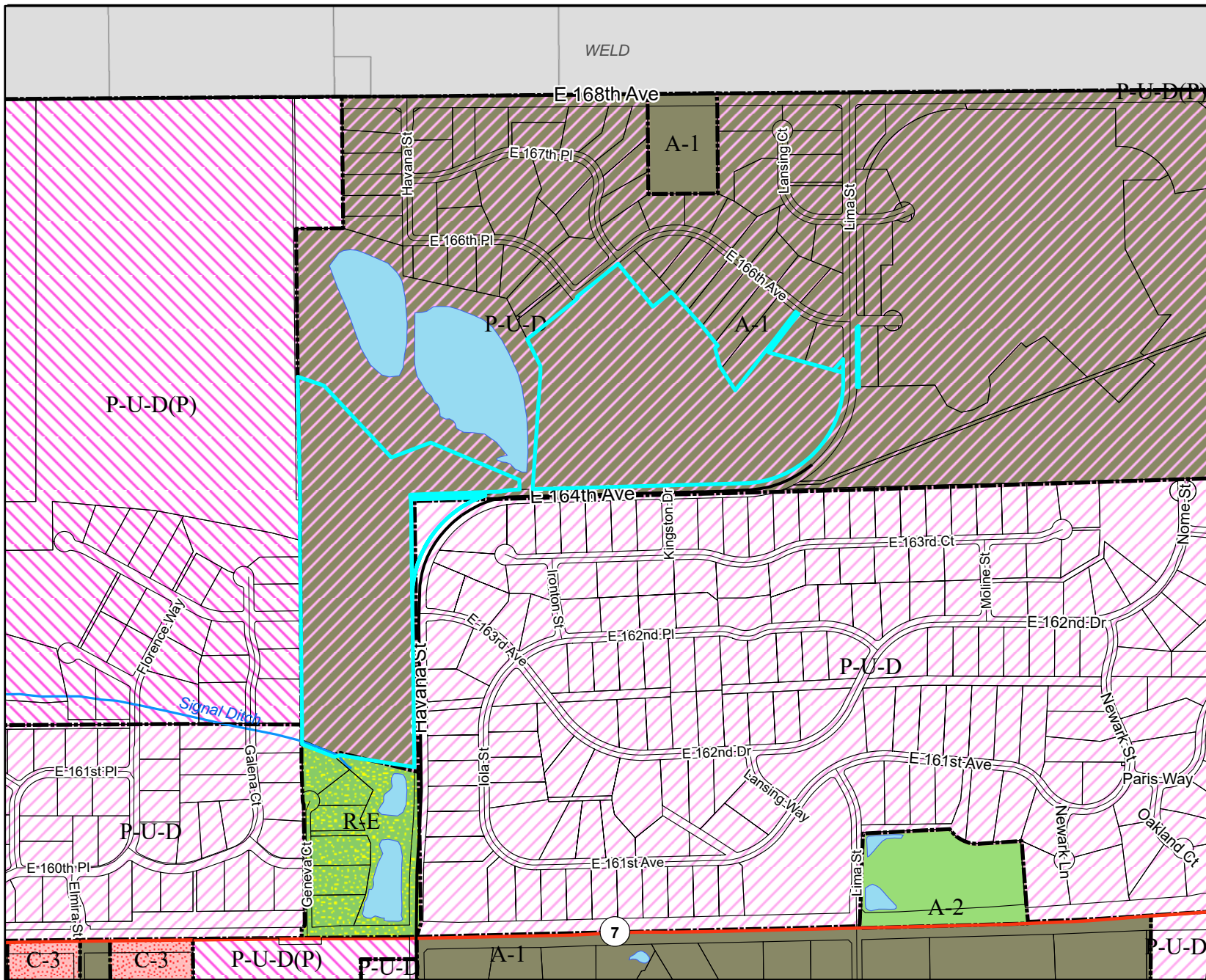
Colorado Department of Transportation
Colorado Geologic Survey
Tri-County Health Department

Responding without Concerns:

27J Schools
Colorado Division of Parks & Wildlife
Colorado Division of Water Resources
Thornton Fire
United Power
Xcel Energy

Notified but not Responding / Considered a Favorable Response:

Adams County Sheriff
Brantner Ditch
Brighton Fire
Century Link
City of Brighton
City of Thornton
Colorado Division of Mining & Reclamation Safety
Comcast
Creekside South Estates Metro District
Eagle Shadow Metro District 1
Heritage at Todd Creek Metro District
Hi-Land Acres Water & Sanitation District
Metro Wastewater Reclamation District
Regional Transportation District
Todd Creek Farms Metro District #2
Todd Creek Metro District #2
Todd Creek Village Metropolitan District
Union Pacific Railroad
U.S. Postal Service
U.S. Environmental Protection Agency



Legend

- Railroad
- Major Water
- Zoning Line
- Sections

Baseline Lakes

PRC2019-00015

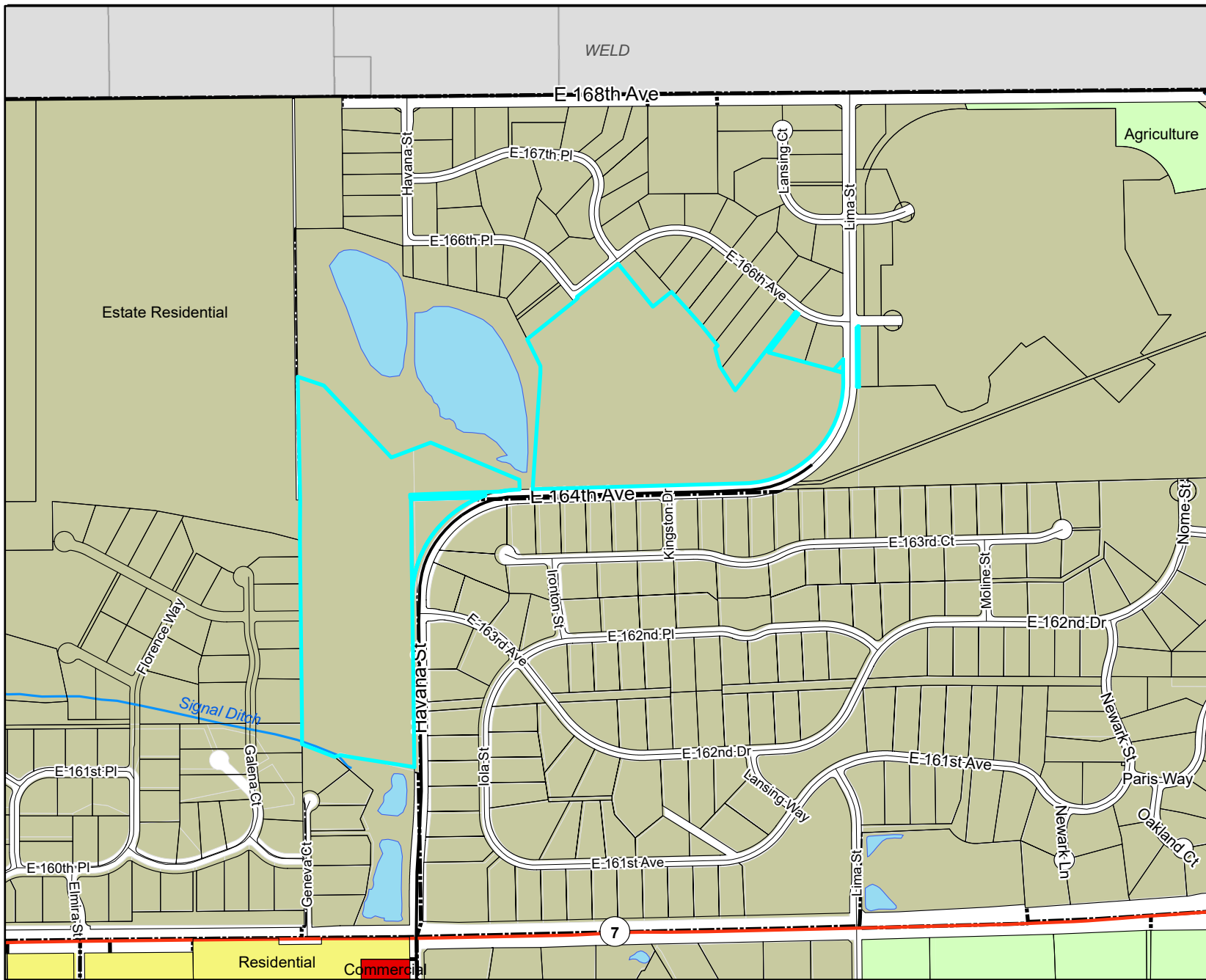


For display purposes only.

AD.

TY

This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy



Legend

- +— Railroad
- Major Water
- Zoning Line
- Sections

Baseline Lakes

PRC2019-00015



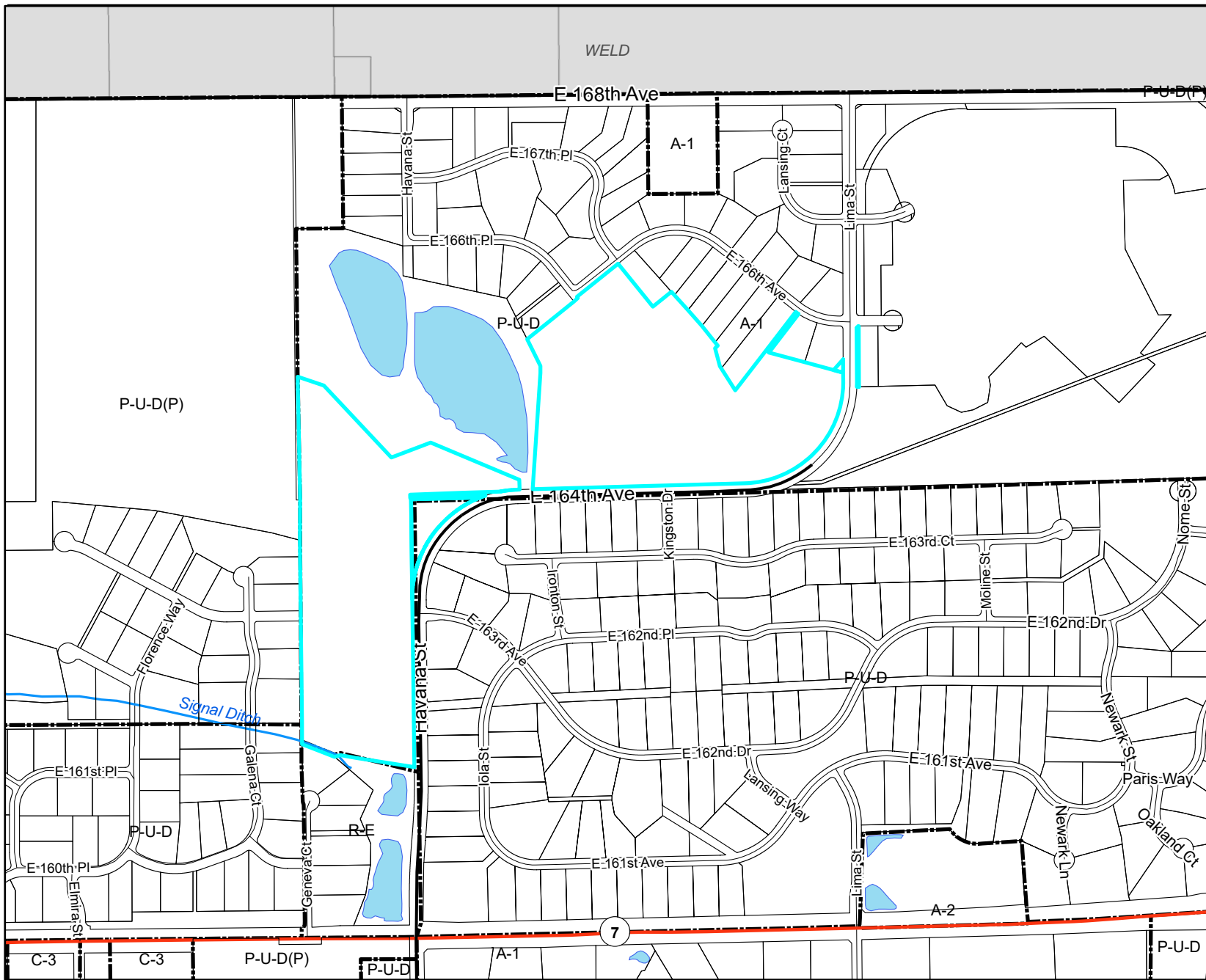
For display purposes only.



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Legend

- +— Railroad
- Major Water
- - - Zoning Line
- ▭ Sections

Baseline Lakes

PRC2019-00015



For display purposes only.

AD TY

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group, which assumes no
responsibility for its accuracy

Baseline Lakes Subdivision FDP Amendment Project Summary

Existing Development

Baseline Lakes is an existing subdivision generally located at the intersection of Lima Street and 168th Avenue. The Planned Unit Development – Final Development Plan (PUD/FDP) for the Baseline Lakes Subdivision, approved in 2006, contained 317 acres with 197 lots. The first phase of the project, Baseline Lakes Subdivision Filing No. 1, was recorded in 2006 and platted approximately 133 acres creating 54 single family lots. Filing No. 1 included two water storage reservoirs – Stouffer Reservoirs 1 & 2.

Proposed Development

The preliminary plat amendment redefines the portion of the Baseline Lakes FDP south of Filing 1 and west of Lima Street/Havana Street. The plat amendment will be platted as Baseline Lakes Subdivision Filing 2, which includes 71.06 acres and creates 34 single family lots and 11 tracts.

Roadways

The local roadways will be a rural road section – two 12' asphalt lanes with 6' gravel shoulders and roadside swales. Driveways for each lot will have culverts. There shall be no improvements to Havana Street, 164th Avenue, Lima Street, and 168th Avenue.

Utilities

All lots are a minimum 1 acre and will be served by individual septic systems. Water will be provided by the Todd Creek Village Metropolitan District. The District did not provide a will serve letter. The District stated that the District will serve the subdivision under the existing Water Service Agreement between the District and Baseline Lakes. We've met with the Brighton Fire Rescue District. A Fire Report has been prepared per the fire flow requirements of the District.

Drainage

The drainage for Filing 1 flows to a 2 separate detention ponds throughout the site. The detention ponds have been sized to detain the 100 year event and provide water quality. Outfalls for the detention ponds and downstream drainage improvements will be constructed to convey the pond discharge to the existing roadside swale system. The existing northern roadside swale along Havana/Lima street will be improved to accommodate higher flows.

Open Space

Baseline Lakes is a part of the Todd Creek Village Preliminary PUD Plan, which estimated that a total of 102 acres of open space would be required with the buildout of the PUD Plan. To date, approximately 1,100 acres of the gross acreage of 2,124 acres included in the Plan have been developed. Approximately, 385 acres within the developed areas have been designated as open space. In prior conversations, the County has agreed that the open space created thus far satisfies the open space requirement in the Todd Creek Village PUD Plan, and no additional open space has to be set aside with the remaining development of Baseline Lakes. Attached is a table documenting the open space that has been created to date in the Todd Creek Village PUD Plan area.

<p>990 south broadway suite 230 denver, co 80209 p 303.561.3333 waremalcomb.com</p>		NO.	DATE	REMARKS	NO.	DATE	REMARKS	JOB NO. PA/PM: DRAWN: DATE: SCALE:	16091 TJ AJ 12/24/2020 NA	BASELINE LAKES SUBDIVISION FINAL DEVELOPMENT PLAN-2ND AMENDMENT	SHEET 1 <hr/> Sheet 1 of 11
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SHEET
2
Sheet 2 of 11

CASE NO. PRC2019-00015

BASELINE LAKES SUBDIVISION
FINAL DEVELOPMENT PLAN - 2ND AMENDMENT

A PART OF THE NORTHWEST 1/4 OF SECTION 2, AND A PART OF THE EAST HALF OF SECTION 3,
TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO

NARRATIVE

(* DENOTES SECTION THAT HAS BEEN REVISED FROM ORIGINAL FDP OR A NEW SECTION)

- A.

CHARACTERISTICS AND IMPACTS

THIS AMENDMENT REVISES BLOCKS 4, 5, 11, AND 13 OF THE ORIGINAL BASELINE LAKES FDP. THE BASELINE LAKES FDP WAS ORIGINALLY APPROVED FOR 192 LOTS ON 316.993 ACRES. THIS AMENDMENT ALLOWS 33 LOTS ON 71.063 ACRES.
- B.

ZONING AND DENSITY

RESIDENTIAL STATES WITH LOT SIZE = MINIMUM 1 AC PER DWELLING WITH CENTRAL WATER SYSTEMS AND ON-SITE WASTE WATER TREATMENT SYSTEMS (OWTS). MAXIMUM DENSITY OF 0.79 DU/ AC PER BASELINE LAKES SUBDIVISION PRELIMINARY P.U.D. ACTUAL PROPOSED DENSITY = 0.48 DU/ACRE.
- C.

NUMBER AND TYPE OF BUILDINGS

THE ORIGINAL FDP APPROVED 192 SINGLE-FAMILY DWELLINGS AND A MINIMUM HOME SIZE OF 1,800 SQUARE FEET. THE AMENDMENT ALLOWS 33 SINGLE-FAMILY DWELLINGS. THE BUILDINGS WILL BE A MINIMUM OF 1,800 SQUARE FEET WITH A MAXIMUM ALLOWABLE PRIMARY STRUCTURE ENVELOPE OF 15% OF THE LOT ACREAGE.
- D.

PARKING

1. TWO OFF-STREET PARKING SPACES TO BE PROVIDED TO EACH DWELLING UNIT IN ADDITION TO THE PARKING SPACES PROVIDED WITHIN THE GARAGE ATTACHED TO EACH UNIT. THESE SPACES SHALL BE PROVIDED FOR IN THE DRIVEWAY.

2. PARKING IS PERMITTED IN THE GARAGE/CARPORT AND/OR ON THE APPROVED PAVED DRIVEWAY SURFACE/PARKING PAD. VEHICLES SHALL NOT BE PARKED AND/OR STORED WITHIN THE REQUIRED FRONT AND SIDE YARD LANDSCAPE AREAS.
- E.

ROAD

1. ACCESS AND CIRCULATION - THERE SHALL BE TWO ACCESS LOCATIONS ALONG EAST 168TH AVENUE AS SHOWN ON THE P.U.D. PLAN. (HAVANA STREET AND LIMA STREET). ACCESS LOCATIONS ARE ALSO SHOWN ALONG THE SOUTH BOUNDARY OF THE DEVELOPMENT AND ARE TO BE COORDINATED WITH THE PLANNED BARTLEY - SHOOK DEVELOPMENT (EAST 164TH AVENUE, KINGSTON DRIVE AND NOME STREET). LIMA STREET SHALL BE A MINOR RURAL COLLECTOR THAT TRAVERSES THE SITE FROM NORTH TO SOUTH, TRANSITIONS TO AN EAST/WEST ROAD AND BECOMES EAST 164TH AVENUE BEFORE CONNECTING TO HAVANA STREET AT THE SOUTH BOUNDARY OF THE PROPERTY. A SEGMENT OR RURAL COLLECTOR ROAD IS SHOWN IN THE SOUTHWEST PORTION OF THE PROPERTY THAT WILL CONNECT TO ADJACENT PROPERTIES ON BOTH THE EAST AND WEST SIDE OF THIS DEVELOPMENT AT THIS LOCATION (EAST 163RD AVENUE)

2. LOCAL RESIDENTIAL RURAL - 60 FOOT RIGHT-OF-WAY WITH TWO 12' PAVED LANES, 6-FOOT GRAVEL SHOULDERS, AND DITCHES ON BOTH SIDES.

3. RURAL MINOR COLLECTOR - 80 FOOT RIGHT-OF-WAY, TWO 14-FOOT PAVED LANES, 8-FOOT PAVED SHOULDERS, AND DITCHES ON BOTH SIDES.

4. CUL-DE-SAC TURNAROUNDS AND KNUCKLES WILL BE 84-FOOT DIAMETER MINIMUM PAVING EDGE TO PAVING EDGE WITH A 120-FOOT DIAMETER MINIMUM RIGHT-OF-WAY.

5. EAST 168TH AVENUE - FINAL PLATS FOR THIS DEVELOPMENT SHALL DEDICATE 40-FEET OF RIGHT-OF-WAY IN ORDER TO PROVIDE A TOTAL OF 70-FEET RIGHT-OF-WAY AS MEASURED SOUTH FROM THE NORTHERLY LINE OF SECTIONS 2 AND 3. A TRAFFIC STUDY FOR THE DEVELOPMENT HAS REQUIREMENTS OF THE STUDY (SEE)

6. ALL STREETS WITHIN THIS P.U.D. SHALL MEET CONSTRUCTION STANDARDS OF THE ADAMS COUNTY SUBDIVISION REGULATIONS IN REGARD TO PAVEMENT TYPE AND BASE DEPTH.
- F.

OWNERSHIP AND MAINTENANCE

1. COMMON AND PUBLIC AREAS - THE BASELINE LAKES SUBDIVISION HOME OWNER'S ASSOCIATION SHALL OWN AND MAINTAIN THE COMMON OPEN SPACE TRACTS AND LANDSCAPE AREAS WITHIN THE BASELINE LAKES SUBDIVISION AS SHOWN IN TRACT SUMMARY AND EXISTING TRACT SUMMARY.

2. DOMESTIC, IRRIGATION, AND FIRE PROTECTION WATER SYSTEMS - THE TODD CREEK VILLAGE METROPOLITAN DISTRICT SHALL OWN AND MAINTAIN THE CENTRAL WATER SYSTEMS FOR THE BASELINE LAKES SUBDIVISION.

3.INSPECTION AND MAINTENANCE OF INDIVIDUAL SEWER DISPOSAL SYSTEMS (ISDS) - THE TODD CREEL METROPOLITAN DISTRICT SHALL INSPECT ALL SITE ISDS'S AND INFORM LOT OWNERS OF REQUIRED MAINTENANCE. PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE SYSTEM.

NARRATIVE CONTINUED:

- H.

TYPE AND ALLOCATION OF USES FOR RESIDENTIAL ESTATES ZONING:

THE SUMMARY OF PERMITTED USES LISTED BELOW WERE DETERMINED FROM THE TODD CREEK VILLAGE PRELIMINARY P.U.D AND FROM THE ADAMS COUNTY DEVELOPMENT STANDARDS AND REGULATIONS FOR RESIDENTIAL ESTATES ZONING, CHAPTER 3, TABLE 3.2 OTHER STANDARDS AND RESTRICTIONS MAY APPLY AND SHALL BE DETERMINED BY THE ABOVE STANDARDS AND THE ADAMS COUNTY PLANNING DEPARTMENT.

USE CATEGORY	PERMITTED	CONDITIONAL
ACCESSORY USES	X	
ANIMALS PER ADAMS COUNTY - ANIMAL KEEPING STANDARDS	X	
COMMERCIAL KENNEL		X
DAY CARE HOME		X
DWELLING-SINGLE-FAMILY DETACHED	X	
ESSENTIAL GOVERNMENT PUBLIC UTILITY SERVICES*		X
HOME OCCUPATION	X	
PARKS, PUBLIC	X	
WATER WELLS, PUMPING, TREATMENT, AND STORAGE FACILITIES. (CLOSED STRUCTURE)		X
YARD/GARAGE SALES (MAXIMUM 2 WEEKENDS/YR)	X	

*NOT INCLUDING BUILDING OR STORAGE FACILITIES.

- I.

LANDSCAPING AND OPEN SPACE

1. OPEN SPACE DEDICATION SHALL BE 15 ACRES PER 1000 PEOPLE, BASED ON 2.96 PEOPLE PER HOUSE HOLD.

IE; $1000 \text{ UNITS} \times 2.96 \text{ PEOPLE/HOUSEHOLD} = 2.96 \times 15\text{AC} = 44.4 \text{ AC OF OPEN SPACE REQUIRED}$
1000 PEOPLE

2. FINAL OPEN SPACE. REGIONAL PARK, AND NEIGHBORHOOD PARK DEDICATIONS SHALL BE DETERMINED AND MET DURING THE PLATTING PROCESS

3. LANDSCAPE REQUIREMENTS
A. FRONT AND CORNER YARD LANDSCAPING FOR EACH LOT WITHIN SINGLE FAMILY RESIDENTIAL AREAS SHALL BE PROVIDED BY THE HOMEOWNER. THE MINIMUM LANDSCAPING TO BE PROVIDED BY THE HOMEOWNER SHALL INCLUDE THE FOLLOWING:
- FRONT:
20 SHRUBS
5 TREES (SHADE, ORNAMENTAL, OR EVERGREEN)
AUTOMATIC IRRIGATION SYSTEM
- FRONT AND CORNER:
30 SHRUBS
8 TREES (SHADE, ORNAMENTAL, OR EVERGREEN)
AUTOMATIC IRRIGATION SYSTEM
B. THE SELECTION OF TREES SHALL BE A MIX OF LARGE DECIDUOUS (10%-30%). ORNAMENTAL (10%-30%). AND EVERGREEN (50%)TREES.

C. MINIMUM PLANT SIZE FOR BASELINE LAKES SUBDIVISION FINAL P.U.D.:
- SHRUBS - MINIMUM OF 5 GALLONS
- ORNAMENTAL TREE - 2" CALIPER
- SHADE TREE - 3" CALIPER
- EVERGREEN TREE - 8'-10' HEIGHT
D. AT MINIMUM, LOTS AND OPEN SPACE AREAS SHALL BE SEEDED WITH NATIVES GRASSES.

4. INDIVIDUAL LOT LANDSCAPING SHALL BE INSTALLED NO LATER THAN ONE YEAR AFTER ISSUANCE OF THE CERTIFICATE OF OCCUPANCY FOR THE HOME.

5. LANDSCAPING OF THE PARKS, TRAILS, OR COMMON OPEN SPACE WITHIN BASELINE LAKES SUBDIVISION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND SHALL BE COMPLETED FOR EACH FILING WITHIN 2 MONTHS FOLLOWING CONSTRUCTION OF ROAD SAND INFRASTRUCTURE FOR THE PARTICULAR FILING. LANDSCAPING OF PARKS, TRAILS, OR COMMON OPEN SPACE SHALL BE MAINTAINED BY THE BASELINE LAKES OWNERS ASSOCIATION.

6. OPEN SPACE SHALL INCLUDE ALL DEVELOPED AND UNDEVELOPED OPEN SPACE TRACTS WITHIN THE BASELINE LAKES SUBDIVISION FINAL P.U.D. THESE MAY INCLUDE DRAINAGE CORRIDORS, FLOOD PLAINS, DETENTION AREAS, DEVELOPED PARKS AND IRRIGATION, NATIVE AREAS WITH TEMPORARY OR NO IRRIGATION, TRAIL CORRIDORS, LANDSCAPE MEADOWS, PEDESTRIAN AREAS, BUFFER ZONES, WETLANDS, RETENTION PONDS, LANDSCAPE EASEMENTS, LAKES, BICYCLE OR PEDESTRIAN LANDSCAPE AREAS, AND RIGHT-OF-WAY LANDSCAPING.
- J.

BUILDING ENVELOPES AND SETBACKS

REFER TO SHEET 4 OF 11
1. MINIMUM FRONTAGE WIDTH AT BUILDING LINE - 100' WITH WELL AND ONSITE SEWAGE DISPOSAL SYSTEM.
2. MINIMUM LOT SIZE FOR RESIDENCE: 1 ACRE WITH PUBLIC WATER AND ON-SITE WASTE WATER TREATMENT SYSTEMS (OWTS).

CASE NO. PRC2019-00015

BASELINE LAKES SUBDIVISION

FINAL DEVELOPMENT PLAN - 2ND AMENDMENT

A PART OF THE NORTHWEST 1/4 OF SECTION 2, AND A PART OF THE EAST HALF OF SECTION 3,
TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO

*		
	PRINCIPAL STRUCTURE	ACCESSORY BUILDING
MINIMUM SETBACK		
FRONT	30 FEET	30 FEET OR NO LESS THAN THE EXISTING OR PROPOSED SETBACK OF THE PRINCIPAL DWELLING, WHICHEVER IS LESS
SIDE CORNER	30 FEET	20 FEET
SIDE	17 FEET ONE SIDE (WITH ATTACHED GARAGE), 5 FEET ON THE OTHER SIDE*	20 FEET
REAR	20 FEET	10 FEET
ARTERIAL OR STATE HIGHWAY R.O.W.	50 FEET	50 FEET
COLLECTOR AND LOCAL R.O.W.	30 FEET	30 FEET
SECTION LINE ALONG 168TH AVE.	120 FEET	120 FEET
SECTION LINE ALONG HAVANA ST.	30 FEET	30 FEET
GAS WELLHEAD**	250 FEET	250 FEET
GAS WELL TANK BATTERY**	200 FEET (TRACT SHALL BE PLATTED AROUND TANK BATTERY).	200 FEET
GAS PIPE LINES	OUTSIDE OF PIPE MAINTENANCE EASEMENT.	OUTSIDE OF PIPE MAINTENANCE EASEMENT.
MAXIMUM HEIGHT	35 FEET	25 FEET
MAXIMUM STRUCTURE COVERAGE	15% OF LOT AREA FOR PRINCIPAL DWELLING; NOT EXCEEDING 20% OF LOT AREA INCLUDING ACCESSORY BUILDING (FOR LOTS WITH PUBLIC WATER OR SEWER)	
MINIMUM SINGLE-FAMILY DETACHED RESIDENCE PER LOT	1	
MINIMUM FLOOR AREA	1,800 SQUARE FEET (MAXIMUM SIZE OF AREA - 15% OF LOT AREA.)	1,800 SQUARE FEET ****

**CHANGED FROM 150 FEET ON ORIGINAL FDP

- K. PROTECTIVE COVENANTS AND RESTRICTIONS
- PROTECTIVE COVENANTS AND RESTRICTIONS SHALL BE RECORDED AT THE TIME OF FINAL P.U.D. PLAN WHICH MAY ESTABLISH ADDITIONAL RESTRICTIONS TO BE CONTROLLED BY THE DEVELOPER.
- L. ADDITIONAL CONTROLS - PRINCIPALS STRUCTURE AND ACCESSORY BUILDINGS- ENFORCED BY BASELINE LAKES HOA
1. ALL BUILDING PLANS ARCHITECTURE, COLOR SELECTION AND LANDSCAPE PLANS SHALL BE APPROVED BY THE BASELINE HOMEOWNER'S ASSOCIATION ARCHITECTURAL REVIEW COMMITTEE BEFORE SUBMITTAL TO ADAMS COUNTY FOR A BUILDING PERMIT. WHERE A CONFLICT OCCURS, THE MORE RESTRICTIVE CONTROLS SHALL PREVAIL. THE BASELINE LAKES HOMEOWNER ASSOCIATION APPROVAL IS REQUIRED BEFORE ADAMS COUNTY PLANNING DEPARTMENT SIGNOFF.
2. PLANS SHALL PROVIDE INFORMATION ON BUILDING SQUARE FOOTAGE, FLOOR PLANS AND ARCHITECTURAL ELEVATIONS. EACH HOUSING TYPE SHALL MEET THE INTENT OF THE ARCHITECTURAL THEMES AND MATERIALS AS OUTLINED BELOW.
3. THE FOLLOWING ARCHITECTURAL THEMES AND MATERIALS WILL BE UTILIZED IN SOME COMBINATION OF ONE OR MORE WAYS. THE THEMES AND MATERIALS LISTED ARE NOT INTENDED TO BE THE ONLY ALLOWABLE, BUT SHALL BE REPRESENTATIVE OF THE INTENT OF THE DEVELOPMENT AND SHALL APPLY TO ALL LAND USES HEREIN:

a. ROOFING MATERIALS - WARM EARTH TONES IN COLOR:

i. SHAKES (INCLUDING AGGREGATE SHAKE - APPEARING MATERIALS)

ii. SHAKE WOOD BLEND, A FIBERGLASS COMPOSITE,

iii. ASPHALTIC SHINGLES,

iv. CONCRETE,

v. STANDING METAL SEAM

b. SIDING MATERIALS:

i. STUCCO,

ii. WOOD, NATURAL,

iii. STONE OR SYNTHETIC MASONRY,

iv. BRICK VENEER,

v. ROUGH SAWN TRIM,

vi. HARDBOARD LAP SIDING
4. DRAINAGE:

a. ALL LOTS SHALL PROVIDE FOR STORM DRAINAGE IN ACCORDANCE WITH THE COUNTY APPROVED GRADING PLANS.

b. RETENTION OR DETENTION BASINS SHALL PROVIDE THE NECESSARY STORM WATER VOLUME STORAGE FOR DEVELOPMENT WITHIN BASELINE LAKES SUBDIVISION AND CONFORM TO ADAMS COUNTY STANDARDS

5. INDIVIDUAL SEWER DISPOSAL SYSTEMS (ISDS):

a. SOIL CONDITIONS MAY REQUIRED AN ENGINEERED ISDS.

b. THE CONVENTS, CONDITIONS, AND RESTRICTIONS OF THIS P.U.D. REQUIRE INSPECTIONS OF THE ISDS BY THE TODD CREEK METROPOLITAN DISTRICT. PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE SYSTEM.

c. FOR CONVENTIONAL SEEPAGE DRAIN FIELDS, A SUITABLE AREA SHALL BE DESIGNATED ON EACH LOT SITE PLAN FOR BOTH PRIMARY AND REPLACEMENT WASTEWATER DISPOSAL FIELDS REPLACEMENT OF THE PRIMARY FIELD MAY BE REQUIRED, IF FAILURE OCCURS. LOT--SPECIFIC SOILS AND PERCOLATIONS TEST SHALL BE USED TO DETERMINE THE AREA REQUIRED FOR THE PRIMARY AND REPLACEMENT DISPOSAL FIELDS. THESE AREAS SHALL MEET ALL TRI--COUNTY HEALTH DEPARTMENT SETBACK REQUIREMENTS. AND ARE TO REMAIN FREE OF ANY IMPROVEMENTS.

d. FOR DRAIN FIELDS. A REPLACEMENT AREA IS NOT REQUIRED.

6. LOT ADDRESS:

a. EACH LOT SHALL HAVE AN EXCLUSIVE ADDRESS ATTACHED TO THE MAIN STREET FACING THE SIDE OF THE BUILDING. ADDRESS SHALL BE 5--INCH NUMERALS HAVING A STROKE WITH OD NO LESS THAN 3/4--INCH MOUNTED ON CONTRASTING BACKGROUND. A SECOND ADDRESS SHALL BE INSTALLED AT THE DRIVEWAY ON THE MAILBOX.

7. GENERAL

a. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ADAMS COUNTY BUILDING REGULATIONS.

8. FENCING AND RETAINING WALLS

a. ALL FENCING DESIGNS SHALL CONFORM TO THE BASELINE LAKES SUBDIVISION STANDARD DESIGN.

b. ALL FENCED AND WALLS OVER 42" IN HEIGHT REQUIRE A BUILDING PERMIT.

c. ANY RETAINING WALLS OVER TWO (2) FEET IN HEIGHT SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER AS A CONDITION FOR A BUILDING PERMIT EXCEPT WHERE WAIVED BY THE BUILDING INSPECTION SECTION.

d. NO FENCE OF ANY TYPE MORE THAN 42" IN HEIGHT SHALL BE PERMITTED BETWEEN THE FRONT SETBACK AND A FRONT PROPERTY LINE, EXCEPT FENCES UP TO 72" IN HEIGHT MAY BE PERMITTED ON THE COMMON STREET SIDE OF CORNER LOTS WHERE HOUSES ARE BACK TO BACK.

e. NEITHER BARBWIRE OF ELECTRIC FENCES SHALL BE PERMITTED AS AN EXTERNAL BOUNDARY FENCE.

f. THE MAXIMUM HEIGHT OF ANY FENCE IS 72" EXCEPT WHERE SUCH DEVELOPMENT IS ADJACENT TO EXISTING OR PROPOSED ARTERIAL STREETS OR STATE HIGHWAYS IN WHICH CASE FENCES BORDERING SUCH STREETS MAY BE UNIFORMLY BUILT HIGHER WITH THE WRITTEN PERMISSION OF THE DIRECTOR OF PLANNING AND DEVELOPMENT.

g. TRAFFIC VIEW OBSTRUCTION AS OUTLINED IN CHAPTER 7 SHALL PREVAIL IN ALL CASES RELATING TO FENCE CONSTRUCTION.

L. OUTDOOR STORAGE

1. OUTDOOR STORAGE AREAS WILL NOT BE PERMITTED IN THIS P.U.D.

M. UTILITY SERVICES

1. DOMESTIC WATER SUPPLY AND FIRE PROTECTION WATER SHALL BE PROVIDED BY THE TODD CREEK VILLAGE METROPOLITAN DISTRICT. FIRE HYDRANTS SHALL BE INSTALLED WITH THE DOMESTIC WATER SYSTEM.

2. IRRIGATION WATER SHALL BE SUPPLIED TO A SEPARATE UNDERGROUND DISTRIBUTION SYSTEM BY THE TODD CREEK VILLAGE METROPOLITAN DISTRICT.

3. SEWAGE TREATMENT SHALL BE PROVIDED BY INDIVIDUAL SEWER DISPOSAL SYSTEMS CONSTRUCTED ON EACH LOT PER REQUIREMENTS OF THE TRI--COUNTY HEALTH DEPARTMENT.

4. ALL UTILITY SERVICES SHALL BE UNDERGROUND.

N. OTHER PERTINENT FACTORS

1. PEDESTRIAN ACCESS TO PARK SITES IS APPROVED BY THE ON STREET SIDEWALK SYSTEM AND AUXILIARY TRAILS. THE TRAIL SYSTEM SHALL BE PROVIDED BY THE METROPOLITAN DISTRICT. MAINTENANCE OF THE TRAIL SYSTEM SHALL BE THE RESPONSIBILITY OF THE METROPOLITAN DISTRICT. THE PEDESTRIAN TRAIL ACCESS SHALL BE A MINIMUM OF 8 FEET IN WIDTH AND CONSTRUCTED OF CRUSHED FINES, ASPHALT, OR CONCRETE. TRAIL SECTIONS SHALL BE COMPLETED AS PHASES OF DEVELOPMENT PROGRESS.
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WARE MALCOMB

CIVIL ENGINEERING & SURVEYING

NO.	DATE	REMARKS	NO.	DATE	REMARKS
1	03/01/2021	COUNTY COMMENTS			

JOB NO.	16091
PA/PM:	TJ
DRAWN:	AJ
DATE:	12/24/2020
SCALE:	NA

BASELINE LAKES SUBDIVISION

FINAL DEVELOPMENT PLAN-2ND AMENDMENT

SHEET

4

Sheet 4 of 11

BASELINE LAKES SUBDIVISION

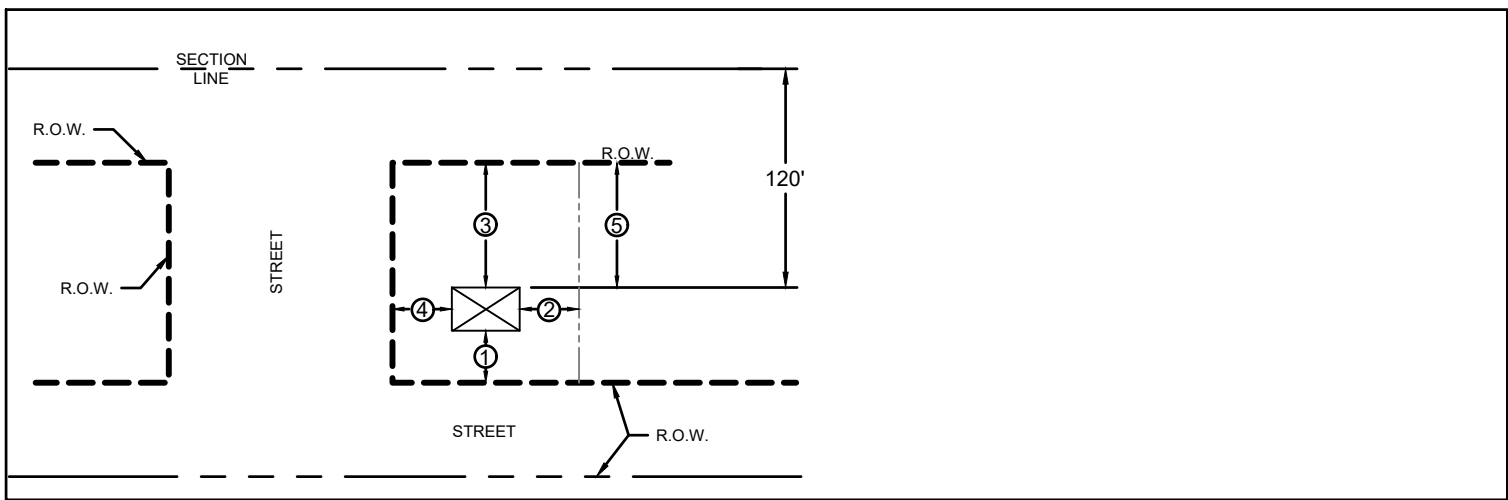
FINAL DEVELOPMENT PLAN - 2ND AMENDMENT

CASE NO. PRC2019-00015

A PART OF THE NORTHWEST 1/4 OF SECTION 2, AND A PART OF THE EAST HALF OF SECTION 3,
TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO

TRACT SUMMARY

TRACT	USE	AREA (SF)	AREA (AC)	MAINTENANCE	OWNER
2A	OIL/GAS PIPELINE	9,163	0.21	BASELINE LAKES HOA	BASELINE LAKES HOA
2B	DRAINAGE	19,155	0.44	BASELINE LAKES HOA	BASELINE LAKES HOA
2C	OIL/GAS PIPELINE	6,711	0.15	BASELINE LAKES HOA	BASELINE LAKES HOA
2D	WATER/DRAINAGE	8,872	0.20	BASELINE LAKES HOA	BASELINE LAKES HOA
2E	OPEN SPACE	189,907	4.36	BASELINE LAKES HOA	BASELINE LAKES HOA
2F	FUTURE DEVELOPMENT	626,092	14.37	BASELINE LAKES HOA	BASELINE LAKES HOA
2G	DRAINAGE	92,285	2.12	BASELINE LAKES HOA	BASELINE LAKES HOA
2H	OPEN SPACE	5,861	0.13	BASELINE LAKES HOA	BASELINE LAKES HOA
2J	DRAINAGE	191,829	4.40	BASELINE LAKES HOA	BASELINE LAKES HOA
2K	WATERLINE/DRAINAGE	17,263	0.40	BASELINE LAKES HOA	BASELINE LAKES HOA
2L	OIL/GAS PIPELINE	16,336	0.38	BASELINE LAKES HOA	BASELINE LAKES HOA



TYPICAL LOT LAYOUT FOR PRINCIPAL STRUCTURE

- 30 FOOT MINIMUM FRONT SETBACK
- 17 FOOT MINIMUM SIDE SETBACK OR 5 FEET FROM ATTACHED GARAGE AND 5 FEET ON OTHER SIDE
- 20 FOOT MINIMUM REAR SETBACK
- SIDE CORNER SETBACK MINIMUM 30 FEET
- STATE HIGHWAY OR ARTERIAL ROW 50 FEET COLLECTOR AND LOCAL ROW 30 FEET (THESE DIMENSIONS ARE REQUIRED AS A MINIMUM FOR FRONT, BACK, OR SIDE SETBACK)

EXISTING TRACT SUMMARY

TRACT	USE	AREA (SF)	AREA (AC)	MAINTENANCE	OWNER
A	OIL/GAS	33,819	0.78	BASELINE LAKES HOA	BASELINE LAKES HOA
B	OIL/GAS	138,391	3.18	BASELINE LAKES HOA	BASELINE LAKES HOA
C	OIL/GAS	60,151	1.38	BASELINE LAKES HOA	BASELINE LAKES HOA
D	WATERLINE/DRAINAGE	6,535	0.15	BASELINE LAKES HOA	BASELINE LAKES HOA
E	OIL/GAS	74,459	1.71	BASELINE LAKES HOA	BASELINE LAKES HOA
F	GAS PIPE/DRAINAGE	50,102	1.15	BASELINE LAKES HOA	BASELINE LAKES HOA
G	OIL/GAS	6,426	0.15	BASELINE LAKES HOA	BASELINE LAKES HOA
H	OIL/GAS	15,917	0.37	BASELINE LAKES HOA	BASELINE LAKES HOA
I	WATERLINE/DRAINAGE	1,461,520	33.55	BASELINE LAKES HOA	BASELINE LAKES HOA
J	OIL/GAS	9,653	0.22	BASELINE LAKES HOA	BASELINE LAKES HOA
K	OIL/GAS	54,657	1.25	BASELINE LAKES HOA	BASELINE LAKES HOA
L	IRRIG./FIRE PROTEC.	27,253	0.63	BASELINE LAKES HOA	BASELINE LAKES HOA
M	GAS PIPE/DRAINAGE	242,540	5.57	BASELINE LAKES HOA	BASELINE LAKES HOA
N	OPEN SPACE	431	0.01	BASELINE LAKES HOA	BASELINE LAKES HOA
O	OPEN SPACE	437	0.01	BASELINE LAKES HOA	BASELINE LAKES HOA
P	OPEN SPACE	431	0.01	BASELINE LAKES HOA	BASELINE LAKES HOA
Q	OPEN SPACE	431	0.01	BASELINE LAKES HOA	BASELINE LAKES HOA
R	OIL/GAS	116,177	2.67	BASELINE LAKES HOA	BASELINE LAKES HOA
S	GAS PIPE/DRAINAGE	11,015	0.25	BASELINE LAKES HOA	BASELINE LAKES HOA
T	OIL/GAS	177,562	4.08	BASELINE LAKES HOA	BASELINE LAKES HOA
U	OIL/GAS	77,432	1.78	BASELINE LAKES HOA	BASELINE LAKES HOA
V	OPEN SPACE	62,479	1.43	BASELINE LAKES HOA	BASELINE LAKES HOA
W	OIL/GAS	95,749	2.20	BASELINE LAKES HOA	BASELINE LAKES HOA
X	GAS PIPE/DRAINAGE	4,611	0.11	BASELINE LAKES HOA	BASELINE LAKES HOA
Y	GAS PIPE/DRAINAGE	4,949	0.11	BASELINE LAKES HOA	BASELINE LAKES HOA
Z	OPEN SPACE	77,942	1.79	BASELINE LAKES HOA	BASELINE LAKES HOA
AA	GAS PIPE/DRAINAGE	14,005	0.32	BASELINE LAKES HOA	BASELINE LAKES HOA
BB	OIL/GAS	51,414	1.18	BASELINE LAKES HOA	BASELINE LAKES HOA
CC	OPEN SPACE	82,822	5.57	BASELINE LAKES HOA	BASELINE LAKES HOA
EE	OIL/GAS	68,718	1.58	BASELINE LAKES HOA	BASELINE LAKES HOA
FF	OIL/GAS	47,010	1.08	BASELINE LAKES HOA	BASELINE LAKES HOA
GG	OIL/GAS	45,935	1.05	BASELINE LAKES HOA	BASELINE LAKES HOA
HH	UTILITY USE	14,005	0.32	BASELINE LAKES HOA	BASELINE LAKES HOA

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NO.	DATE	REMARKS	NO.	DATE	REMARKS	JOB NO.	16091
1	03/01/2021	COUNTY COMMENTS				PA/PM:	TJ
						DRAWN:	AJ
						DATE:	12/24/2020
						SCALE:	NA

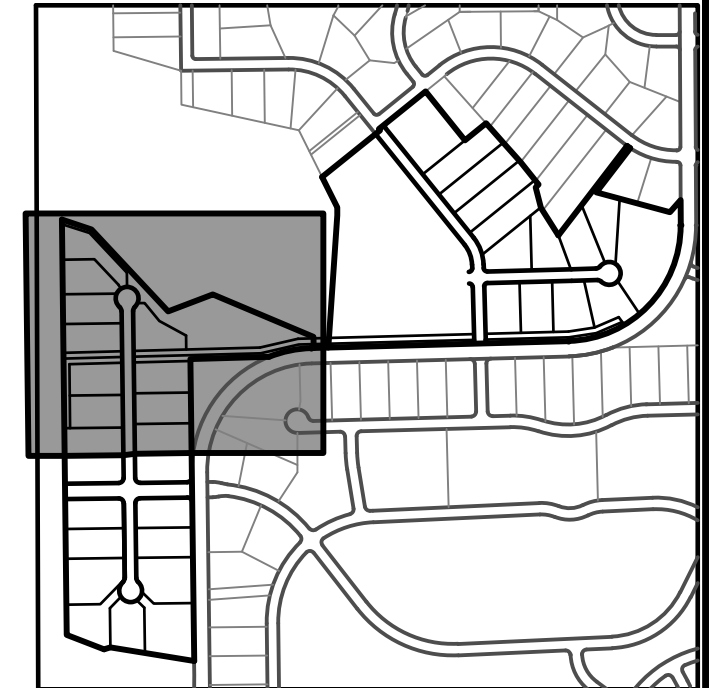
BASELINE LAKES SUBDIVISION
FINAL DEVELOPMENT PLAN-2ND AMENDMENT

SHEET
5
Sheet 5 of 11

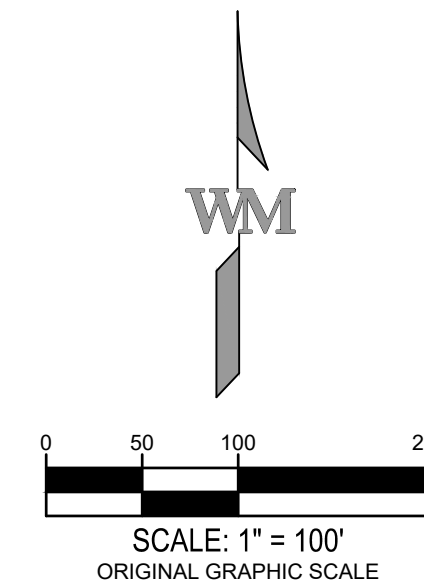
BASELINE LAKES SUBDIVISION FINAL DEVELOPMENT PLAN - 2ND AMENDMENT

CASE NO. PRC2019-00015

A PART OF THE NORTHWEST 1/4 OF SECTION 2, AND A PART OF THE EAST HALF OF SECTION 3,
TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO

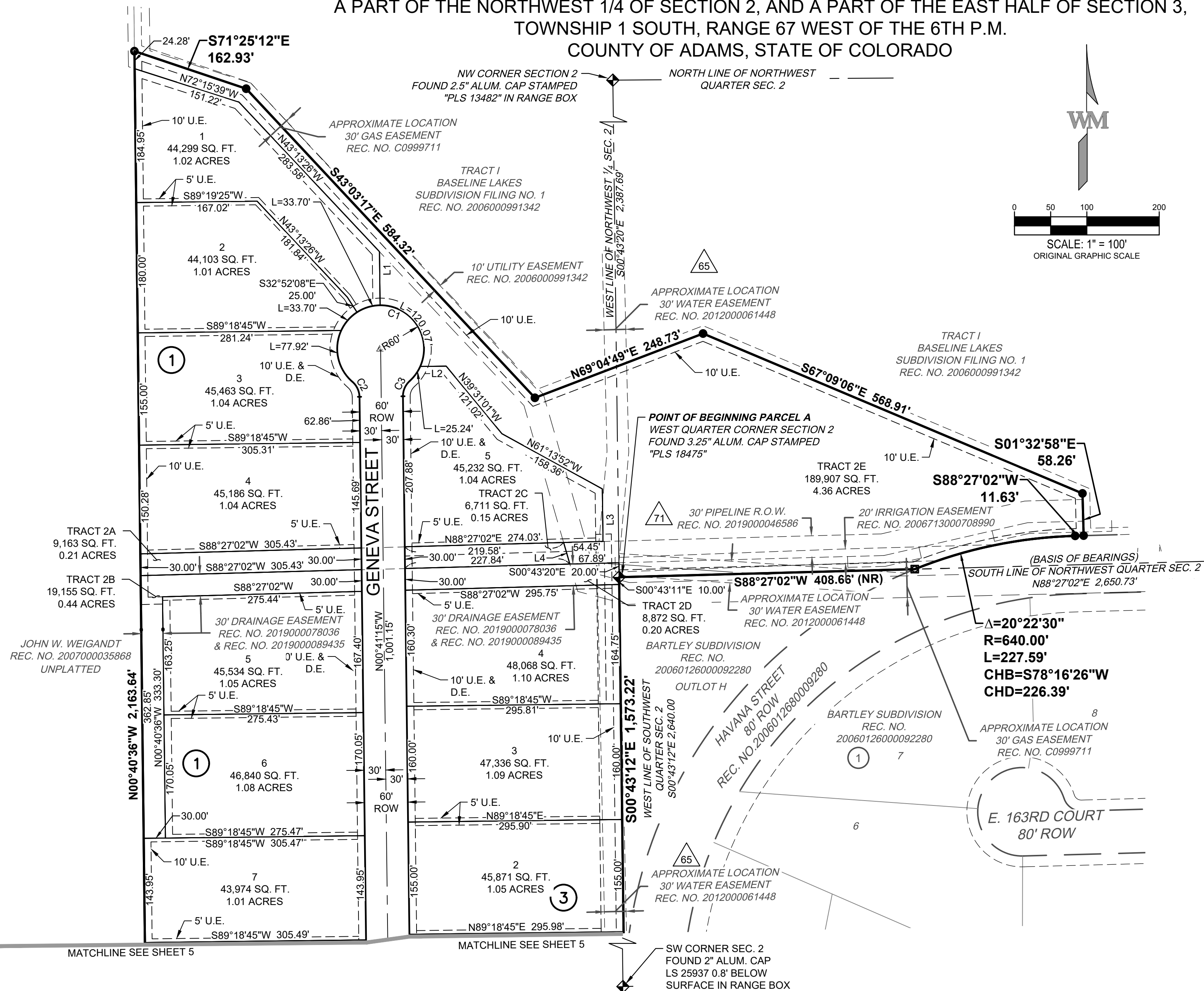


KEY MAP
N.T.S.



LEGEND

- SECTION LINE
- SITE BOUNDARY
- EXISTING EASEMENT
- EXISTING RIGHT-OF-WAY
- EXISTING LOT LINE
- CENTERLINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT & TRACT LINE
- GAS SETBACK
- UTILITY AND DRAINAGE EASEMENT
- OIL AND NATURAL GAS LINE
- SET 18" NO. 5 REBAR WITH 1.25" YELLOW PLASTIC CAP STAMPED "PLS 25965"
- FOUND NO. 4 REBAR WITH 1" YELLOW PLASTIC CAP STAMPED "PLS 23899"
- FOUND NO. 5 REBAR WITH 1.25" YELLOW PLASTIC CAP STAMPED "PLS 38286"
- FOUND NO. 4 REBAR
- 6 BLOCK NUMBER
- SECTION CORNER AS NOTED
- sq. ft. SQUARE FEET
- ac. ACERS
- ROW RIGHT-OF-WAY
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- (NR) NON-RADIAL
- SURVEY MONUMENT IN MONUMENT BOX TO BE SET AT ALL CENTERLINE INTERSECTIONS, PCS, PTS, AND RADIUS POINTS BY DEVELOPERS SURVEYOR UPON COMPLETION OF STREET IMPROVEMENTS IN ACCORDANCE WITH ADAMS COUNTY DEVELOPMENT STANDARDS SECTION 5-0408
- XX SCHEDULE B-2 EXCEPTION ITEMS



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p 303.561.3333
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CIVIL ENGINEERING & SURVEYING

NO.	DATE	REMARKS	NO.	DATE	REMARKS	JOB NO.	16091
1	03/01/2021	COUNTY COMMENTS				PA/PM:	TJ
						DRAWN:	AJ
						DATE:	12/24/2020
						SCALE:	1" = 100'

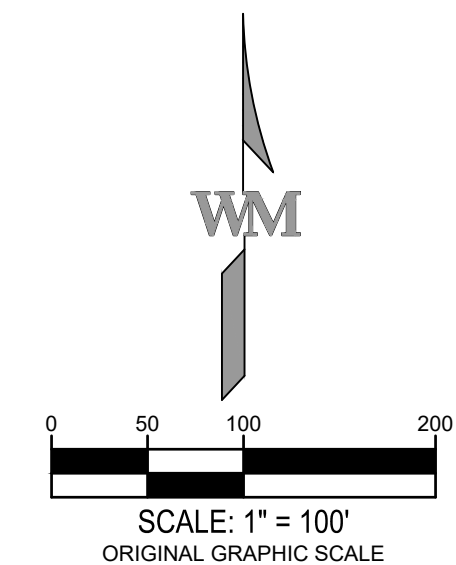
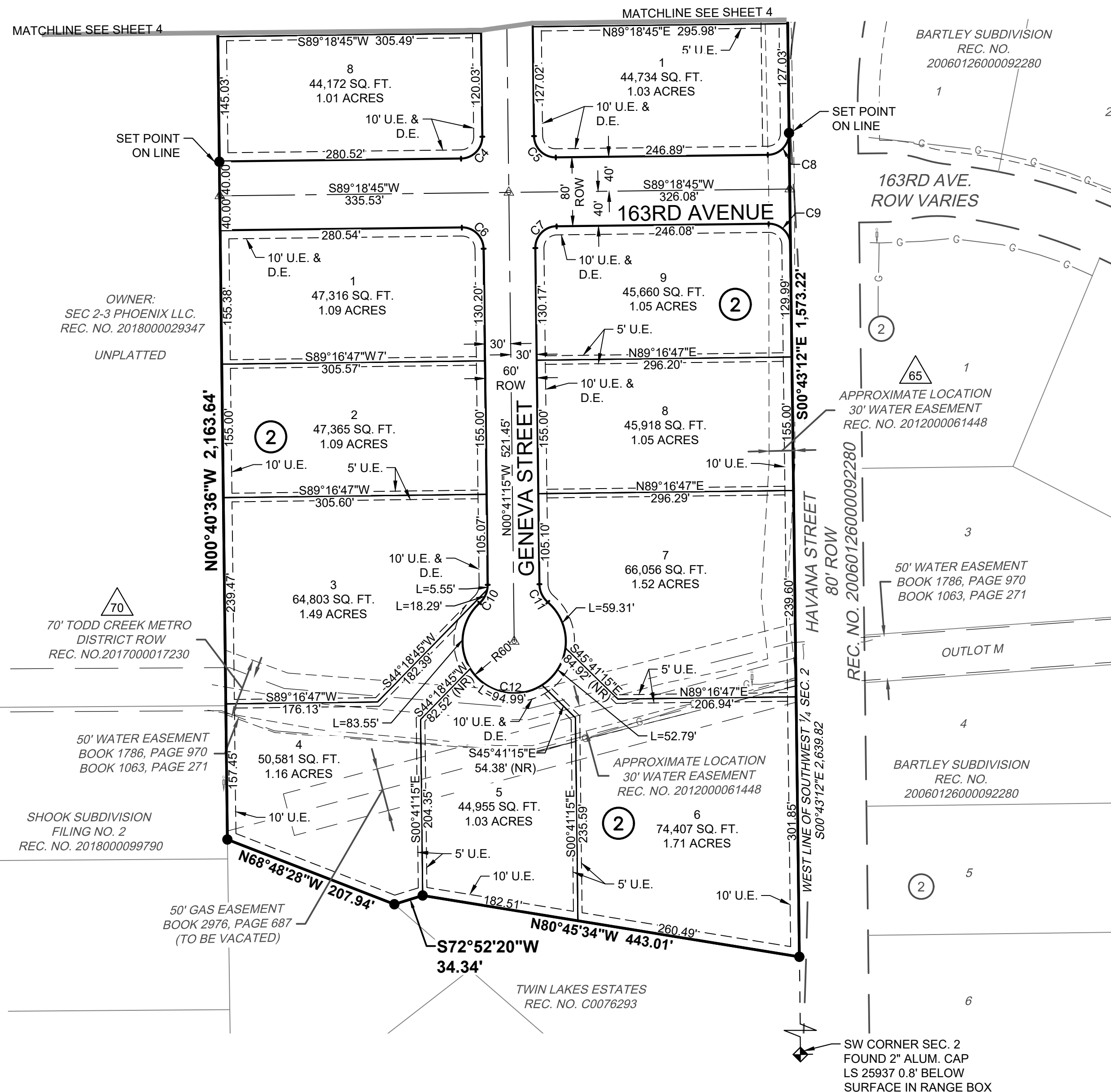
BASELINE LAKES SUBDIVISION
FINAL DEVELOPMENT PLAN-2ND AMENDMENT

SHEET
6
Sheet 6 of 11

BASELINE LAKES SUBDIVISION FINAL DEVELOPMENT PLAN - 2ND AMENDMENT

A PART OF THE NORTHWEST 1/4 OF SECTION 2, AND A PART OF THE EAST HALF OF SECTION 3,
TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO

CASE NO. PRC2019-00015



LEGEND

- SECTION LINE
- SITE BOUNDARY
- EXISTING EASEMENT
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- SCHEDULE B-2 EXCEPTION ITEMS

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1	03/01/2021	COUNTY COMMENTS			

JOB NO.	16091
PA/PM:	TJ
DRAWN:	AJ
DATE:	12/24/2020
SCALE:	1" = 100'

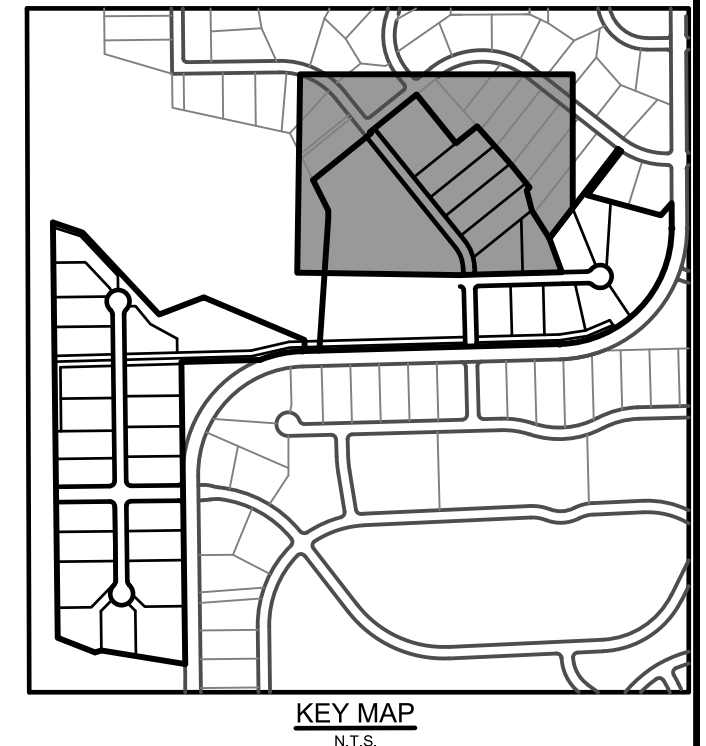
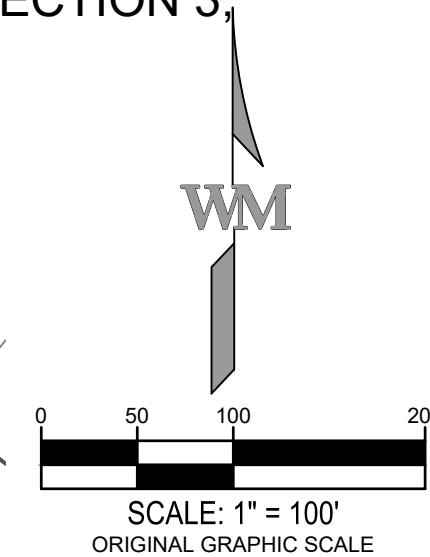
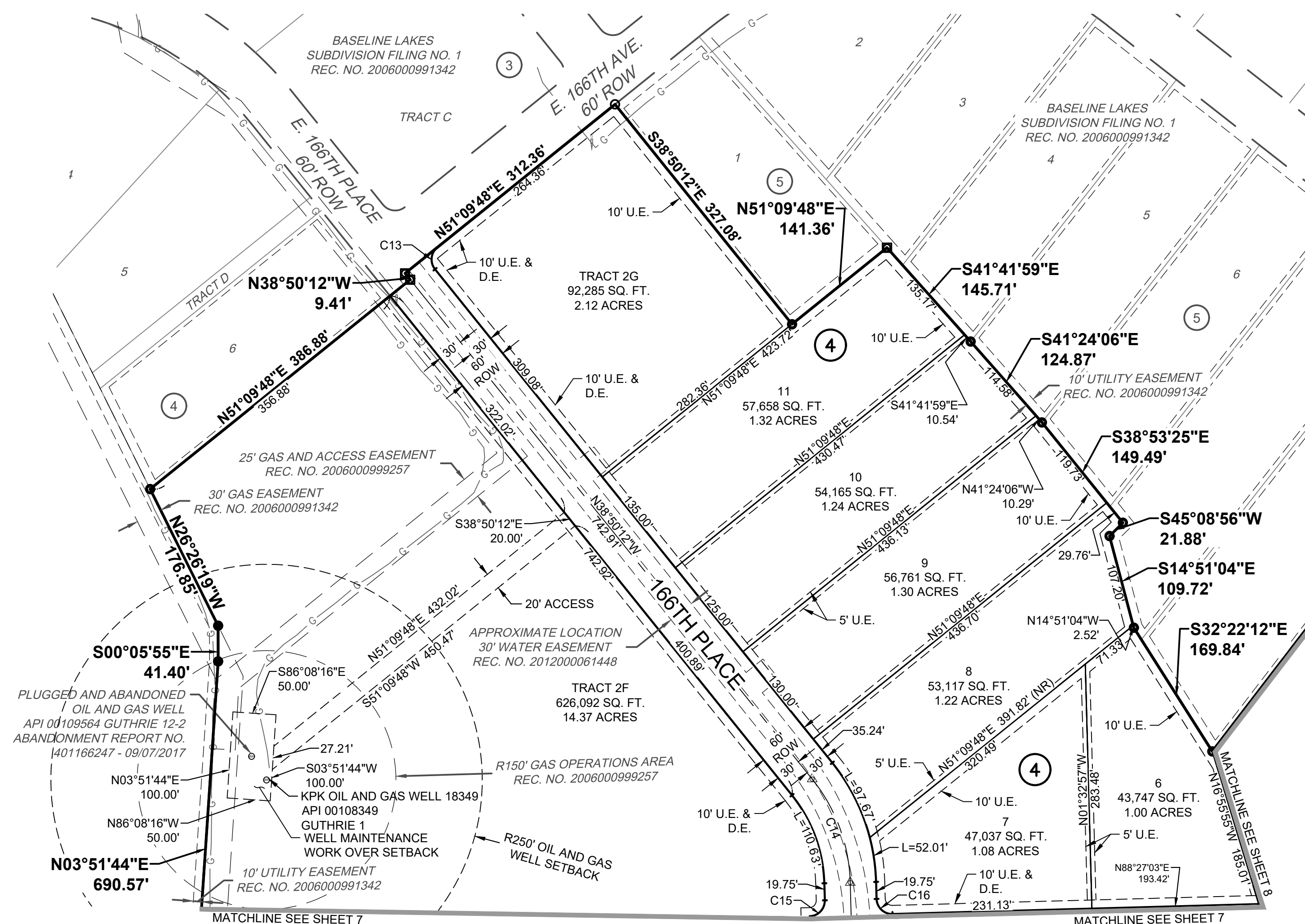
BASELINE LAKES SUBDIVISION
FINAL DEVELOPMENT PLAN-2ND AMENDMENT

SHEET
7
Sheet 7 of 11

BASELINE LAKES SUBDIVISION FINAL DEVELOPMENT PLAN - 2ND AMENDMENT

A PART OF THE NORTHWEST 1/4 OF SECTION 2, AND A PART OF THE EAST HALF OF SECTION 3,
TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO

CASE NO. PRC2019-00015



LEGEND

- SECTION LINE
- SITE BOUNDARY
- EXISTING EASEMENT
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- FOUND NO. 4 REBAR
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- SECTION CORNER AS NOTED
- SQ. FT.
- AC.
- ROW
- U.E.
- D.E.
- (NR)
- SURVEY MONUMENT IN MONUMENT BOX TO BE SET AT ALL CENTERLINE INTERSECTIONS, PCS, PTS, AND RADIUS POINTS BY DEVELOPERS SURVEYOR UPON COMPLETION OF STREET IMPROVEMENTS IN ACCORDANCE WITH ADAMS COUNTY DEVELOPMENT STANDARDS SECTION 5-0408

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1	03/01/2021	COUNTY COMMENTS				PA/PM:	TJ
						DRAWN:	AJ
						DATE:	12/24/2020
						SCALE:	1" = 100'

BASELINE LAKES SUBDIVISION
FINAL DEVELOPMENT PLAN-2ND AMENDMENT

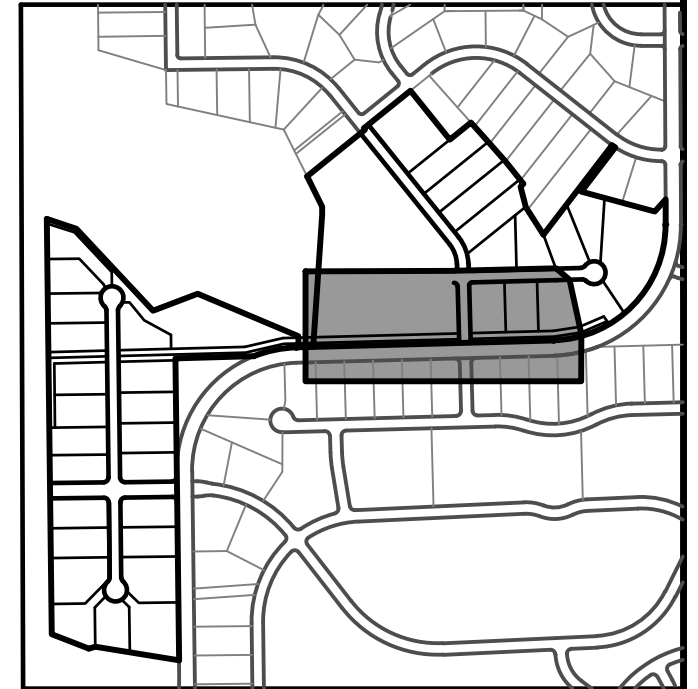
SHEET
8
Sheet 8 of 11

BASELINE LAKES SUBDIVISION

FINAL DEVELOPMENT PLAN - 2ND AMENDMENT

A PART OF THE NORTHWEST 1/4 OF SECTION 2, AND A PART OF THE EAST HALF OF SECTION 3,
TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO

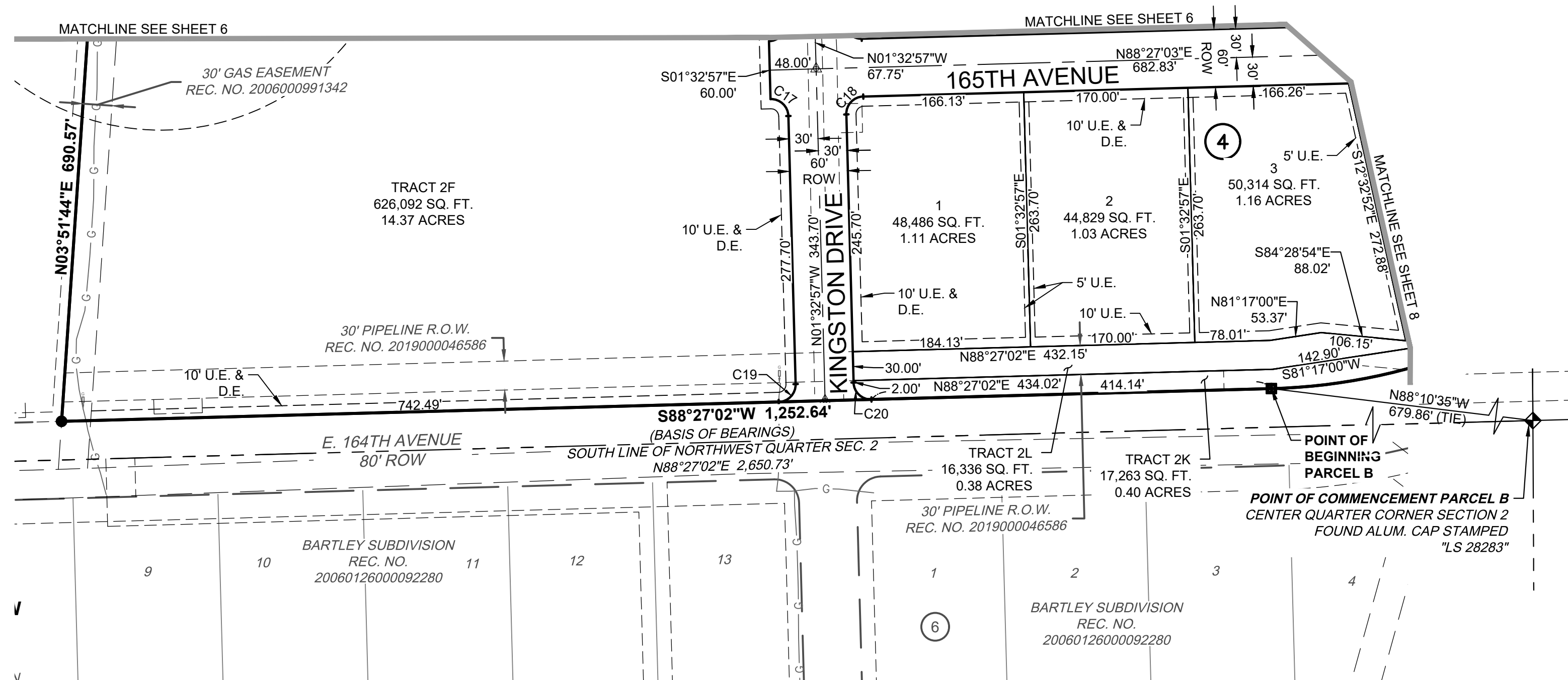
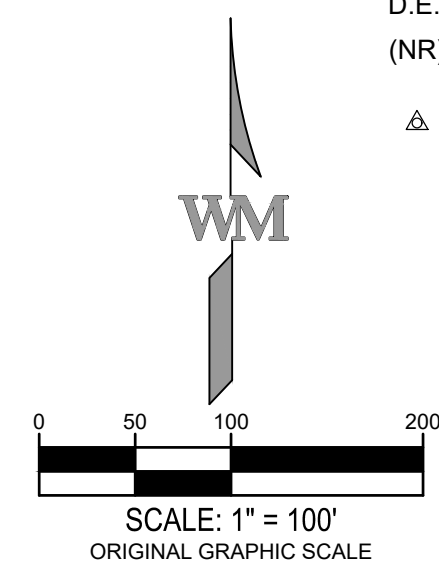
CASE NO. PRC2019-00015



KEY MAP
N.T.S.

LEGEND

- SECTION LINE
- SITE BOUNDARY
- EXISTING EASEMENT
- EXISTING RIGHT-OF-WAY
- EXISTING LOT LINE
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NO.	DATE	REMARKS	NO.	DATE	REMARKS	JOB NO.	16091
1	03/01/2021	COUNTY COMMENTS				PA/PM:	TJ
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						DATE:	12/24/2020
						SCALE:	1" = 100'






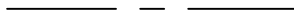











BASELINE LAKES SUBDIVISION
FINAL DEVELOPMENT PLAN-2ND AMENDMENT

SHEET
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Sheet 9 of 11

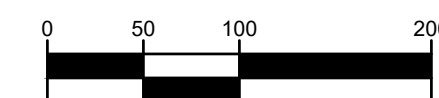
CASE NO. PRC2019-00015

KEY MAP
N.T.S.

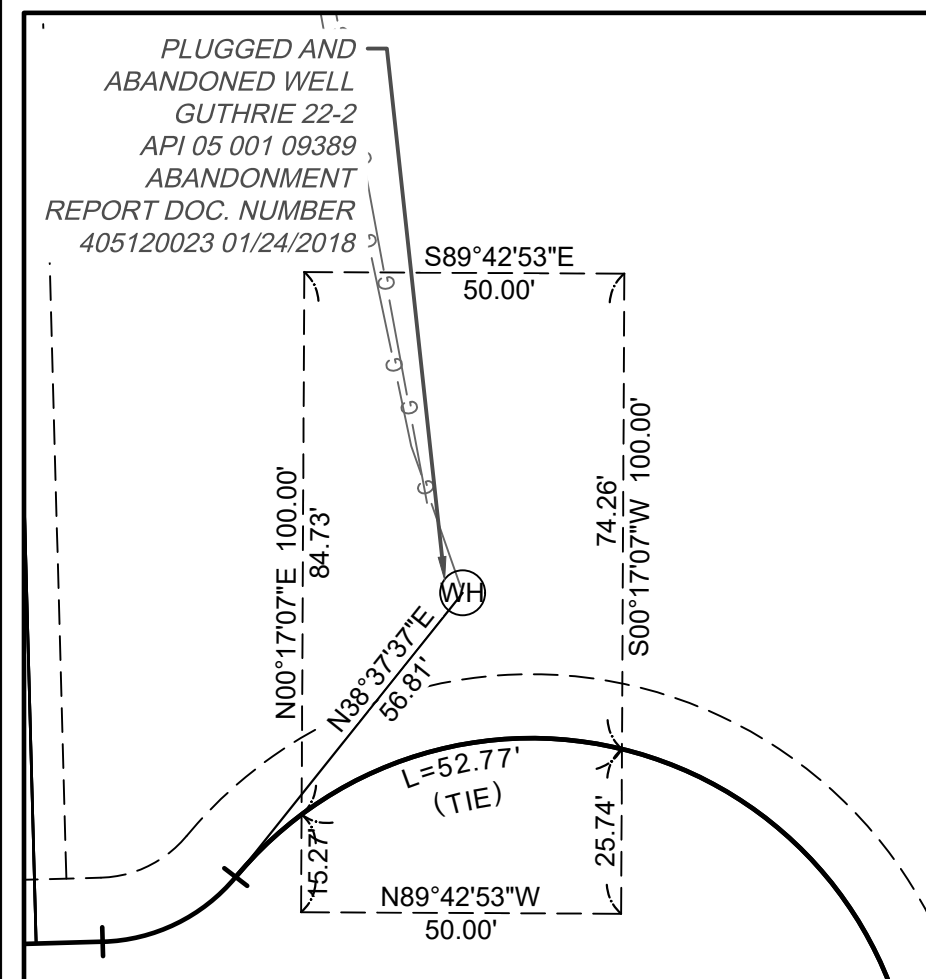
LEGEND

- | | |
|---|---|
|  | SECTION LINE |
|  | SITE BOUNDARY |
|  | EXISTING EASEMENT |
|  | EXISTING RIGHT-OF-WAY |
|  | EXISTING LOT LINE |
|  | CENTERLINE |
|  | PROPOSED RIGHT-OF-WAY |
|  | PROPOSED LOT & TRACT LINE |
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|  | UTILITY AND DRAINAGE
EASEMENT |
|  | OIL AND NATURAL GAS LINE |
|  | SET 18" NO. 5 REBAR WITH
1.25" YELLOW PLASTIC CAP
STAMPED "PLS 25965" |
|  | FOUND NO. 4 REBAR WITH 1"
YELLOW PLASTIC CAP
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STAMPED "PLS 38286" |
|  | FOUND NO. 4 REBAR |
|  | BLOCK NUMBER |
|  | SECTION CORNER AS NOTED |
| sq. ft. | SQUARE FEET |
| ac. | ACERS |
| ROW | RIGHT-OF-WAY |
| U.E. | UTILITY EASEMENT |
| D.E. | DRAINAGE EASEMENT |
| (NR) | NON-RADIAL |

SURVEY MONUMENT IN
MONUMENT BOX TO BE SET AT
ALL CENTERLINE
INTERSECTIONS, PCS, PTS,
AND RADIUS POINTS BY
DEVELOPERS SURVEYOR
UPON COMPLETION OF
STREET IMPROVEMENTS IN
ACCORDANCE WITH ADAMS
COUNTY DEVELOPMENT
STANDARDS SECTION 5-0408

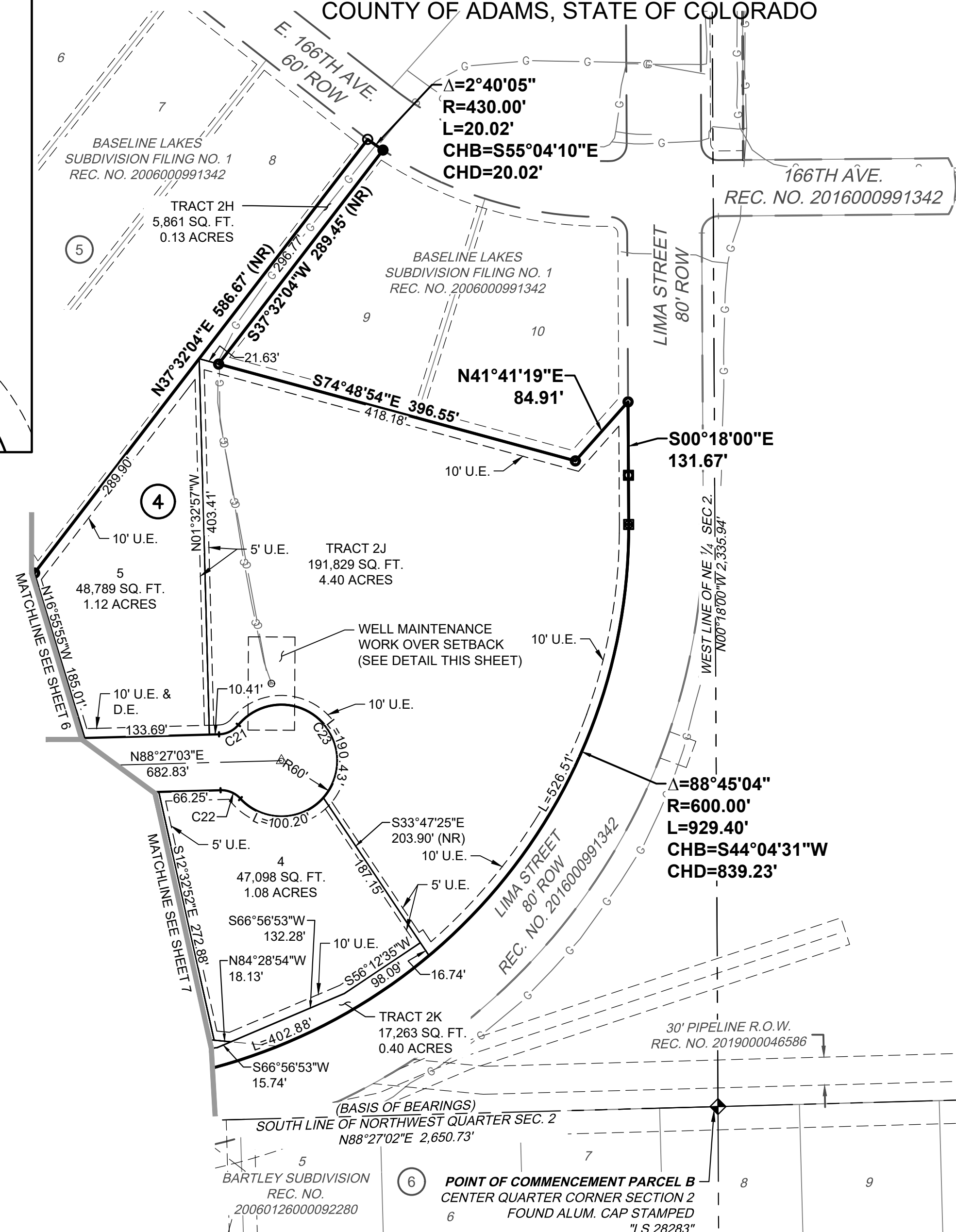


SCALE: 1" = 100'
ORIGINAL GRAPHIC SCALE



DETAIL
1"=30'

WELL MAINTANANCE WORK OVER SETBACK
SEE NOTES 10 AND 11 ON SHEET 2



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NO.	DATE	REMARKS	NO.	DATE	REMARKS	JOB NO.	16091
1	03/01/2021	COUNTY COMMENTS				PA/PM:	TJ
						DRAWN:	AJ
						DATE:	12/24/2020
						SCALE:	1" = 50'

BASELINE LAKES SUBDIVISION
FINAL DEVELOPMENT PLAN-2ND AMENDMENT

SHEET
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Sheet 10 of 11

CASE NO. PRC2019-00015

BASELINE LAKES SUBDIVISION

FINAL DEVELOPMENT PLAN - 2ND AMENDMENT

A PART OF THE NORTHWEST 1/4 OF SECTION 2, AND A PART OF THE EAST HALF OF SECTION 3,
TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO

CURVE TABLE					
CURVE #	DELTA	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	277°32'20"	60.00'	290.64'	S89°18'45"W	79.09'
C2	48°46'10"	28.00'	23.83'	S25°04'20"E	23.12'
C3	48°16'36"	28.00'	23.59'	N23°56'19"E	22.90'
C4	90°00'00"	25.00'	39.27'	N44°18'45"E	35.36'
C5	90°00'00"	25.00'	39.27'	S45°41'15"E	35.36'
C6	90°00'00"	25.00'	39.27'	N45°41'15"W	35.36'
C7	90°00'00"	25.00'	39.27'	S44°18'45"W	35.36'
C8	88°05'26"	25.00'	38.44'	N43°19'32"E	34.76'
C9	89°59'28"	25.02'	39.30'	N45°42'55"W	35.39'
C10	48°46'10"	28.00'	23.83'	N23°41'50"E	23.12'
C11	48°46'10"	28.00'	23.83'	S25°04'20"E	23.12'
C12	277°32'20"	60.00'	290.64'	N89°18'45"E	79.09'
C13	90°00'00"	18.00'	28.27'	N06°09'48"E	25.46'
C14	37°17'14"	200.00'	130.16'	N20°11'35"W	127.87'
C15	90°00'00"	18.00'	28.27'	S43°27'03"W	25.46'
C16	90°00'00"	18.00'	28.27'	S46°32'57"E	25.46'
C17	90°00'00"	18.00'	28.27'	S46°32'57"E	25.46'
C18	90°00'00"	18.00'	28.27'	S43°27'03"W	25.46'
C19	90°00'00"	18.00'	28.27'	S43°27'02"W	25.46'
C20	90°00'00"	18.00'	28.27'	N46°32'58"W	25.46'

CURVE TABLE					
CURVE #	DELTA	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C22	48°46'10"	28.00'	23.83'	N67°09'52"W	23.12'
C23	277°32'20"	60.00'	290.64'	N01°32'57"W	79.09'

LINE TABLE		
LINE #	BEARING	DISTANCE
L1	N00°41'15"W	74.15'
L2	S89°18'45"W	35.71'
L3	S00°41'15"E	72.51'
L4	S16°07'38"E	31.00'

BASELINE LAKES FILING NO. 2 - PRELIMINARY PLAT

CASE NO. PRC2019-00015

PURPOSE STATEMENT:

THIS **BASELINE LAKES FILING NO. 2 - PRELIMINARY PLAT** PLAT IS INTENDED TO SUBDIVIDE 71.063 ACRES INTO 33 SINGLE FAMILY LOTS, AND 11 TRACTS FOR OPEN SPACE, DRAINAGE AND DETENTION, AND DEDICATE RIGHT-OF-WAY AND GRANT EASEMENTS. ALL PUBLIC STREETS ARE HEREBY DEDICATED TO ADAMS COUNTY FOR PUBLIC USE. THE UNDERSIGNED DOES HEREBY DEDICATE, GRANT AND CONVEY TO ADAMS COUNTY THOSE PUBLIC EASEMENTS AS SHOWN ON THE PLAT; AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENT TO ADAMS COUNTY AND/OR ITS ASSIGNS, PROVIDED HOWEVER, THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCLAIM ALL OR ANY SUCH PUBLIC EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN ADAMS COUNTY.

LEGAL DESCRIPTION PARCEL A

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED BEING THE SOLE OWNERS OF THE FOLLOWING DESCRIBED TRACT OF LAND:

A PARCEL OF LAND BEING A PART OF THE NORTHWEST QUARTER OF SECTION 2 AND PART OF THE EAST HALF OF SECTION 3, TOGETHER WITH TRACT J., BASELINE LAKES SUBDIVISION - FILING NO. 1 RECORDED AT RECEPTION NO. 2006000991342 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER, IN THE NORTHWEST QUARTER OF SECTION 2, AND THE EAST HALF OF SECTION 3, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE WEST QUARTER CORNER OF SECTION 2 AND CONSIDERING THE SOUTH LINE OF SAID NORTHWEST QUARTER OF SECTION 2 TO BEAR NORTH 88°27'02" EAST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

THENCE SOUTH 00°43'12" EAST ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION TWO A DISTANCE OF 1,573.22 FEET;
THENCE NORTH 80°45'34" WEST A DISTANCE OF 443.01 FEET;
THENCE SOUTH 72°52'20" WEST A DISTANCE OF 34.34 FEET;
THENCE NORTH 68°48'28" WEST A DISTANCE OF 207.94 FEET;
THENCE NORTH 00°40'36" WEST A DISTANCE OF 2,163.64 FEET TO THE SOUTHWEST CORNER OF TRACT I SAID BASELINE LAKES SUBDIVISION FILING NO. 1;

THENCE ALONG THE BOUNDARY OF SAID TRACT I THE FOLLOWING FIVE (5) COURSES:
1) SOUTH 71°25'12" EAST A DISTANCE OF 162.93 FEET;
2) SOUTH 43°03'17" EAST A DISTANCE OF 584.32 FEET;
3) NORTH 69°04'49" EAST A DISTANCE OF 248.73 FEET;
4) SOUTH 67°09'06" EAST A DISTANCE OF 568.91 FEET;
5) SOUTH 01°32'58" EAST A DISTANCE OF 58.26 FEET TO THE NORTHERLY RIGHT-OF-WAY OF E. 164TH AVENUE;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES:
1) SOUTH 88°27'02" WEST A DISTANCE OF 11.63 FEET TO A POINT OF CURVATURE;
2) ALONG A NON-TANGENT CURVE TO THE ILEFT HAVING A CENTRAL ANGLE OF 20°22'30", A RADIUS OF 640.00 FEET, AN ARC LENGTH OF 227.59 FEET AND A CHORD THAT BEARS SOUTH 78°16'26" WEST A DISTANCE OF 226.39 FEET TO A POINT ON SAID SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION TWO;

THENCE SOUTH 88°27'02" WEST ALONG SAID SOUTH LINE A DISTANCE OF 408.66 FEET TO THE **POINT OF BEGINNING**;

SAID PARCEL CONTAINS AN AREA OF 1,467,856 SQUARE FEET, OR 33.697 ACRES, MORE OR LESS.

LEGAL DESCRIPTION PARCEL B

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED BEING THE SOLE OWNERS OF THE FOLLOWING DESCRIBED TRACT OF LAND:

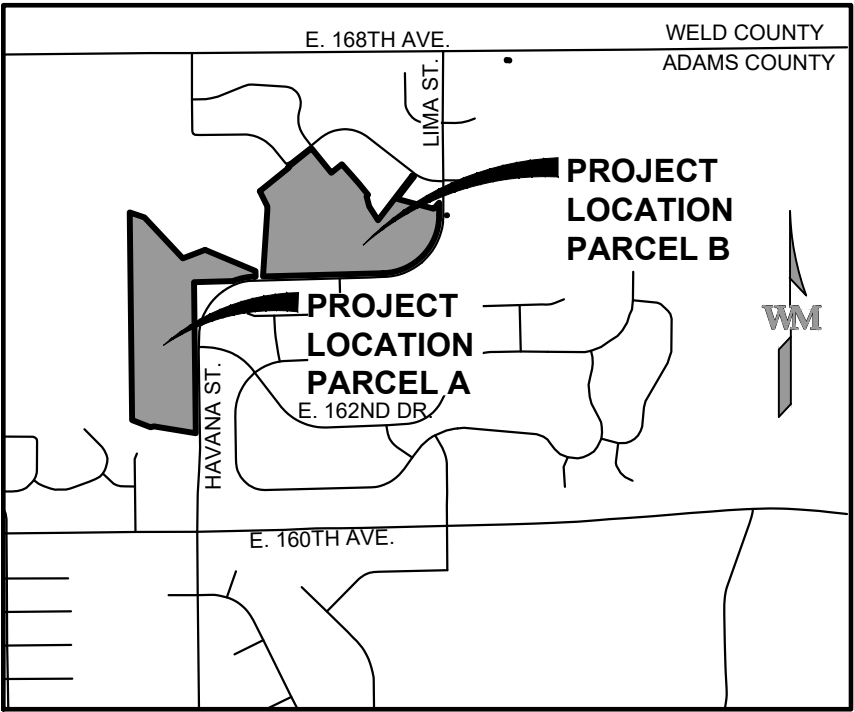
A PARCEL OF LAND BEING A PART OF THE NORTHWEST QUARTER OF SECTION 2 TOGETHER WITH TRACTS I, J AND S, BASELINE LAKES SUBDIVISION - FILING NO. 1 RECORDED AT RECEPTION NO. 2006000991342 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER, IN THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SECTION 2 AND CONSIDERING THE SOUTH LINE OF SAID NORTHWEST QUARTER OF SECTION 2 TO BEAR NORTH 88°27'02" EAST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO:
THENCE NORTH 88°10'35" WEST A DISTANCE OF 679.86 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY OF E. 164TH AVENUE AND THE **POINT OF BEGINNING**;

THENCE SOUTH 88°27'02" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY A DISTANCE OF 1,252.64 FEET TO THE SOUTHEAST CORNER OF TRACT I, BASELINE LAKES SUBDIVISION FILING NO. 1, RECORDED AT RECEPTION NO. 200600091342 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER;

THENCE ALONG THE BOUNDARY OF SAID TRACT I THE FOLLOWING THREE (3) COURSES:
1) NORTH 03°51'44" EAST A DISTANCE OF 690.57 FEET;
2) NORTH 00°05'55" WEST A DISTANCE OF 41.40 FEET;
3) NORTH 26°26'19" WEST A DISTANCE OF 176.85 FEET TO A POINT ON THE BOUNDARY OF SAID BASELINE LAKES SUBDIVISION - FILING NO. 1;

A PART OF THE NORTHWEST 1/4 OF SECTION 2, AND A PART OF THE EAST HALF OF SECTION 3,
TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 1 OF 9



VICINITY MAP

SCALE 1"=2000'

LEGAL DESCRIPTION PARCEL B CONTINUED

THENCE ALONG SAID BOUNDARY OF BASELINE LAKES SUBDIVISION FILING NO. 1 THE FOLLOWING SIXTEEN (16) COURSES;
1) NORTH 51°09'48" EAST A DISTANCE OF 386.88 FEET;
2) NORTH 38°50'12" WEST A DISTANCE OF 9.41 FEET;
3) NORTH 51°09'48" EAST A DISTANCE OF 312.36 FEET;
4) SOUTH 38°50'12" EAST A DISTANCE OF 327.08 FEET;
5) NORTH 51°09'48" EAST A DISTANCE OF 141.36 FEET;
6) SOUTH 41°41'59" EAST A DISTANCE OF 145.71 FEET;
7) SOUTH 41°24'06" EAST A DISTANCE OF 124.87 FEET;
8) SOUTH 38°53'25" EAST A DISTANCE OF 149.49 FEET;
9) SOUTH 45°08'56" WEST A DISTANCE OF 21.88 FEET;
10) SOUTH 14°51'04" EAST A DISTANCE OF 109.72 FEET;
11) SOUTH 32°22'12" EAST A DISTANCE OF 169.84 FEET;
12) NORTH 37°32'04" EAST A DISTANCE OF 586.67 FEET TO A POINT OF CURVATURE;
13) ALONG A NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 02°40'05", A RADIUS OF 430.00 FEET, AN ARC LENGTH OF 20.02 FEET AND A CHORD THAT BEARS SOUTH 55°04'10" EAST A DISTANCE OF 20.02 FEET;
14) SOUTH 37°32'04" WEST A DISTANCE OF 289.45 FEET;
15) SOUTH 74°48'54" EAST A DISTANCE OF 396.55 FEET;
16) NORTH 41°41'19" EAST A DISTANCE OF 84.91 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY OF LIMA STREET;

THENCE ALONG SAID WESTERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES;
1) SOUTH 00°18'00" EAST A DISTANCE OF 131.67 FEET TO A POINT OF CURVATURE;
2) ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 88°45'04", A RADIUS OF 600.00 FEET, AN ARC LENGTH OF 929.40 FEET AND A CHORD THAT BEARS SOUTH 44°04'31" WEST A DISTANCE OF 839.23 FEET TO THE **POINT OF BEGINNING**;

SAID PARCEL CONTAINS AN AREA OF 1,627,679 SQUARE FEET, OR 37.366 ACRES, MORE OR LESS.

DEDICATION STATEMENT:

THE UNDERSIGNED OWNERS HAS BY THESE PRESENTS LAID OUT, PLATTED, AND SUBDIVIDED THE SAME INTO LOTS AND BLOCKS, TRACTS, STREETS, EASEMENTS, SETBACKS, BUFFERS AND ACCESS, AS SHOWN ON THIS PLAT UNDER THE NAME **BASELINE LAKES FILING NO. 2 - PRELIMINARY PLAT**. ALL PUBLIC STREETS ARE HEREBY DEDICATED TO ADAMS COUNTY FOR PUBLIC USE. THE UNDERSIGNED DOES HEREBY GRANT AND CONVEY TO ADAMS COUNTY THOSE PUBLIC EASEMENTS AS SHOWN ON THE PLAT; AND FURTHER RESTRICTS THE USE OF ALL PUBLIC EASEMENTS TO ADAMS COUNTY AND / OR ITS ASSIGNS, PROVIDED HOWEVER, THAT THE SOLE RIGHT AND AUTHORITY TO RELEASE OR QUITCLAIM ALL OR ANY SUCH EASEMENTS SHALL REMAIN EXCLUSIVELY VESTED IN ADAMS COUNTY.

(SEE SHEET 3 FOR SIGNATURE BLOCKS)

STORM WATER MAINTENANCE MANUAL:

THE APPROVED STORM WATER MAINTENANCE MANUAL IS ON FILE WITH THE ADAMS COUNTY CLERK AND RECORDER OFFICE AT RECEPTION NO. _____.

SURVEYOR'S CERTIFICATE:

I, THOMAS D. STAAB, A DULY LICENSED PROFESSIONAL LAND SURVEYOR, REGISTERED IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THERE NO ROADS, PIPELINES, IRRIGATION DITCHES, OR OTHER EASEMENTS IN EVIDENCE OR KNOWN BY ME TO EXIST ON OR ACROSS THE HEREIN BEFORE DESCRIBED PROPERTY EXCEPT AS SHOWN ON THIS PLAT. I FURTHER CERTIFY THAT I HAVE PERFORMED THE SURVEY SHOWN HEREON, OR SUCH SURVEY WAS PREPARED UNDER MY DIRECT RESPONSIBILITY AND SUPERVISION, THAT THIS PLAT ACCURATELY REPRESENTS SAID SURVEY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREIN.

THOMAS D. STAAB
COLORADO P.L.S. NO. 25965
FOR & ON BEHALF OF: WARE MALCOMB
990 SOUTH BROADWAY, SUITE 230
DENVER, CO 80209
303.561.3333

PLANNING COMMISSION APPROVAL:

APPROVED BY THE ADAMS COUNTY PLANNING COMMISSION THIS

____ DAY OF _____, 20 ____.

CHAIR

BOARD OF COUNTY COMMISSIONERS APPROVAL:

APPROVED BY THE ADAMS COUNTY BOARD OF COMMISSIONERS THIS ____ DAY OF _____, 20 ____.

CHAIR

CERTIFICATE OF CLERK AND RECORDER:

THIS PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE ADAMS COUNTY CLERK AND RECORDER IN THE STATE OF COLORADO AT ____:____.M. ON THE ____ DAY OF _____, A.D., 20 ____.

COUNTY CLERK AND RECORDER

BY: _____
DEPUTY

990 south broadway
suite 230
denver, co 80209
p 303.561.3333
waremalcomb.com

WARE MALCOMB
CIVIL ENGINEERING & SURVEYING

NO.	DATE	REMARKS	NO.	DATE	REMARKS
1	03/01/2021	COUNTY COMMENTS			
2	03/31/2021	COUNTY COMMENTS			

JOB NO.	16091
PA/PM:	TJ
DRAWN:	AJ
DATE:	12/24/2020
SCALE:	NA

BASELINE LAKES
FILING NO. 2 - PRELIMINARY PLAT

SHEET
1
Sheet **1** of **9**

BASELINE LAKES FILING NO. 2 - PRELIMINARY PLAT

CASE NO. PRC2019-00015

A PART OF THE NORTHWEST 1/4 OF SECTION 2, AND A PART OF THE EAST HALF OF SECTION 3,
TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 2 OF 9

NOTES:

- THE **BASIS OF BEARINGS** FOR THIS PLAT IS THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 2. TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPLE MERIDIAN, ASSUMED TO BEAR NORTH 88°27'02" EAST AND IS MONUMENTED AS SHOWN HEREON.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508 OF THE COLORADO REVISED STATUTES.
- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY WARE MALCOMB TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL TITLE INFORMATION OF RECORD, WARE MALCOMB RELIED UPON COMMITMENT FOR TITLE INSURANCE ORDER NO. ABC70593425.2, ISSUED BY LAND TITLE GUARANTEE COMPANY, HAVING AN EFFECTIVE DATE OF DECEMBER 15, 2020 AT 5:00 P.M.
- THE LINEAL UNIT USED IN THE PREPARATION OF THIS PLAT IS THE U.S. SURVEY FOOT. THE UNITED STATES DEPARTMENT OF COMMERCE, NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY DEFINES THE U.S. SURVEY FOOT AS 1200/3937 METERS.
- BASED ON A REVIEW OF FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 08001C0326H, REVISED MARCH 5, 2007, SUBJECT PROPERTY IS IN ZONE X AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD.
- ENGINEERED INDIVIDUAL SEWAGE DISPOSAL SYSTEMS (ISDS) MAY BE REQUIRED ON CERTAIN LOTS. ENGINEERED ISDS ARE LARGER AND MORE COSTLY THAN CONVENTIONAL SYSTEMS. LOT-SPECIFIC SOILS AND PERCOLATION TESTS SHALL BE USED TO DETERMINE THE TYPE AND SIZE OF ISDS.
- SUITABLE AREA NEEDS TO BE DESIGNED ON EACH LOT SITE PLAN FOR BOTH PRIMARY AND REPLACEMENT WASTEWATER ABSORPTION AREAS. REPLACEMENT OF THE PRIMARY ABSORPTION AREA MAY BE REQUIRED. IF FAILURE OF THE PRIMARY AREA OCCURS, THESE AREAS NEED TO MEET ALL TRI-COUNTY HEALTH DEPARTMENT SETBACK REQUIREMENTS, AND ARE TO REMAIN FREE OF ANY IMPROVEMENTS, E.G. IRRIGATED LANDSCAPING, PAVING, OUT-BUILDINGS, ETC.
- INSPECTION OF ISDS SYSTEMS SHALL BE THE RESPONSIBILITY OF THE TODD CREEK METROPOLITAN DISTRICT. MAINTENANCE OF ISDS SYSTEMS SHALL BE THE RESPONSIBILITY OF THE OWNER.
- NOTICE TO PROSPECTIVE BUYERS:** THERE ARE PLUGGED AND ABANDONED WELLS LOCATED ON THIS PLAT IN TRACTS 2F AND 2J. PURSUANT TO ADAMS COUNTY DEVELOPMENT STANDARDS SECTION 4-10-02-03-03-05(2) THERE ARE 50FT BY 100FT BUFFERS AROUND THE ABANDONED WELLHEADS DEDICATED AS WELL MAINTENANCE AND WORKOVER SETBACKS. NO STRUCTURES, FENCES OR DRIVEWAYS SHALL BE LOCATED WITHIN THIS SETBACK. PUBLIC ACCESS FOR INGRESS AND EGRESS TO THE WELL MAINTENANCE AND WORKOVER SETBACK AREA IN TRACT 2J IS PROVIDED BY 165TH AVENUE AND TO THE WELL MAINTENANCE AND WORKOVER SETBACK IN TRACT 2F BY THE 20' ACCESS FROM 166TH PLACE.
- THE OWNER SHALL DISCLOSE TO PROSPECTIVE PURCHASERS OF LOTS WITHIN A RADIUS OF 200 FEET OF THE PLUGGED AND ABANDONED WELLS OF (1) THE LOCATION OF THE PLUGGED AND ABANDONED WELL, (2) THE LOCATION OF THE MAINTENANCE AND WORKOVER SETBACK, AND (3) THE PURPOSE FOR THE WELL MAINTENANCE AND WORKOVER SETBACK.
- NO STRUCTURES MAY BE CONSTRUCTED WITHIN THE 250' OIL AND GAS WELL SETBACK EASEMENT IN TRACT 2F.
- THERE ARE EXISTING UNDERGROUND GAS AND/OR OIL LINES WITHIN UNDOCUMENTED EASEMENTS WITHIN THIS DEVELOPMENT. THIS IS A GENERAL NOTE INFORMING THAT SUCH LINES OR EASEMENTS MAY EXIST ON ANY LOT AND CANNOT BE ACCURATELY LOCATED ON ANY PLATS AND THAT THE SURVEYOR/ENGINEER ARE NOT LIABLE OR RESPONSIBLE FOR ANY BUILDING RESTRICTIONS OR LIMITATIONS CAUSED BY THESE LINES OR EASEMENTS. RESPONSIBILITY IS WITH THE OWNER/DEVELOPER TO LOCATE ANY SUCH LINES SO AS TO PROVIDE AN ACCEPTABLE BUILDING ENVELOPE.

STORM DRAINAGE FACILITIES STATEMENT:

THE POLICY OF THE COUNTY REQUIRES THAT MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE SUBDIVISION DEVELOPMENT AGREEMENT. SHOULD THE OWNER FAIL TO MAINTAIN SAID FACILITIES, THE COUNTY SHALL HAVE THE RIGHT TO ENTER SAID LAND FOR THE SOLE PURPOSE OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COST WILL BE ASSESSED TO THE PROPERTY OWNERS.

EASEMENT STATEMENT:

TEN-FOOT (10') WIDE UTILITY AND DRAINAGE EASEMENTS ARE HEREBY DEDICATED ON PRIVATE PROPERTY ADJACENT TO THE FRONT LOT LINES OF EACH LOT AND TRACTS 2G AND 2J IN THE SUBDIVISION. TEN-FOOT (10') WIDE DRY UTILITY EASEMENTS ARE HEREBY DEDICATED ON PRIVATE PROPERTY ADJACENT TO THE REAR LINES OF EACH LOT AND TRACTS 2G AND 2J. FIVE-FOOT (5') WIDE DRY UTILITY EASEMENTS ARE HEREBY DEDICATED ON PRIVATE PROPERTY ADJACENT TO THE SIDE LINES OF EACH LOT AND TRACTS 2G AND 2J. A BLANKET ACCESS AND DRY UTILITY EASEMENT IS HEREBY DEDICATED OVER TRACT H. THESE EASEMENTS ARE DEDICATED TO ADAMS COUNTY FOR THE BENEFIT OF THE APPLICABLE UTILITY PROVIDERS FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF UTILITIES. UTILITY EASEMENTS SHALL ALSO BE GRANTED WITHIN ANY ACCESS EASEMENTS AND PRIVATE STREETS IN THE SUBDIVISION. PERMANENT STRUCTURES, IMPROVEMENTS, OBJECTS, BUILDINGS, WELLS, WATER METERS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR USE THEREOF (INTERFERING OBJECTS) SHALL NOT BE PERMITTED WITHIN SAID UTILITY EASEMENTS AND THE UTILITY PROVIDERS, AS GRANTEES, MAY REMOVE ANY INTERFERING OBJECTS AT NO COST TO SUCH GRANTEES, INCLUDING, WITHOUT LIMITATION, VEGETATION.

TRACT SUMMARY

TRACT	USE	AREA (SF)	AREA (AC)	MAINTENANCE	OWNER
2A	OIL/GAS PIPELINE	9,163	0.21	BASELINE LAKES HOA	BASELINE LAKES HOA
2B	DRAINAGE	19,155	0.44	BASELINE LAKES HOA	BASELINE LAKES HOA
2C	OIL/GAS PIPELINE	6,711	0.15	BASELINE LAKES HOA	BASELINE LAKES HOA
2D	WATER/DRAINAGE	8,872	0.20	BASELINE LAKES HOA	BASELINE LAKES HOA
2E	OPEN SPACE	189,907	4.36	BASELINE LAKES HOA	BASELINE LAKES HOA
2F	FUTURE DEVELOPMENT	626,092	14.37	BASELINE LAKES HOA	BASELINE LAKES HOA
2G	DRAINAGE	92,285	2.12	BASELINE LAKES HOA	BASELINE LAKES HOA
2H	OPEN SPACE	5,861	0.13	BASELINE LAKES HOA	BASELINE LAKES HOA
2J	DRAINAGE	191,829	4.40	BASELINE LAKES HOA	BASELINE LAKES HOA
2K	WATERLINE/DRAINAGE	17,263	0.40	BASELINE LAKES HOA	BASELINE LAKES HOA
2L	OIL/GAS PIPELINE	16,336	0.38	BASELINE LAKES HOA	BASELINE LAKES HOA

ACCESS PROVISION STATEMENT:

STATEMENT RESTRICTING ACCESS: ACCESS ACROSS THE RIGHT-OF-WAY LINES OF MAJOR HIGHWAYS, PARKWAYS, STREETS OR FREEWAYS, MUST BE APPROVED BY ADAMS COUNTY.

990 south broadway suite 230 denver, co 80209 p 303.561.3333 waremalcomb.com	WARE MALCOMB CIVIL ENGINEERING & SURVEYING	NO.	DATE	REMARKS	NO.	DATE	REMARKS	JOB NO. 16091	BASELINE LAKES FILING NO. 2 - PRELIMINARY PLAT	SHEET 2 Sheet 2 of 9
		1	03/01/2021	COUNTY COMMENTS				PA/PM: TJ		
		2	03/31/2021	COUNTY COMMENTS				DRAWN: AJ		
								DATE: 12/24/2020		
								SCALE: NA		

BASELINE LAKES FILING NO. 2 - PRELIMINARY PLAT

CASE NO. PRC2019-00015

A PART OF THE NORTHWEST 1/4 OF SECTION 2,AND A PART OF THE EAST HALF OF SECTION 3,
TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 3 OF 9

CERTIFICATE OF OWNERSHIP

IN WITNESS THEREOF, _____ HAVE CAUSED
THESE PRESENTS TO BE EXECUTED THIS _____ DAY OF
_____ AD.

OWNER: TAYLOR R. CARLSON

BY: _____
TAYLOR R. CARLSON

TAYLOR R. CARLSON
12460 1ST STREET
THORNTON, COLORADO 80241

NOTARY PUBLIC
STATE OF COLORADO)
) SS
COUNTY OF ADAMS)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED
BEFORE ME THIS _____ DAY OF _____ AD.
BY TAYLOR R. CARLSON

WITNESS MY HAND AND OFFICIAL SEAL NOTARY SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____
NOTARY ADDRESS: _____

CERTIFICATE OF OWNERSHIP

IN WITNESS THEREOF, _____ HAVE CAUSED
THESE PRESENTS TO BE EXECUTED THIS _____ DAY OF
_____ AD.

OWNER: CORY J. THORNTON

BY: _____
CORY J. THORNTON

CORY J. THORNTON
12460 1ST STREET
THORNTON, COLORADO 80241

NOTARY PUBLIC
STATE OF COLORADO)
) SS
COUNTY OF ADAMS)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED
BEFORE ME THIS _____ DAY OF _____ AD.
BY CORY J. THORNTON

WITNESS MY HAND AND OFFICIAL SEAL NOTARY SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____
NOTARY ADDRESS: _____

CERTIFICATE OF OWNERSHIP

IN WITNESS THEREOF, _____ HAVE CAUSED
THESE PRESENTS TO BE EXECUTED THIS _____ DAY OF
_____ AD.

OWNER: BRADLEY W. PENWELL

BY: _____
BRADLEY W. PENWELL

BRADLEY W. PENWELL
12460 1ST STREET
THORNTON, COLORADO 80241

NOTARY PUBLIC
STATE OF COLORADO)
) SS
COUNTY OF ADAMS)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED
BEFORE ME THIS _____ DAY OF _____ AD.
BY BRADLEY W. PENWELL

WITNESS MY HAND AND OFFICIAL SEAL NOTARY SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____
NOTARY ADDRESS: _____

CERTIFICATE OF OWNERSHIP

IN WITNESS THEREOF, _____ HAVE CAUSED
THESE PRESENTS TO BE EXECUTED THIS _____ DAY OF
_____ AD.

OWNER: BASELINE LAKES HOME OWNERS ASSOCIATION INC.

BY: _____ AS: _____
BASELINE LAKES HOME OWNERS ASSOCIATION INC, A COLORADO
NON-PROFIT CORPORATION

BASELINE LAKES HOME OWNERS ASSOCIATION INC. .
12460 1ST STREET
THORNTON, COLORADO 80241

NOTARY PUBLIC
STATE OF COLORADO)
) SS
COUNTY OF ADAMS)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED
BEFORE ME THIS _____ DAY OF _____ AD.
BY BASELINE LAKES HOME OWNERS ASSOCIATION INC.

WITNESS MY HAND AND OFFICIAL SEAL NOTARY SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____
NOTARY ADDRESS: _____

CERTIFICATE OF OWNERSHIP

IN WITNESS THEREOF, _____ HAVE CAUSED
THESE PRESENTS TO BE EXECUTED THIS _____ DAY OF
_____ AD.

OWNER: RYAN CARLSON

BY: _____
RYAN CARLSON

RYAN CARLSON
12460 1ST STREET
THORNTON, COLORADO 80241

NOTARY PUBLIC
STATE OF COLORADO)
) SS
COUNTY OF ADAMS)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED
BEFORE ME THIS _____ DAY OF _____ AD.
BY RYAN CARLSON

WITNESS MY HAND AND OFFICIAL SEAL NOTARY SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____
NOTARY ADDRESS: _____

CERTIFICATE OF OWNERSHIP

IN WITNESS THEREOF, _____ HAVE CAUSED
THESE PRESENTS TO BE EXECUTED THIS _____ DAY OF
_____ AD.

OWNER: JENNY L. MOORE

BY: _____
JENNY L. MOORE

JENNY L. MOORE
12460 1ST STREET
THORNTON, COLORADO 80241

NOTARY PUBLIC
STATE OF COLORADO)
) SS
COUNTY OF ADAMS)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED
BEFORE ME THIS _____ DAY OF _____ AD.
BY JENNY L. MOORE

WITNESS MY HAND AND OFFICIAL SEAL NOTARY SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____
NOTARY ADDRESS: _____

CERTIFICATE OF OWNERSHIP

IN WITNESS THEREOF, _____ HAVE CAUSED
THESE PRESENTS TO BE EXECUTED THIS _____ DAY OF
_____ AD.

OWNER: BASELINE LAKES HOLDINGS LLC.

BY: _____ AS: _____
BASELINE LAKES HOLDINGS LLC. A COLORADO LIMITED LIABILITY COMPANY

BASELINE LAKES HOLDINGS LLC.
12460 1ST STREET
THORNTON, COLORADO 80241

NOTARY PUBLIC
STATE OF COLORADO)
) SS
COUNTY OF ADAMS)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED
BEFORE ME THIS _____ DAY OF _____ AD.
BY BASELINE LAKES HOLDINGS LLC.

WITNESS MY HAND AND OFFICIAL SEAL NOTARY SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____
NOTARY ADDRESS: _____

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NO.	DATE	REMARKS	NO.	DATE	REMARKS	JOB NO.	16091
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						DATE:	12/24/2020
						SCALE:	NA

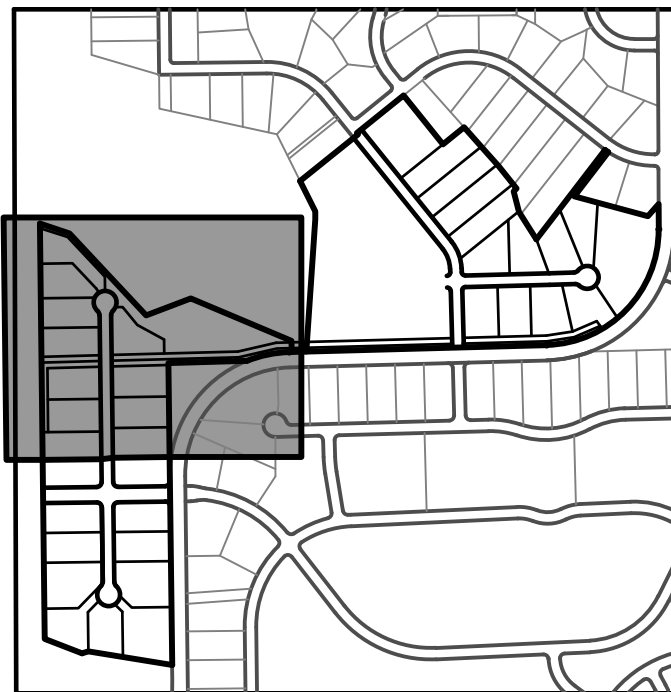
BASELINE LAKES
FILING NO. 2 - PRELIMINARY PLAT

SHEET
3
Sheet 3 of 9

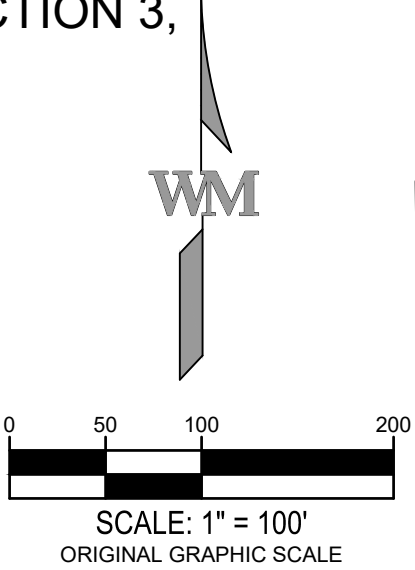
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COUNTY OF ADAMS, STATE OF COLORADO
SHEET 4 OF 9

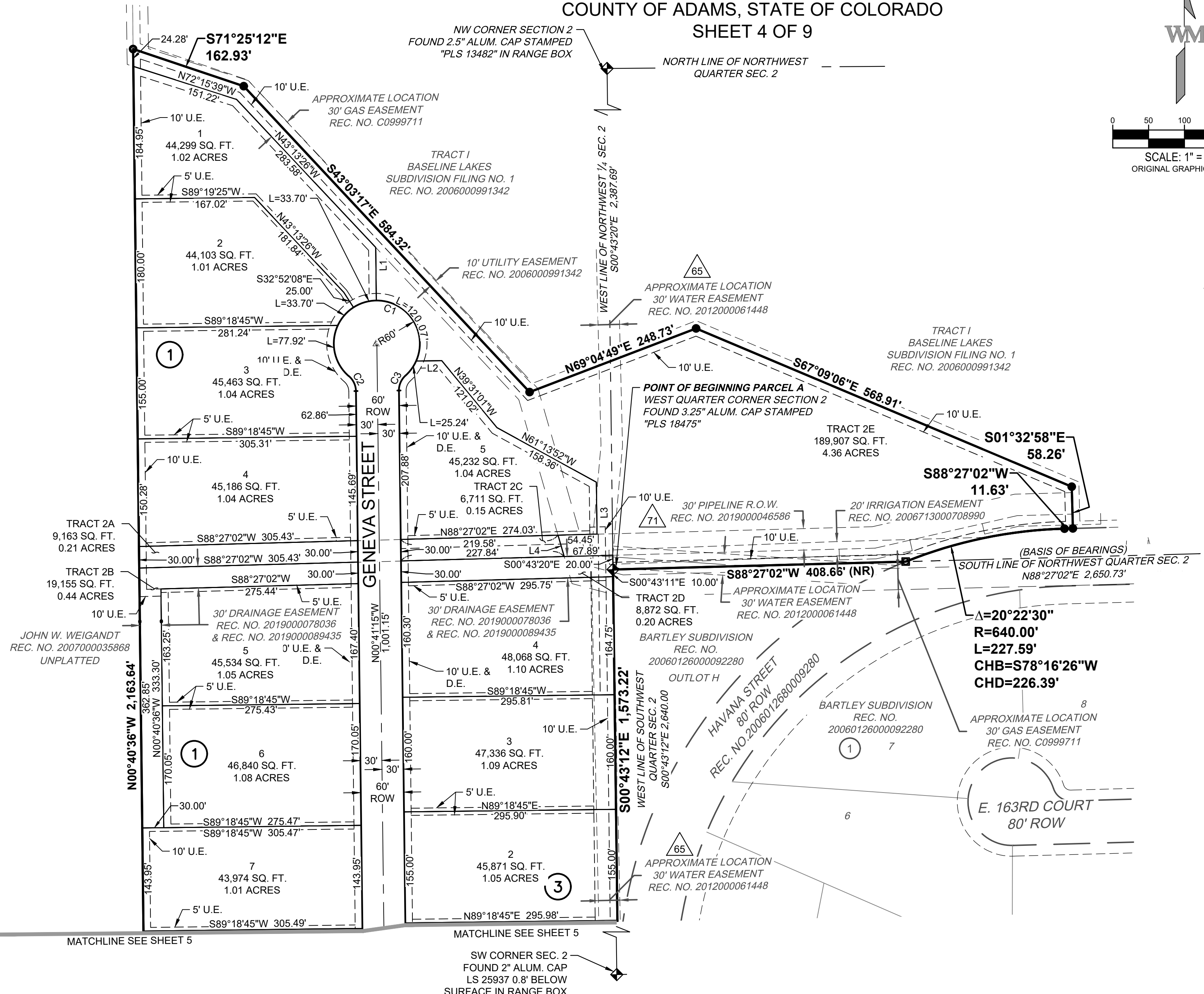


KEY MAP
N.T.S.



LEGEND

- SECTION LINE
- SITE BOUNDARY
- EXISTING EASEMENT
- EXISTING RIGHT-OF-WAY
- EXISTING LOT LINE
- CENTERLINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT & TRACT LINE
- GAS SETBACK
- UTILITY AND DRAINAGE EASEMENT
- OIL AND NATURAL GAS LINE
- SET 18" NO. 5 REBAR WITH 1.25" YELLOW PLASTIC CAP STAMPED "PLS 25965"
- FOUND NO. 4 REBAR WITH 1" YELLOW PLASTIC CAP STAMPED "PLS 23899"
- FOUND NO. 5 REBAR WITH 1.25" YELLOW PLASTIC CAP STAMPED "PLS 38286"
- FOUND NO. 4 REBAR
- BLOCK NUMBER
- SECTION CORNER AS NOTED
- sq. ft. SQUARE FEET
- ac. ACERS
- ROW RIGHT-OF-WAY
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- (NR) NON-RADIAL
- SURVEY MONUMENT IN MONUMENT BOX TO BE SET AT ALL CENTERLINE INTERSECTIONS, PCS, PTS, AND RADIUS POINTS BY DEVELOPERS SURVEYOR UPON COMPLETION OF STREET IMPROVEMENTS IN ACCORDANCE WITH ADAMS COUNTY DEVELOPMENT STANDARDS SECTION 5-0408
- SCHEDULE B-2 EXCEPTION ITEMS



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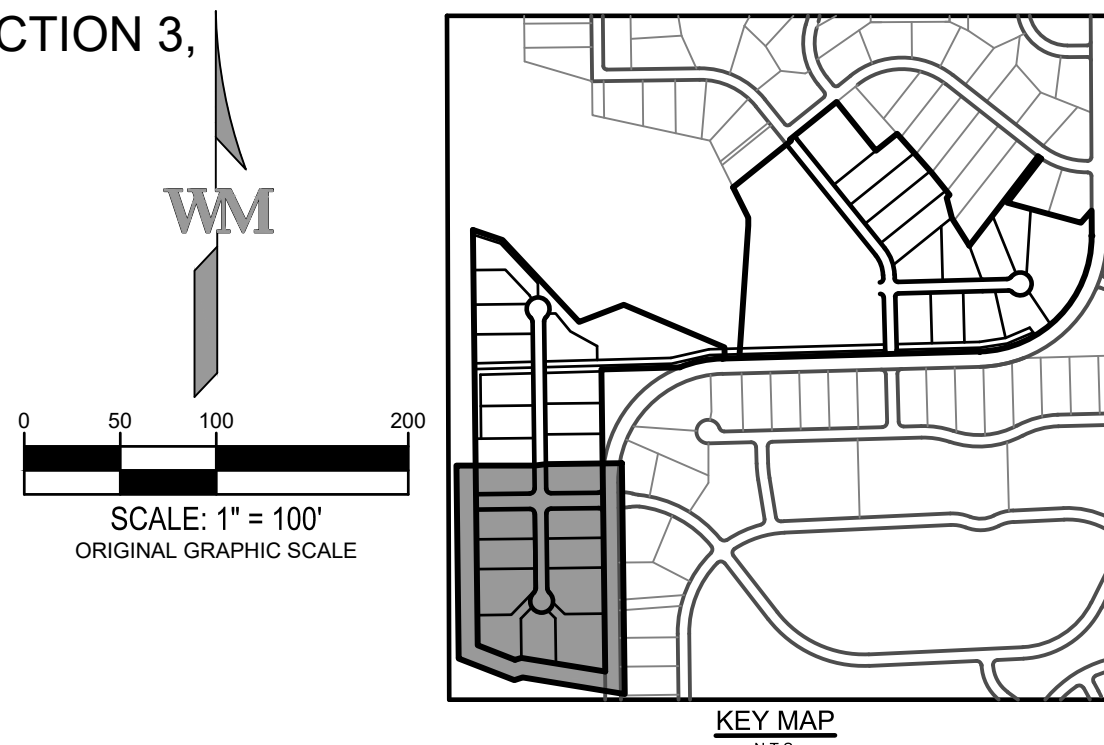
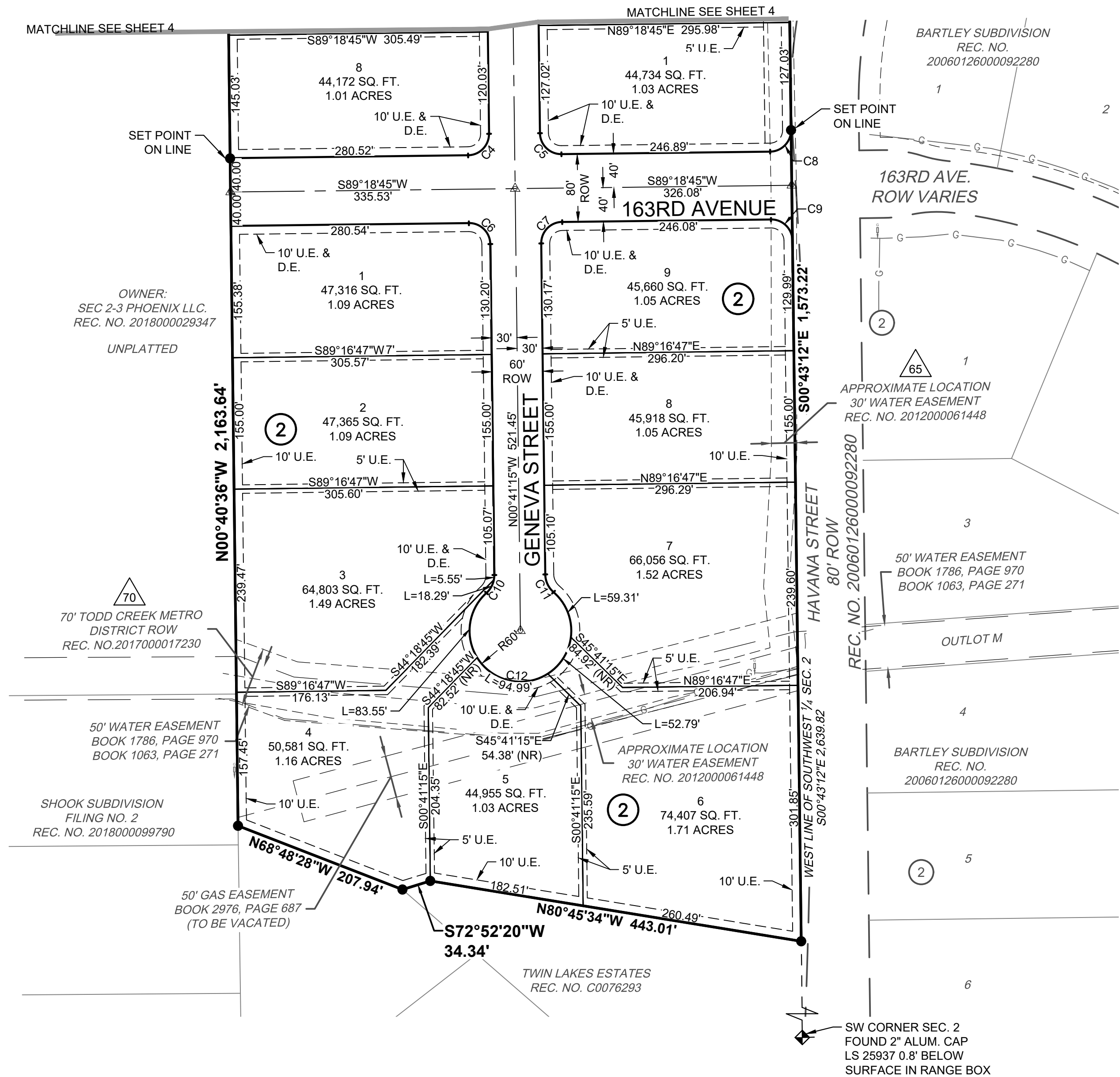
BASELINE LAKES
FILING NO. 2 - PRELIMINARY PLAT

SHEET
4
Sheet 4 of 9

BASELINE LAKES FILING NO. 2 - PRELIMINARY PLAT

CASE NO. PRC2019-00015

A PART OF THE NORTHWEST 1/4 OF SECTION 2, AND A PART OF THE EAST HALF OF SECTION 3,
TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 5 OF 9



- LEGEND**
- SECTION LINE
 - SITE BOUNDARY
 - EXISTING EASEMENT
 - EXISTING RIGHT-OF-WAY
 - EXISTING LOT LINE
 - CENTERLINE
 - PROPOSED RIGHT-OF-WAY
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 - SCHEDULE B-2 EXCEPTION ITEMS

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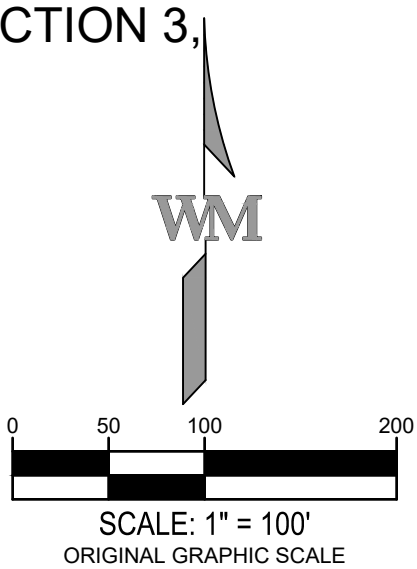
BASELINE LAKES
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5
Sheet 5 of 9

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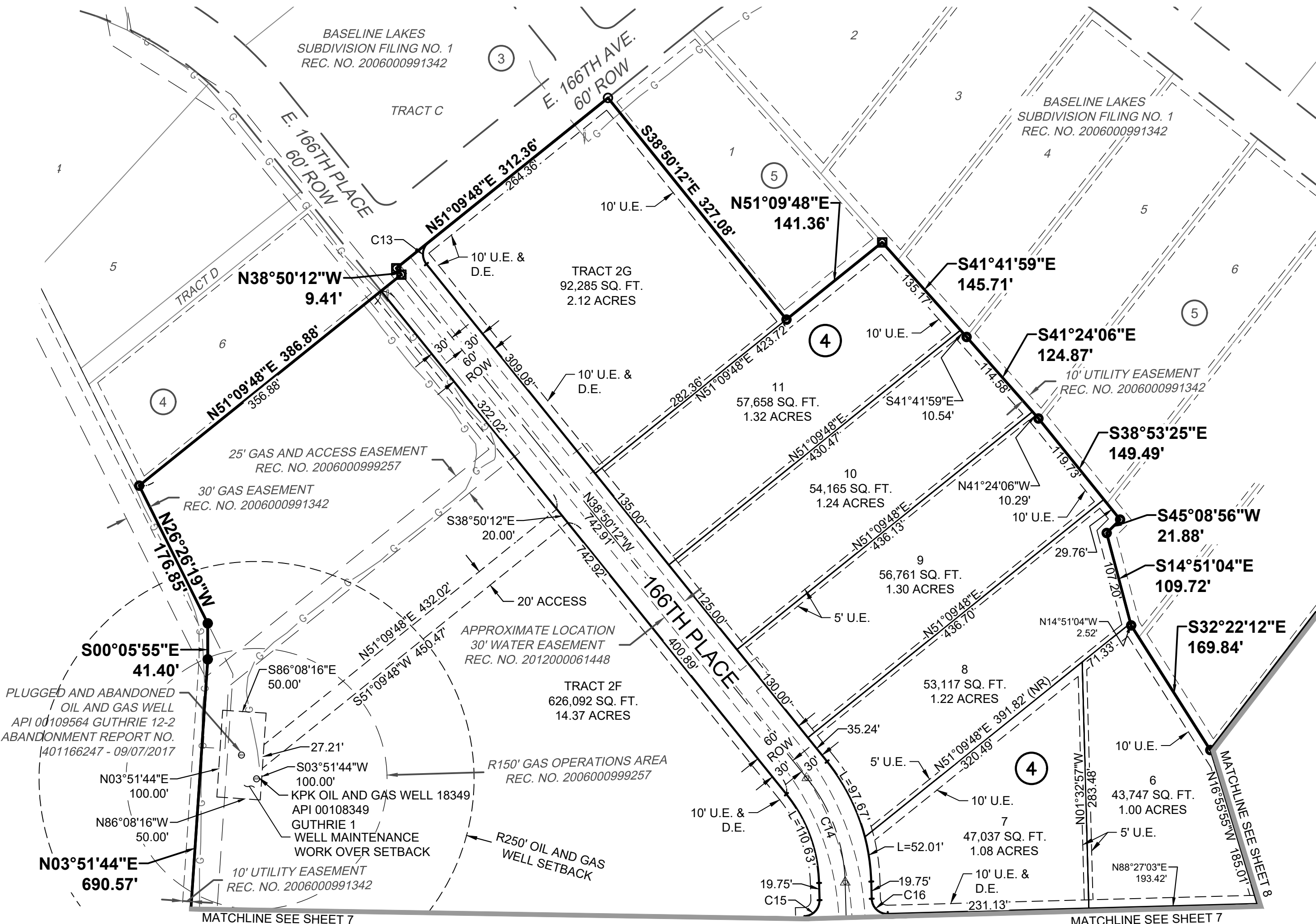
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COUNTY OF ADAMS, STATE OF COLORADO
SHEET 6 OF 9



LEGEND

- SECTION LINE
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- EXISTING RIGHT-OF-WAY
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- SURVEY MONUMENT IN MONUMENT BOX TO BE SET AT ALL CENTERLINE INTERSECTIONS, PCS, PTS, AND RADIUS POINTS BY DEVELOPERS SURVEYOR UPON COMPLETION OF STREET IMPROVEMENTS IN ACCORDANCE WITH ADAMS COUNTY DEVELOPMENT STANDARDS SECTION 5-0408



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p 303.561.3333
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WARE MALCOMB
CIVIL ENGINEERING & SURVEYING

NO.	DATE	REMARKS	NO.	DATE	REMARKS	JOB NO.	16091
1	03/01/2021	COUNTY COMMENTS				PA/PM:	TJ
2	03/31/2021	COUNTY COMMENTS				DRAWN:	AJ
						DATE:	12/24/2020
						SCALE:	1" = 100'

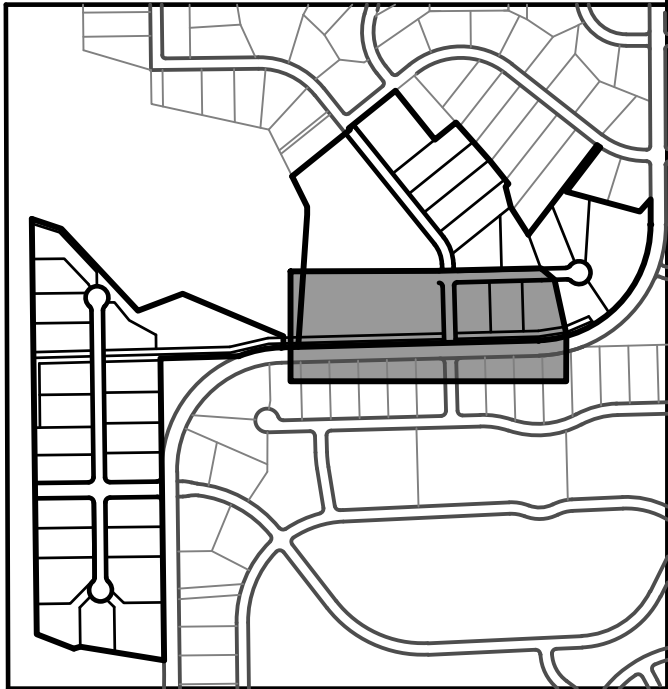
BASELINE LAKES
FILING NO. 2 - PRELIMINARY PLAT

SHEET
6
Sheet 6 of 9

BASELINE LAKES FILING NO. 2 - PRELIMINARY PLAT

CASE NO. PRC2019-00015

A PART OF THE NORTHWEST 1/4 OF SECTION 2, AND A PART OF THE EAST HALF OF SECTION 3,
TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 7 OF 9

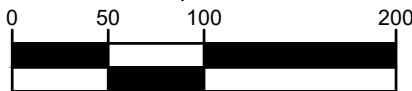


KEY MAP
N.T.S.

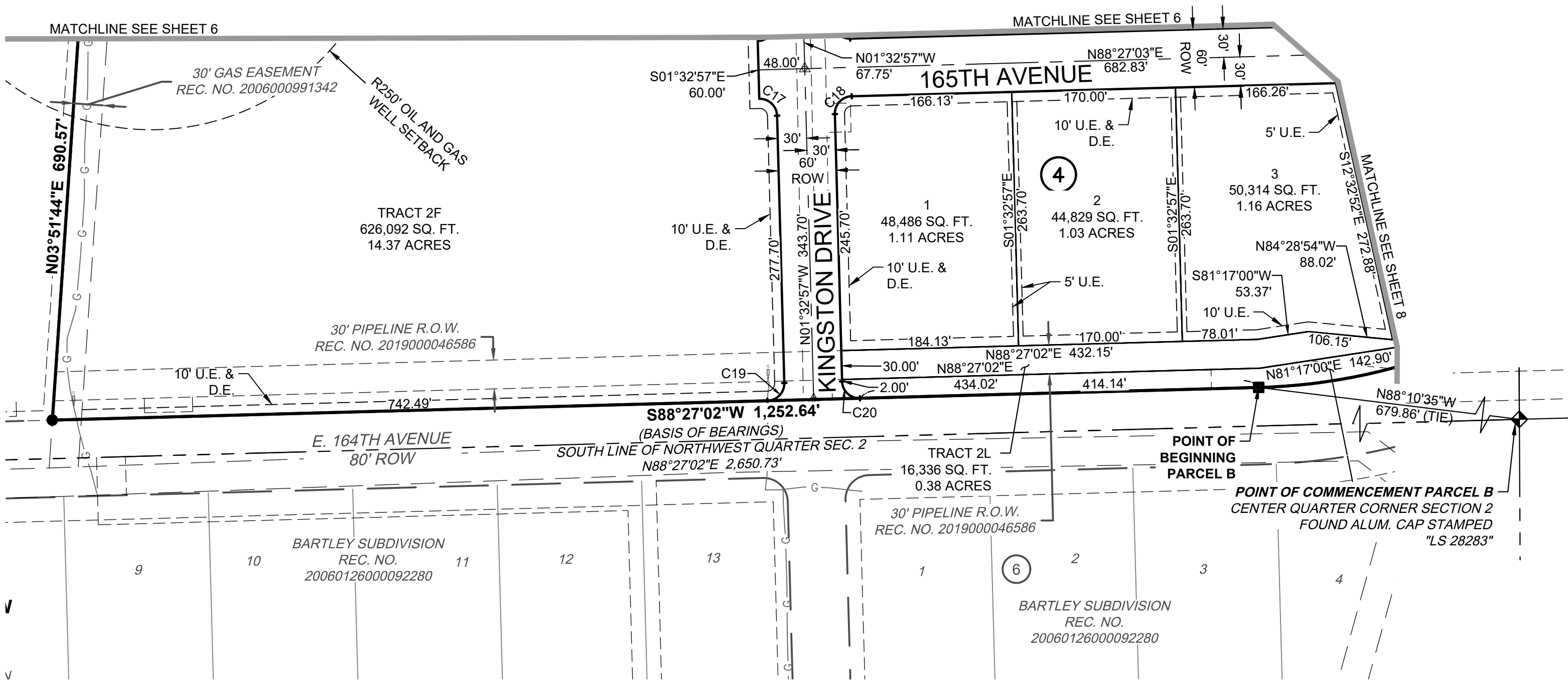
LEGEND

- SECTION LINE
- SITE BOUNDARY
- EXISTING EASEMENT
- EXISTING RIGHT-OF-WAY
- EXISTING LOT LINE
- CENTERLINE
- PROPOSED RIGHT-OF-WAY
- PROPOSED LOT & TRACT LINE
- GAS SETBACK
- UTILITY AND DRAINAGE EASEMENT
- OIL AND NATURAL GAS LINE
- SET 18" NO. 5 REBAR WITH 1.25" YELLOW PLASTIC CAP STAMPED "PLS 25965"
- FOUND NO. 4 REBAR WITH 1" YELLOW PLASTIC CAP STAMPED "PLS 23899"
- FOUND NO. 5 REBAR WITH 1.25" YELLOW PLASTIC CAP STAMPED "PLS 38286"
- FOUND NO. 4 REBAR
- BLOCK NUMBER
- SECTION CORNER AS NOTED
- SQ. FT.
- AC.
- ROW
- U.E.
- D.E.
- (NR)
- NON-RADIAL
- SURVEY MONUMENT IN MONUMENT BOX TO BE SET AT ALL CENTERLINE INTERSECTIONS, PCS, PTS, AND RADIUS POINTS BY DEVELOPERS SURVEYOR UPON COMPLETION OF STREET IMPROVEMENTS IN ACCORDANCE WITH ADAMS COUNTY DEVELOPMENT STANDARDS SECTION 5-0408

WM



SCALE: 1" = 100'
ORIGINAL GRAPHIC SCALE



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WARE MALCOMB
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1	03/01/2021	COUNTY COMMENTS				PA/PM:	TJ
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						DATE:	12/24/2020
						SCALE:	1" = 100'

BASELINE LAKES
FILING NO. 2 - PRELIMINARY PLAT

SHEET
7
Sheet 7 of 9

BASELINE LAKES FILING NO. 2 - PRELIMINARY PLAT

CASE NO. PRC2019-00015

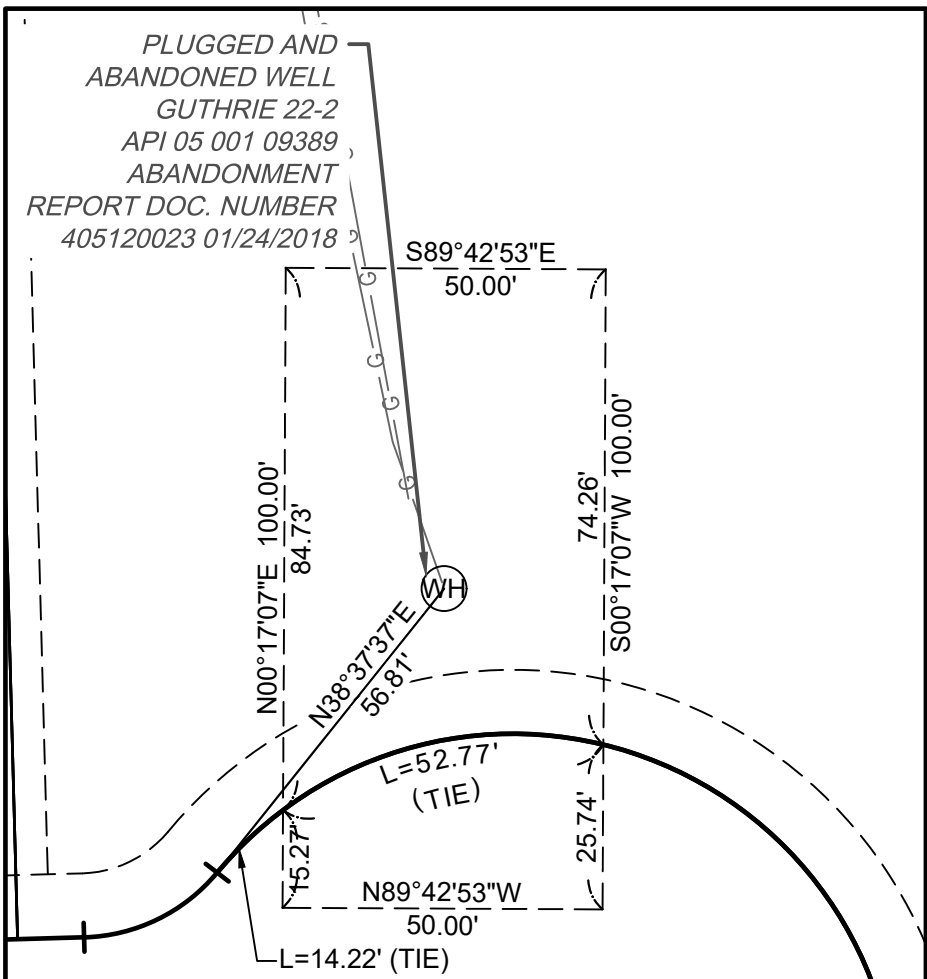
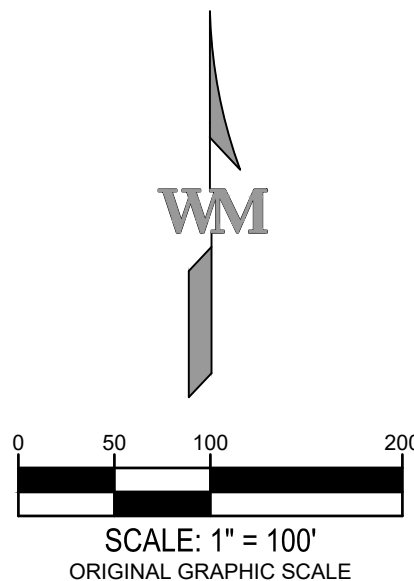
A PART OF THE NORTHWEST 1/4 OF SECTION 2, AND A PART OF THE EAST HALF OF SECTION 3,
TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 8 OF 9



KEY MAP
N.T.S.

LEGEND

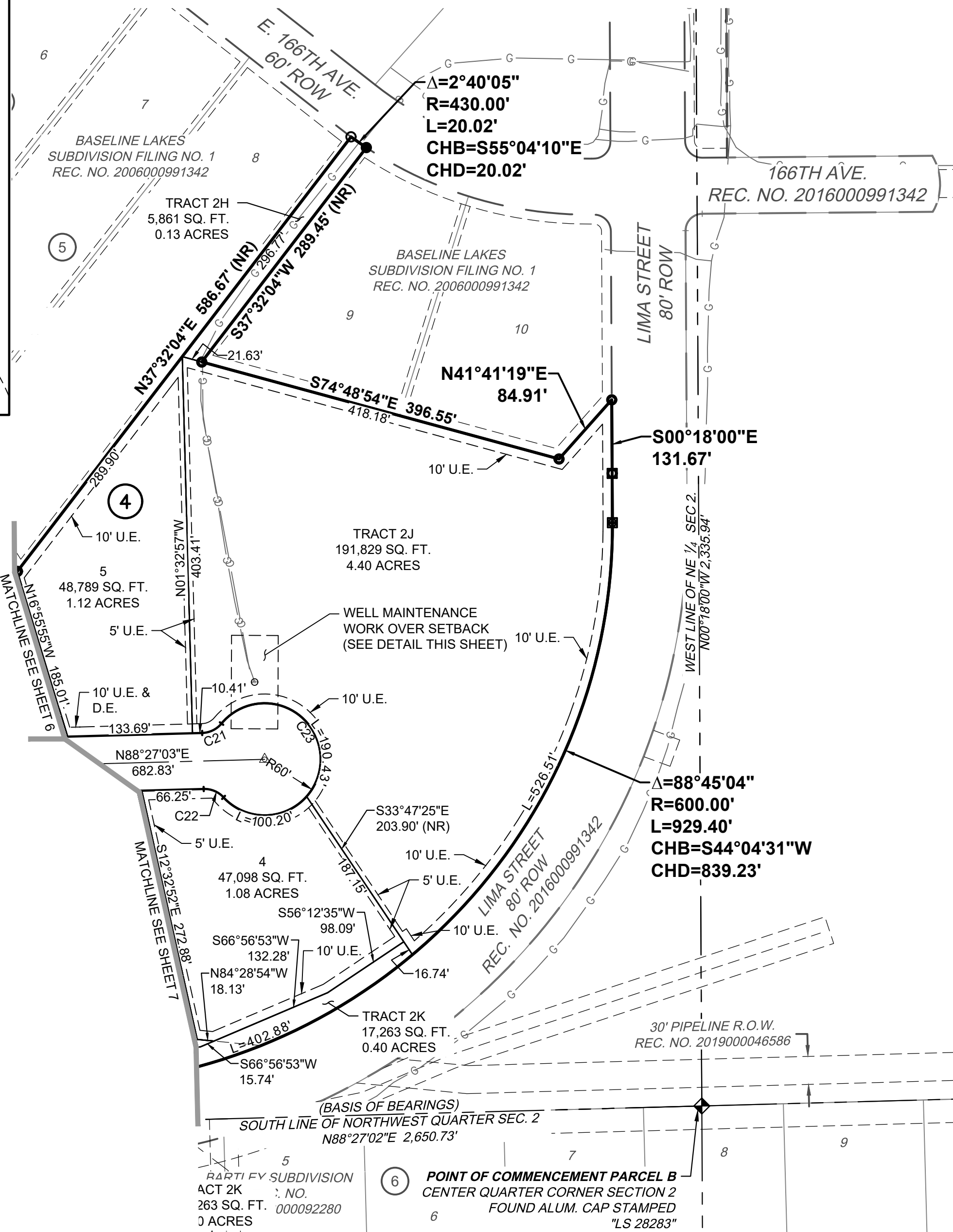
- SECTION LINE
- SITE BOUNDARY
- EXISTING EASEMENT
- EXISTING RIGHT-OF-WAY
- EXISTING LOT LINE
- CENTERLINE
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- FOUND NO. 5 REBAR WITH 1.25" YELLOW PLASTIC CAP STAMPED "PLS 38286"
- FOUND NO. 4 REBAR
- BLOCK NUMBER
- SECTION CORNER AS NOTED
- sq. ft. SQUARE FEET
- ac. ACERS
- ROW RIGHT-OF-WAY
- U.E. UTILITY EASEMENT
- D.E. DRAINAGE EASEMENT
- (NR) NON-RADIAL
- △ SURVEY MONUMENT IN MONUMENT BOX TO BE SET AT ALL CENTERLINE INTERSECTIONS, PCS, PTS, AND RADIUS POINTS BY DEVELOPERS SURVEYOR UPON COMPLETION OF STREET IMPROVEMENTS IN ACCORDANCE WITH ADAMS COUNTY DEVELOPMENT STANDARDS SECTION 5-0408



DETAIL

1"=30'

WELL MAINTANCE WORK OVER SETBACK
SEE NOTES 10 AND 11 ON SHEET 2



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1	03/01/2021	COUNTY COMMENTS				PA/PM:	TJ
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						DATE:	12/24/2020
						SCALE:	1" = 50'

BASELINE LAKES
FILING NO. 2 - PRELIMINARY PLAT

SHEET
8
Sheet 8 of 9

BASELINE LAKES FILING NO. 2 - PRELIMINARY PLAT

CASE NO. PRC2019-00015

A PART OF THE NORTHWEST 1/4 OF SECTION 2, AND A PART OF THE EAST HALF OF SECTION 3,
TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
COUNTY OF ADAMS, STATE OF COLORADO
SHEET 9 OF 9

CURVE TABLE					
CURVE #	DELTA	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C1	277°32'20"	60.00'	290.64'	S89°18'45"W	79.09'
C2	48°46'10"	28.00'	23.83'	S25°04'20"E	23.12'
C3	48°16'36"	28.00'	23.59'	N23°56'19"E	22.90'
C4	90°00'00"	25.00'	39.27'	N44°18'45"E	35.36'
C5	90°00'00"	25.00'	39.27'	S45°41'15"E	35.36'
C6	90°00'00"	25.00'	39.27'	N45°41'15"W	35.36'
C7	90°00'00"	25.00'	39.27'	S44°18'45"W	35.36'
C8	88°05'26"	25.00'	38.44'	N43°19'32"E	34.76'
C9	89°59'28"	25.02'	39.30'	N45°42'55"W	35.39'
C10	48°46'10"	28.00'	23.83'	N23°41'50"E	23.12'
C11	48°46'10"	28.00'	23.83'	S25°04'20"E	23.12'
C12	277°32'20"	60.00'	290.64'	N89°18'45"E	79.09'
C13	90°00'00"	18.00'	28.27'	N06°09'48"E	25.46'
C14	37°17'14"	200.00'	130.16'	N20°11'35"W	127.87'
C15	90°00'00"	18.00'	28.27'	S43°27'03"W	25.46'
C16	90°00'00"	18.00'	28.27'	S46°32'57"E	25.46'
C17	90°00'00"	18.00'	28.27'	S46°32'57"E	25.46'
C18	90°00'00"	18.00'	28.27'	S43°27'03"W	25.46'
C19	90°00'00"	18.00'	28.27'	S43°27'02"W	25.46'
C20	90°00'00"	18.00'	28.27'	N46°32'58"W	25.46'

CURVE TABLE					
CURVE #	DELTA	RADIUS	ARC LENGTH	CHORD DIRECTION	CHORD LENGTH
C21	48°46'10"	28.00'	23.83'	S64°03'58"W	23.12'
C22	48°46'10"	28.00'	23.83'	N67°09'52"W	23.12'
C23	277°32'20"	60.00'	290.64'	N01°32'57"W	79.09'

LINE TABLE		
LINE #	BEARING	DISTANCE
L1	N00°41'15"W	74.15'
L2	S89°18'45"W	35.71'
L3	S00°41'15"E	72.51'
L4	S16°07'38"E	31.00'

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
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Brighton, CO 80601-8204
PHONE 720.523.6800
FAX 720.523.6998

Development Review Team Comments

Date: 5/22/2020

Project Number: PRC2019-00015

Project Name: Baseline Lakes - PUD Amendment and Filing 2 Subdivision

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5

Commenting Division: Development Engineering Review

Name of Reviewer: Matthew Emmens

Date: 05/18/2020

Email: memmens@adcogov.org

Resubmittal Required

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0326H and 08001C0050H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. The installation of erosion and sediment control BMPs are expected.

ENG3: Prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents. The development review fee for an Engineering Review is dependent on the type of project and/or the size of the project. The Development Review fee can be found in the Development Services Fee Schedule, located on the following web page:
<http://www.adcogov.org/one-stop-customer-center>.

ENG4: The developer is required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of curb, gutter and sidewalk adjacent to the site and, any roadway improvements as required by the approved traffic impact study.

ENG5: Prior to the issuance of any construction or building permits, the developer shall enter into a Subdivision Improvements Agreement (SIA) with the County and provide a security bond for all public improvements.

ENG6: No building permits will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Transportation Dept.

ENG7: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk.

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 05/18/2020

Email: gjbarnes@adcogov.org

Resubmittal Required

Commenting Division: Addressing Review

Name of Reviewer: Eden Steele

Date: 05/18/2020

Email:

Resubmittal Required

ADR1: Addresses will be assigned on the Final Plat in accordance with the Denver Grid.

ADR2: Hanover St is a more appropriate name than the proposed Geneva St

ADR3: Proposed Joliet St becomes Kingston Dr south of E 164th Ave.

Commenting Division: ROW Review

Name of Reviewer: Holden Pederson

Date: 05/15/2020

Email:

Resubmittal Required

ROW1: Applicant must change title to read “Baseline Lakes Filing No. 2 Preliminary Plat” and case number in top right hand corner to read “PRC2019-00015” on each sheet.

ROW2: Existing street rights of way that intersect the subdivision boundary or are adjacent to said boundary lines shall be clearly labeled with the street name, right of way width and appropriate deed or plat recording information wherein the right of way is defined.

ROW3: Please confirm the location of items # 12, 13, 14, 17, 20, 21, 23, 24, 28, 36, 51, 52, 55, 56, 57, 58, 59, 65, 70, 71, 72, 73 of the Schedule B – Part 2 Exceptions of the Title Commitment, which all reference easements or right-of-way agreements associated with the overall property.

ROW4: Staff has confirmed that the following exceptions have been included by the applicant on the plat: item # 16 (shown on Sheet 9).

ROW5: If the location of any of the exceptions defined within the Schedule B – Part 2 Exceptions of the Title Commitment are not shown on the plat, please provide a statement or general note as to why (i.e. Exception – Rec No:).

ROW6: Applicant has provided a 50’ x 200’ well maintenance and workover setback for Tract K (shown on Sheet 6) for the plugged and abandoned well. Applicant has also included the required plat notes for plugged and abandoned wells.

ROW7: Applicant must describe the purpose of the well maintenance work over setback for Block 4, Lot 6 (shown on Sheet 7). Is this for a plugged and abandoned well or for an existing well? Please ensure that all requirements of Chapter 4, Section 4-10-02-03-03-05 have been met, including the following:

- a. All oil and gas well flow lines and/or easements shall be graphically depicted on the Final Plat.
- b. All surface and subsurface agreements shall be noted on the Final Plat by the recorded book and page number.

Commenting Division: Environmental Analyst Review

Name of Reviewer: Katie Keefe

Date: 05/12/2020

Email:

Resubmittal Required

ENV1. There are two plugged and abandoned oil and gas wells owned by Petroshare located within subject parcel 0157102200005. Prior to submittal of a final plat or site-specific development plan, each plugged and abandoned well shall be located and surveyed. The plugged and abandoned well shall be permanently marked by a brass plaque set in concrete similar to a permanent benchmark to monument its existence and location. Such plaque shall contain all information required on a dry hole marker by the Colorado Oil and Gas Conservation Commission and the County.

ENV2. On every final plat or site specific development plan which contains a plugged and abandoned well, there shall be dedicated a well maintenance and workover setback depicted on the plat, the dimensions of which shall be not less than fifty feet in width and 100 feet in length. No structures shall be located within this setback. The plugged and abandoned well shall be located in the center of the setback. There shall be public access for ingress and egress to the setback of a width of not less than twenty feet.

*Plugged and abandoned well within Tract G is not identified in the Plat Note #10. The workover setback for this well as shown on Sheet 7 the Preliminary Plat is partially covered by a proposed, paved cul-de-sac. Paved roads are considered a structure which would precludes workover rig access to the plugged and abandoned well.

ENV3. For both plugged and abandoned wells located in Tract K and G, the Final Plat shall include the following notice to prospective buyers of the location of the oil and gas well and associated easements: "The owner shall disclose to prospective purchasers of lots within a radius of 200 feet of the plugged and abandoned well of (1) the location of the plugged and abandoned well, (2) the location of the maintenance and workover setback, and (3) the purpose for the well maintenance and workover setback."

ENV4. There are flowlines also located within Parcel 0157102200005. All known oil and gas well flow lines and/or easements shall be graphically depicted on the Final Plat.

ENV5. There is one producing oil and gas well operated by KP Kauffman located within Parcel 0157102200005. This well is not delineated on the preliminary plat. A 250-foot, no-build buffer area surrounding each oil and gas well applies to all proposed residential development. The 250-foot setback, in the form of an easement on the final plat, may be required by the Director of CEDD. See Section 4-10-02-04-05.

ENV6. Pursuant to Section 4-06-01-02-01-12, where a new home and/or other permanent structure with plumbing is constructed within three hundred (300) feet of an existing oil and gas well, the property owner shall submit a signed waiver acknowledging the existence of the facility.

BASELINES LAKES
PRC2019-00015

PLANNER REVIEW

Greg Barnes, Planner III

gjbarnes@adcogov.org

PLN01: ***Additional information needed.*** I believe that your requests should be for: 1. a major amendment to the Baseline Lakes Preliminary Development Plan (PDP); and 2. a major subdivision preliminary plat for Baseline Lakes, Filing No. 2. You indicate that you are filing an amendment to the Final Development Plan and an amendment to an approved preliminary plat. I do not agree that this is the appropriate path. You must amend a preliminary development plan before you can amend the final development plan. If you are amending a previous preliminary plat, then you will need to reference the previous plat's approval on the document (including recording number), and will need to show the entirety of the original plat's land area. I believe it is just easier to not call this an "amendment" and just file a new preliminary plat. It's the same approval process either way, and far less work.

The amendment to the PDP and the preliminary plat can be processed concurrently. Your final plat application for Filing No. 2 can accompany the amendment to the FDP and both of those applications can be processed concurrently, as well. In the end, there will be no delay in the processing, but we will ensure that the process is fair to everyone involved.

The following comments are related specifically to the Major Amendment to the Preliminary Development Plans:

PLN02: ***Just an FYI – no response needed.*** The Baseline Lakes Final Development Plan is recorded with the Adams County Clerk & Recorder under Instrument # 2006000991341. The original Adams County case number was PRC2006-00007. The approval established the Baseline Lakes Planned Unit Development on 316.99 acres of land. This document set the minimum lot size as one acre for residential lots, and a minimum lot width of 100 feet. The maximum density of the Baseline Lakes PUD was set at 1 dwelling unit per 1.27 acres; however, the FDP proposed a density of 1 dwelling unit per 1.67 acres. The approved FDP allowed for 192 single-family residential lots to be created. Each of the 192 residential lots are to have a minimum of 1,800 square feet for each primary structure and a maximum of 15% lot coverage for principal structures and 20% for all structures. Minimum setbacks were set for all structures, and a maximum structure height was also created. Two off-street parking spaces shall be provided in each residential driveway, with no vehicular storage allowed in the required front or side yard landscape areas. The 2006 approval include a permitted use table. In addition, specific landscaping metrics were required for each residential lot to be installed by the homeowners.

PLN03: ***Just an FYI – no response needed.*** Preliminary and Final Development Plans may be amended per Sections 2-02-11-03-04(10) and 2-02-11-04-04(10) of the Adams County Development Standards and Regulations (ACDSR). Per Section 2-01-10 of the ACDSR, the proposed amendment is classified as a major amendment, because it will change the character of the previously approved development and will likely result in a change in approved dwelling units by more or less than 5%. Major amendments are required to be processed in the same manner as the

original development (Sections 2-01-10-02, 2-02-11-03-04-04, and 2-02-11-04-04), and therefore are subject to the same approval criteria (Sections 2-02-11-03-04-05 and 2-02-11-04-04-05) as the original approvals.

- PLN04: **Revision requested.** Your written explanation of this project could provide greater detail. This explanation will be shared with the Planning Commission and the Board of County Commissioners. Here are a few questions that I have: Why are the reservoirs being filled and reclaimed? How will open space requirements be addressed specifically with the Baseline Lakes Planned Unit Development (PUD)? Why is it that you believe this amendment is necessary and/or an improvement of the existing entitlements? Is this fair to nearby property owners who purchased lots under the belief that this was protected open space?
- PLN05: **Revision requested.** The submitted amendment documents only illustrate the area where the associated preliminary plat is proposed. You are applying to amend the entire 317-acre Baseline Lakes PUD that was approved in 2006; therefore, we will need the entire land area of the Baseline Lakes PUD to be included in these drawings. Major amendments cannot be piecemeal
- PLN06: **Additional information needed.** A legal description must be provided for the entire boundary of the Baseline Lakes PUD. This legal description is preferred in a Microsoft Word document, so that staff can easily copy and paste it into our required newspaper publications.
- PLN07: **Additional information needed.** Your application for the major amendment only included the parcel numbers that were connected to the proposed preliminary plat. This was an error on your part. The amendment request applies to the entire Baseline Lakes Planned Unit Development. You will need to provide a list of all parcel numbers within the Baseline Lakes PUD with your re-submittal. It would be preferred that these numbers be provided in an Excel or Word document format, so that our e-Permit Center can easily copy and paste them. When you do resubmit, staff will need to re-open the referral period and notify any property owners within 500 feet (exclusive of right-of-way). This notification will need to occur to ensure that the application is being processed in accordance with Section of 2-01-04 of the ACDSR. Unfortunately, this error on your application will extend the review period of any resubmittal by two weeks.
- PLN08: **Additional information needed.** An itemized list of open space was provided regarding the Todd Creek Village open space. I do not understand why this information is relevant to this request. I do understand that you state previous discussions were addressed with the County. I was not privy to those discussions, nor do I believe that providing no open space within the Baseline Lakes PUD meets the intent and purpose of the ACDSR. Although it is nice to see that the overall Metropolitan District may be designing their area for compatibility and connectivity, the Baseline Lakes Planned Unit Development should be required to demonstrate individual conformance with all Open Space requirements. Other PUDs in the area should not count toward the minimum requirements for this PUD.
- PLN09: **Revision requested.** Please revise Page 1 of the PUD Amendment document to include the updated legal description.
- PLN10: **Revision requested.** Please revise Page 3 of the PUD Amendment document regarding the following items:

- the proposed density listed in Subsection B is inaccurate and should be 1 dwelling unit per 0.69 acres.
- Subsection C will need to be updated to reflect the proposed 219 lots.
- Staff recommends that Day Care Homes should be made “Permitted” use in Subsection H, as they are allowed by-right in any residential dwelling contingent upon meeting the performance standards found in Section 4-03-03-02-02 of the ACDSR.
- Subsection I, Items 1, 2, and 6 are inconsistent with today’s standards for Planned Unit Developments. It is recommended that this information be removed or revised. I will discuss the specific requirements in a later comment.
- Subsection J has a misspelling of the word “envelopes”. I would prefer this subsection be re-titled “Lot Area and Dimensional Standards”.
- Outdoor Storage uses repeat the lettering for subsection L. I think this should be entirely relocated into the permitted use section.

PLN11: **Revision requested.** Please revise Page 4 of the PUD Amendment document regarding the following items:

- It is recommended that Subsection K be amended to remove the phrase “at the time of Final P.U.D. Plan”.
- Subsection L should update the references from “Planning Department” to “Community & Economic Development Department”.
- There are some indentation issues on Items 4, 5, and 8 on Subsection L, and there is an undefined asterisk on Item 8e.
- Outdoor Storage uses repeat the lettering for subsection L. I think this should be entirely relocated into the permitted use section (repeated from PLN10).
- Subsection N can be entirely removed.

PLN12: **Revision requested.** The drawings included on pages 7-13 the PUD Amendment are depicted in a manner as though this is a plat. This is not a plat. The graphical depictions within the PUD document should reflect conformance to the County’s PUD requirements found in Section 3-30 of the ACDSR. I will detail these regulations more specifically in the next few comments.

PLN13: **Revision requested.** Pedestrian and bicycle circulation plans would be great additions to this PUD document. Superior Design is required for PUDs per Section 3-30-03-03 of the ACDSR, so demonstrating that the PUD conforms to these requirements will help justify your request. Several sources within the PUD document reflects sidewalks and trails, but the preliminary plat’s written explanation shows a rural roadway design with no sidewalk. This conflicting information must be addressed. Please consider how this amendment will provide a superior design and address pedestrian and bicycle mobility and provide a response.

PLN14: **Revision requested.** Landscaping metrics should be included in the PUD. What street plantings will be provided? What about required buffer tracts which will be consistent with the ACDSR landscaping requirements found in Section 4-16, specifically on the perimeter?

PLN15: **Revision requested.** There are two types of “open space” discussed in Section 3-30-03-05 of the ACDSR: General Open Space, which is required to be a minimum of 30% of the overall

development; and Active Recreation Open Space, which is required to be 25-50% of the required General Open Space.

The general open space classification is defined in Section 11-406 as:

“Any parcel or area of land or water essentially unimproved and set aside, dedicated, designated or reserved for public or private use or enjoyment, or for the use and enjoyment of owners and occupants of land adjoining or neighboring such lands.”

Section 3-30-03-05-01 of the ACDSR states that “no open area may be accepted as common open space within a PUD unless it meets the following requirements:

1. The location, size and character of the common open space is suitable for the PUD; and
2. The common open space is for preservation of natural flora and fauna, amenity or recreational purposes, and the uses authorized are appropriate to the scale and character of the PUD, considering its size, density, expected population, topography and the number and type of dwellings provided.

The active recreation open space classification is defined in Section 11-407 as:

“Open space that may be improved and set aside, dedicated, designated, or reserved for recreational facilities such as swimming pools, play equipment for children, ball fields, court games, picnic tables, etc.”

It is required that the Baseline Lakes PUD provide a minimum of 30% of its land area to general open space, and within that requirement 25-50% shall be used for active recreation. Therefore, the PUD Amendment must demonstrate that at least 95.1 acres of the entire PUD is set aside for general open space, of which 23.847.5 acres shall be used for active recreation.

The PUD amendment should be including calculations for general open space and active recreation open space. There should be an overall map within the document illustrating where these areas are located, and what amenities are included within them. You should also provide an assessment of how far each lot will be from open space amenities.

PLN16: ***Just an FYI – no response needed.*** The Adams County Comprehensive Plan has designated a future land use of Estate residential on the property. This future land use designation is intended for a rural residential lifestyle. The proposed amendment does match the County’s [long-term goals for the area.

PLN17: ***Additional information needed.*** Criterion #3 for a PDP indicates that the PUD will be designed to “mitigate externalities with the existing or allowed land uses adjacent to the proposed PDP.” Please review the design of the Plat Filing No. 2 and provide some commentary as to how this design will meet this criterion.

The following comments are related specifically to the Preliminary Plat for Baseline Lakes, Filing No. 2:

PLN18: ***Just an FYI – no response needed.*** Section 2-02-19 of the ACDSR provides guidelines for the creation of a major subdivision. All major subdivisions are required to obtain two (2) approvals prior to development of a site: Preliminary Plat and Final Plat. The application that has been

submitted is a Preliminary Plat for Major Subdivision and is subject to the requirements of Section 2-02-19-03.

PLN19: **Revision requested.** Please revise the written explanation for the preliminary plat to reflect the PDP amendment.

PLN20: **Additional information needed.** To ensure consistency with the ACDSR and the Baseline Lakes PUD, please provide a separate site plan (See checklist Item #4). The site plan should illustrate the required principal setbacks for each lot. It is necessary for you to provide the lot width measurement for each lot, which is measured at the principal structure front setback line. Illustrations of where septic fields will be located would be ideal.

PLN21: **Additional information needed.** The will-serve letter for water is from 2017 and does not reference the amendment to the PUD. It does not appear to accommodate for the additional 27 lots being proposed from the 2006 approval. An extensive letter was provided by the Colorado Division of Water Resources that appears to state that the water supply is adequate. Can we get an updated letter from the Metro District?

PLN22: **Just an FYI – no response needed.** A subdivision improvements agreement (SIA) will be required during the application process for a final plat.

PLN23: **Revision requested.** Per Section 5-03-03-06 of the ACDSR, the maximum lot depth-to-width ratio of any lot shall be 3:1. It appears that many of the proposed lots do not conform to this standard.

PLN24: **Additional information needed.** Please illustrate that wedge-shaped lots (along culs-de-sac) comply to Section 5-03-03-08-03. In the case of irregular or wedge-shaped lots, no lot shall be less than thirty (30) feet in width at the front property line. Perhaps this can be shown on the site plan addressed in PLN20.

PLN25: **Just an FYI – no response needed.** At the time of final plat, cash-in-lieu of public land dedication will have to be provided when the case is scheduled of hearing.

Additional Questions

PLN26: **Additional information needed.** Was a neighborhood meeting held to discuss these two applications? No information was provided in the submittal, and a neighborhood meeting is required prior to submittal of these applications.

Greg Barnes

From: Yvonne Thurtell
Sent: Tuesday, May 12, 2020 11:07 PM
To: Greg Barnes
Subject: RE: For Review: Baseline Lakes (PRC2019-00015)

Thank you for giving me the opportunity to review the proposed subdivision.

- The legal description looks good
- I'm showing other/different parcels being taken: Takes All 0157102200005
 - 0157102203017
 - 0157102203018
 - 0157102203020
 - 0157103400002*And Part 0157102200006*

****I do not show this taking ANY of 0157102100005 as listed in PLN Review****

- All owners have a place to sign
- ****Concern – Parcel 0157102203018 = Todd Creek Metro Dist on plat / VS - Todd Creek 'Village' Metro Dist in Asr Records (may be a name change that I'm not aware of.**
- Looks good for your end
- ****Asr will need several deeds to clear title. Can you please ask them to do that when plat is recorded – or we'll hold it.**

(Greg – I'll try to get you a map showing ownership issues, i.e. what they own on land – vs – what they sign for on plat. But, it may be the weekend before I can do it. I'm sorry if that's too late for your process).

Thank you,

Yvonne Thurtell, CMS

GIS Specialist, *Adams County Assessor's Office*

ADAMS COUNTY, COLORADO

4430 S Adams County Pkwy, Suite C2100

Brighton, CO 80601

o: 720.523.6703 | ythurtell@adcogov.org

www.adcogov.org

From: Greg Barnes <GJBarnes@adcogov.org>
Sent: Thursday, April 23, 2020 2:48 PM
To: Greg Barnes <GJBarnes@adcogov.org>
Subject: For Review: Baseline Lakes (PRC2019-00015)

The Adams County Planning Commission is requesting comments on the following applications:

1. **Major Amendment to the Baseline Lakes Planned Unit Development;**
2. **Preliminary Plat for major subdivision to create approximately 76 single-family residential lots and 10 tracts.**



Development Review Team Comments

Date: 11/17/2020

Project Number: PRC2019-00015

Project Name: Baseline Lakes - PUD Amendment and Filing 2 Subdivision

Commenting Division: Plan Coordination 2nd Review

Name of Reviewer: Greg Barnes

Date: 11/17/2020

Email: gjbarnes@adcogov.org

Resubmittal Required

Commenting Division: Planner Review 2nd Review

Name of Reviewer: Greg Barnes

Date: 11/10/2020

Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: No response needed - The written explanation continues to state the following: "In prior conversations, the County has agreed that the open space created thus far satisfies the open space requirement in the Todd Creek Village PUD Plan, and no additional open space has to be set aside with the remaining development of Baseline Lakes. Attached is a table documenting the open space that has been created to date in the Todd Creek Village PUD Plan area". Staff has yet to be provided documentation of such discussions. As previously discussed, the development of land originally designated to provide open space to Baseline Lakes PUD shall not be developed unless replacement open space is provided within this PUD.

PLN02: On the FDP Amendment maps, please revise Page 3, subsections A, B, and C. Please correct the spelling of envelopes in subsection J.

PLN03: On the FDP Amendment maps, please revise Page 4 to remove subsection N.

PLN04: For consistency purposes, please reconsider the naming of tracts in the new filing to prevent duplication. Perhaps all of the tracts in the new filing could be named: 2A, 2B, 2C? Or you could review the original PUD and rename the filing 2 tracts names that have not been used in the original PUD. Whichever naming convention you use for the FDP Amendment, the plat will need to be consistent.

PLN05: Please amend the plat based on Mr. Braasch's public comment regarding the naming of Joliet/Kingston Street. He has a valid point, and it should be addressed.

PLN06: Please provide a Microsoft Word version of a Subdivision Improvements Agreement with your resubmittal.

PLN07: Cash-in-lieu of public land dedication is required for filing 2 of this plat. A spreadsheet is attached to these comments.

Commenting Division: Development Engineering Review 2nd Review

Name of Reviewer: Matthew Emmens

Date: 10/29/2020

Email: memmens@adcogov.org

Resubmittal Required

Site plan as significant changes. All previous comments are now void. See Doc # #6116761 for current comments. Applicant must respond to all comments.

Commenting Division: Environmental Analyst Review 2nd Review

Name of Reviewer: Katie Keefe

Date: 10/26/2020

Email:

Resubmittal Required

ENV1. The applicant shall demonstrate on the final plat the location of Petroshare plugged and abandoned well, API 00109564, located along the western boundary of Tract F.

ENV2. The applicant shall demonstrate on the Final Plat the location of and requisite setback from KP Kauffman (KPK) producing well (API 00108349) located along the western boundary of Tract F, Parcel 0157102200005, in accordance with 4-10-02-03-03-05. The oil and gas well location shall include a two-hundred-fifty (250) foot buffer in the form of an easement on the Final Plat. No structures may be constructed within the buffer area.

ENV3. Access to the KPK producing oil and gas well location shall be provided by a public street or recorded easement for private access.

ENV4. The Final Plat shall include notice to prospective buyers of the location of ALL active and plugged and abandoned oil and gas wells and associated easements.

ENV5. The applicant has not adequately addressed the previous submitreview comment pertaining to the plugged and abandoned well (API00109389) located in Tract G, Lot 5/6 and the required setback surrounding that well of 50-ft by 100-ft with the plugged and abandoned well located in the center of the setback. There shall be no structures constructed within the setback and there shall be public access for ingress and egress to the setback of a width of not less than twenty feet. The well setback as demonstrated in submitted final plat plan sheet 8 does not meet the requirements of ACDSR 04-10-02-03-03-05(2)

ENV6. Pursuant to Section 4-06-01-02-01-12, where a new home and/or other permanent structure with plumbing is constructed within three hundred (300) feet of an existing oil and gas well, the property owner shall submit a signed waiver acknowledging the existence of the facility. (Agriculture Performance Standards).

Commenting Division: ROW Review 2nd Review

Name of Reviewer: Holden Pederson

Date: 10/23/2020

Email:

Resubmittal Required

ROW1: Change title of Preliminary Plat to read “Baseline Lakes Filing No. 2 - Preliminary Plat” and case number in top right-hand corner to read “PRC2019-00015” on each sheet of the Plat.

ROW2: Dedication Statements: Statements of land to be dedicated to the County for parks or other public uses, grants of easements and dedication of public streets to the Adams County are required.

a. All plats with public streets shall have the following sentence in the dedication statement:

All public streets are hereby dedicated to Adams County for public use.

b. All plats with public easements and/or tracts must have the following sentence in the dedication statement:

The undersigned does hereby dedicate, grant and convey to Adams County those Public Easements (and tracts) as shown on the plat; and further restricts the use of all Public Easement to Adams County and/or its assigns, provided however, that the sole right and authority to release or quitclaim all or any such Public Easements shall remain exclusively vested in Adams County.

ROW3: Update Plat Note #4 to include information describing the most recent Title Report used to prepare this Plat.

ROW4: Include the following Access Provision Statement on Sheet 2:

Statement Restricting Access: A statement restricting access rights across the right-of-way lines of major highways, parkways, streets or freeways, where required as a provision of approval.

ROW5: Confirm if there should be an additional signature block on Sheet 3 for the Todd Creek Village Metropolitan District, which is listed as a “party” on page 2 of the submitted Title Report.

ROW6: According to Section 4-10-02-03-03-05(2), on every final plat or site-specific development plan which contains a plugged and abandoned well, there shall be dedicated a well maintenance and workover setback depicted on the plat, the dimensions of which shall be not less than fifty feet in width and 100 feet in length. The plugged and abandoned well shall be located in the center of the setback. There shall be public access for ingress and egress to the setback of a width of not less than twenty feet.

a. Applicant is required to increase the size of the work over setback and detail shown on sheet 8 in order to meet this requirement.

b. Applicant must also modify the language for Plat Note # 10 in order to reflect these new dimensions.

ROW7: Applicant must confirm the location of items # 12, 13, 14, 16, 17, 20, 21, 23, 24, 28, 36, 51, 52, 55, 56, 57, 58, 59, 65, 70, 71, 72, 73 of the Schedule B – Part 2 Exceptions of the Title Commitment, which all reference easements or right-of-way agreements that are associated with the overall property.

a. If the location of any of the exceptions defined within the Schedule B – Part 2 Exceptions of the Title

Commitment are not shown on the plat, please provide a written statement or general note to staff in order to describe why (i.e. Exception – Rec No:).

b. Clearly show and label all existing easements, to include width and recording information, that cross, abut or are located within the subdivision boundary.

c. Easements: Must provide book and page and/or reception number for all existing and newly created easements.

Commenting Division: Building Safety Review 2nd Review

Name of Reviewer: Justin Blair

Date: 10/13/2020

Email: jblair@adcogov.org

Complete

Commenting Division: Application Intake 2nd Review

Name of Reviewer: Kevin Mills

Date: 10/06/2020

Email:

Complete

Commenting Division: Development Engineering Review

Name of Reviewer: Matthew Emmens

Date: 05/18/2020

Email: memmens@adcogov.org

Resubmittal Required

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0326H and 08001C0050H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. The installation of erosion and sediment control BMPs are expected.

ENG3: Prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents. The development review fee for an Engineering Review is dependent on the type of project and/or the size of the project. The Development Review fee can be found in the Development Services Fee Schedule, located on the following web page:
<http://www.adcogov.org/one-stop-customer-center>.

ENG4: The developer is required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of curb, gutter and sidewalk adjacent to the site and, any roadway improvements as required by the approved traffic impact study.

ENG5: Prior to the issuance of any construction or building permits, the developer shall enter into a Subdivision Improvements Agreement (SIA) with the County and provide a security bond for all public improvements.

ENG6: No building permits will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Transportation Dept.

ENG7: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk.

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 05/18/2020

Email: gjbarnes@adcogov.org

Resubmittal Required

Commenting Division: Addressing Review

Name of Reviewer: Eden Steele

Date: 05/18/2020

Email:

Resubmittal Required

ADR1: Addresses will be assigned on the Final Plat in accordance with the Denver Grid.

ADR2: Hanover St is a more appropriate name than the proposed Geneva St

ADR3: Proposed Joliet St becomes Kingston Dr south of E 164th Ave.

Commenting Division: ROW Review

Name of Reviewer: Holden Pederson

Date: 05/15/2020

Email:

Resubmittal Required

ROW1: Applicant must change title to read “Baseline Lakes Filing No. 2 Preliminary Plat” and case number in top right hand corner to read “PRC2019-00015” on each sheet.

ROW2: Existing street rights of way that intersect the subdivision boundary or are adjacent to said boundary lines shall be clearly labeled with the street name, right of way width and appropriate deed or plat recording information wherein the right of way is defined.

ROW3: Please confirm the location of items # 12, 13, 14, 17, 20, 21, 23, 24, 28, 36, 51, 52, 55, 56, 57, 58, 59, 65, 70, 71, 72, 73 of the Schedule B – Part 2 Exceptions of the Title Commitment, which all reference easements or right-of-way agreements associated with the overall property.

ROW4: Staff has confirmed that the following exceptions have been included by the applicant on the plat: item # 16 (shown on Sheet 9).

ROW5: If the location of any of the exceptions defined within the Schedule B – Part 2 Exceptions of the Title Commitment are not shown on the plat, please provide a statement or general note as to why (i.e. Exception – Rec No:).

ROW6: Applicant has provided a 50’ x 200’ well maintenance and workover setback for Tract K (shown on Sheet 6) for the plugged and abandoned well. Applicant has also included the required plat notes for plugged and abandoned wells.

ROW7: Applicant must describe the purpose of the well maintenance work over setback for Block 4, Lot 6 (shown on Sheet 7). Is this for a plugged and abandoned well or for an existing well? Please ensure that all requirements of Chapter 4, Section 4-10-02-03-03-05 have been met, including the following:

- a. All oil and gas well flow lines and/or easements shall be graphically depicted on the Final Plat.
- b. All surface and subsurface agreements shall be noted on the Final Plat by the recorded book and page number.

Commenting Division: Environmental Analyst Review

Name of Reviewer: Katie Keefe

Date: 05/12/2020

Email:

Resubmittal Required

ENV1. There are two plugged and abandoned oil and gas wells owned by Petroshare located within subject parcel 0157102200005. Prior to submittal of a final plat or site-specific development plan, each plugged and abandoned well shall be located and surveyed. The plugged and abandoned well shall be permanently marked by a brass plaque set in concrete similar to a permanent benchmark to monument its existence and location. Such plaque shall contain all information required on a dry hole marker by the Colorado Oil and Gas Conservation Commission and the County.

ENV2. On every final plat or site specific development plan which contains a plugged and abandoned well, there shall be dedicated a well maintenance and workover setback depicted on the plat, the dimensions of which shall be not less than fifty feet in width and 100 feet in length. No structures shall be located within this setback. The plugged and abandoned well shall be located in the center of the setback. There shall be public access for ingress and egress to the setback of a width of not less than twenty feet.

*Plugged and abandoned well within Tract G is not identified in the Plat Note #10. The workover setback for this well as shown on Sheet 7 the Preliminary Plat is partially covered by a proposed, paved cul-de-sac. Paved roads are considered a structure which would precludes workover rig access to the plugged and abandoned well.

ENV3. For both plugged and abandoned wells located in Tract K and G, the Final Plat shall include the following notice to prospective buyers of the location of the oil and gas well and associated easements: "The owner shall disclose to prospective purchasers of lots within a radius of 200 feet of the plugged and abandoned well of (1) the location of the plugged and abandoned well, (2) the location of the maintenance and workover setback, and (3) the purpose for the well maintenance and workover setback."

ENV4. There are flowlines also located within Parcel 0157102200005. All known oil and gas well flow lines and/or easements shall be graphically depicted on the Final Plat.

ENV5. There is one producing oil and gas well operated by KP Kauffman located within Parcel 0157102200005. This well is not delineated on the preliminary plat. A 250-foot, no-build buffer area surrounding each oil and gas well applies to all proposed residential development. The 250-foot setback, in the form of an easement on the final plat, may be required by the Director of CEDD. See Section 4-10-02-04-05.

ENV6. Pursuant to Section 4-06-01-02-01-12, where a new home and/or other permanent structure with plumbing is constructed within three hundred (300) feet of an existing oil and gas well, the property owner shall submit a signed waiver acknowledging the existence of the facility.

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 04/23/2020

Email: gjbarnes@adcogov.org

Complete

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 04/23/2020

Email: gjbarnes@adcogov.org

External Agencies Selected

PRC2019-00015
Baseline Lakes Subdivision
Engineering Review Comments

Please note: The site plan has changed from the June 2020 submittal. All comment sent on 5/18/2020 are void and replaced with the comments below.

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0326H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

ENG2: Property is NOT in Adams County MS4 Stormwater Permit area. A Stormwater Quality (SWQ) Permit is not required, but a State Permit COR400000 may be required if one (1) acre or more is disturbed. Applicant is responsible for installation and maintenance of Erosion and Sediment Control BMPs. A Builder/developer is responsible for adhering to all the regulations of Adams County Ordinance 11 regarding illicit discharge.

ENG3: Prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents. The development review fee for an Engineering Review is dependent on the type of project and/or the size of the project. The Development Review fee can be found in the Development Services Fee Schedule, located on the following web page: <http://www.adcogov.org/one-stop-customer-center>.

The construction documents for this case have been submitted and are currently under review.

ENG4: The developer is required to construct roadway improvements adjacent to the proposed site. E 164th Ave and Lima Street are already existing and are constructed to 'Collector – Rural' standards. The applicant shall be responsible for ensuring the street ½ cross section, adjacent to their development, meets all County criteria for the Collector-Rural roadway section. This may require reshaping of the roadside ditches, at a minimum.

ENG5: Prior to the issuance of any construction or building permits, the developer shall enter into a Subdivision Improvements Agreement (SIA) with the County and provide a security bond for all public improvements.

ENG6: No building permits will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Transportation Dept.

ENG7: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk.

ENG8: LOW IMPACT DEVELOPMENT (LID) STANDARDS AND REQUIREMENTS Section 9-01-03-14:

All construction projects shall reduce drainage impacts to the maximum extent practicable, and implement practices such as:

1. On-site structural and non-structural BMPs to promote infiltration, evapo-transpiration or use of stormwater,
2. Minimization of Directly Connected Impervious Area (MDCIA),
3. Green Infrastructure (GI),
4. Preservation of natural drainage systems that result in the infiltration, evapo-transpiration or use of stormwater in order to protect water quality and aquatic habitat.
5. Use of vegetation, soils, and roots to slow and filter stormwater runoff.
6. Management of stormwater as a resource rather than a waste product by creating functional, attractive, and environmentally friendly developments.
7. Treatment of stormwater flows as close to the impervious area as possible.

LID shall be designed and maintained to meet the standards of these Regulations and the Urban Drainage and Flood Control District's Urban Storm Drainage Criteria Manual, Volume 3.

ENG9: Sustainable Development Practices Section 3-27-06-05-07-08:

To the maximum extent practicable, new buildings are encouraged to incorporate one or more of the following features:

1. Opportunities for the integration of renewable energy features in the design of buildings or sites, such as: solar, wind, geothermal, biomass, or low-impact hydro sources;
 2. Energy-efficient materials, including recycled materials that meet the requirements of these regulations;
 3. Materials that are produced from renewable resources;
 4. Low-Impact Development (LID) stormwater management features;
 5. A green roof, such as a vegetated roof, or a cool roof;
 6. Materials and design meeting the U.S. Green Building Council's LEED-NC certification requirements;
 7. A greywater recycling system.
-

Adams County Public Land Dedication Worksheet
Urban School District

Date Computed= 11/17/2020

Does the subdivision have residential uses?	Yes
If residential, is it more or less dense than 1 dwelling per 10 acres?	More
If residential, (per Section 5-05-04-02-03) is the local school district urban or rural?	Urban
Single-Family Residential and A-1 or RE zoning	
Number of Units=	34
Population generated=	111.4520
Student population generated=	26.3500
School Acreage Needed=	0.6851
Neighborhood Park Acreage Needed=	0.6800
Regional Park Acreage Needed=	0.4420
Total Acres of PLD Needed=	1.8071
Land Value per acre=	\$13,662.00
PLD Fee in lieu=	\$24,688.60
Deposits:	
School District { } Account=	\$9,359.84
Neighborhood Parks { } Account =	\$9,290.16
Regional Parks Account=	\$6,038.60

ROW1: Change title of Preliminary Plat to read "Baseline Lakes Filing No. 2 - Preliminary Plat" and case number in top right-hand corner to read "PRC2019-00015" on each sheet of the Plat.

ROW2: Dedication Statements: Statements of land to be dedicated to the County for parks or other public uses, grants of easements and dedication of public streets to the Adams County are required.

- a. All plats with public streets shall have the following sentence in the dedication statement:
All public streets are hereby dedicated to Adams County for public use.
- b. All plats with public easements and/or tracts must have the following sentence in the dedication statement:
The undersigned does hereby dedicate, grant and convey to Adams County those Public Easements (and tracts) as shown on the plat; and further restricts the use of all Public Easement to Adams County and/or its assigns, provided however, that the sole right and authority to release or quitclaim all or any such Public Easements shall remain exclusively vested in Adams County.

ROW3: Update Plat Note #4 to include information describing the most recent Title Report used to prepare this Plat.

ROW4: Include the following Access Provision Statement on Sheet 2:

Statement Restricting Access: A statement restricting access rights across the right-of-way lines of major highways, parkways, streets or freeways, where required as a provision of approval.

ROW5: Confirm if there should be an additional signature block on Sheet 3 for the Todd Creek Village Metropolitan District, which is listed as a "party" on page 2 of the submitted Title Report.

ROW6: According to Section 4-10-02-03-03-05(2), on every final plat or site-specific development plan which contains a plugged and abandoned well, there shall be dedicated a well maintenance and workover setback depicted on the plat, the dimensions of which shall be not less than fifty feet in width and 100 feet in length. The plugged and abandoned well shall be located in the center of the setback. There shall be public access for ingress and egress to the setback of a width of not less than twenty feet.

- a. Applicant is required to increase the size of the work over setback and detail shown on sheet 8 in order to meet this requirement.
- b. Applicant must also modify the language for Plat Note # 10 in order to reflect these new dimensions.

ROW7: Applicant must confirm the location of items # 12, 13, 14, 16, 17, 20, 21, 23, 24, 28, 36, 51, 52, 55, 56, 57, 58, 59, 65, 70, 71, 72, 73 of the Schedule B – Part 2 Exceptions of the Title Commitment, which all reference easements or right-of-way agreements that are associated with the overall property.

- a. If the location of any of the exceptions defined within the Schedule B – Part 2 Exceptions of the Title Commitment are not shown on the plat, please provide a written statement or general note to staff in order to describe why (i.e. Exception – Rec No:).
- b. Clearly show and label all existing easements, to include width and recording information, that cross, abut or are located within the subdivision boundary.
- c. Easements: Must provide book and page and/or reception number for all existing and newly created easements.



Development Review Team Comments

Date: 2/2/2021

Project Number: PRC2019-00015

Project Name: Baseline Lakes - PUD Amendment and Filing 2 Subdivision

Commenting Division: Environmental Analyst Review 3rd Review

Name of Reviewer: Katie Keefe

Date: 02/02/2021

Email:

Complete

Commenting Division: ROW Review 3rd Review

Name of Reviewer: David Dittmer

Date: 02/02/2021

Email:

Resubmittal Required

ROW1: See comments and plat redlines provided

Commenting Division: Planner Review 3rd Review

Name of Reviewer: Greg Barnes

Date: 02/02/2021

Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: Can you please explain why now on the 3rd submittal, you are proposing to separate the FDP amendment and the preliminary plat? Separating the two documents will add time to the approval process and create the need for two additional unnecessary hearings. We had previously directed you to process the preliminary plat and the FDP amendment together,

Commenting Division: Development Engineering Review 3rd Review

Name of Reviewer: Matthew Emmens

Date: 01/26/2021

Email: memmens@adcogov.org

Resubmittal Required

Review complete. There is one remaining open comment. See document #6139582.

Commenting Division: Application Intake 3rd Review

Name of Reviewer: Kevin Mills

Date: 01/05/2021

Email:

Complete

Commenting Division: Plan Coordination 2nd Review

Name of Reviewer: Greg Barnes

Date: 11/17/2020

Email: gjbarnes@adcogov.org

Resubmittal Required

Commenting Division: Planner Review 2nd Review

Name of Reviewer: Greg Barnes

Date: 11/10/2020

Email: gjbarnes@adcogov.org

Resubmittal Required

PLN01: No response needed - The written explanation continues to state the following: "In prior conversations, the County has agreed that the open space created thus far satisfies the open space requirement in the Todd Creek Village PUD Plan, and no additional open space has to be set aside with the remaining development of Baseline Lakes. Attached is a table documenting the open space that has been created to date in the Todd Creek Village PUD Plan area". Staff has yet to be provided documentation of such discussions. As previously discussed, the development of land originally designated to provide open space to Baseline Lakes PUD shall not be developed unless replacement open space is provided within this PUD.

PLN02: On the FDP Amendment maps, please revise Page 3, subsections A, B, and C. Please correct the spelling of envelopes in subsection J.

PLN03: On the FDP Amendment maps, please revise Page 4 to remove subsection N.

PLN04: For consistency purposes, please reconsider the naming of tracts in the new filing to prevent duplication. Perhaps all of the tracts in the new filing could be named: 2A, 2B, 2C? Or you could review the original PUD and rename the filing 2 tracts names that have not been used in the original PUD. Whichever naming convention you use for the FDP Amendment, the plat will need to be consistent.

PLN05: Please amend the plat based on Mr. Braasch's public comment regarding the naming of Joliet/Kingston Street. He has a valid point, and it should be addressed.

PLN06: Please provide a Microsoft Word version of a Subdivision Improvements Agreement with your resubmittal.

PLN07: Cash-in-lieu of public land dedication is required for filing 2 of this plat. A spreadsheet is attached to these comments.

Commenting Division: Development Engineering Review 2nd Review

Name of Reviewer: Matthew Emmens

Date: 10/29/2020

Email: memmens@adcogov.org

Resubmittal Required

Site plan as significant changes. All previous comments are now void. See Doc # #6116761 for current comments. Applicant must respond to all comments.

Commenting Division: Environmental Analyst Review 2nd Review

Name of Reviewer: Katie Keefe

Date: 10/26/2020

Email:

Resubmittal Required

ENV1. The applicant shall demonstrate on the final plat the location of Petroshare plugged and abandoned well, API 00109564, located along the western boundary of Tract F.

ENV2. The applicant shall demonstrate on the Final Plat the location of and requisite setback from KP Kauffman (KPK) producing well (API 00108349) located along the western boundary of Tract F, Parcel 0157102200005, in accordance with 4-10-02-03-03-05. The oil and gas well location shall include a two-hundred-fifty (250) foot buffer in the form of an easement on the Final Plat. No structures may be constructed within the buffer area.

ENV3. Access to the KPK producing oil and gas well location shall be provided by a public street or recorded easement for private access.

ENV4. The Final Plat shall include notice to prospective buyers of the location of ALL active and plugged and abandoned oil and gas wells and associated easements.

ENV5. The applicant has not adequately addressed the previous submitreview comment pertaining to the plugged and abandoned well (API00109389) located in Tract G, Lot 5/6 and the required setback surrounding that well of 50-ft by 100-ft with the plugged and abandoned well located in the center of the setback. There shall be no structures constructed within the setback and there shall be public access for ingress and egress to the setback of a width of not less than twenty feet. The well setback as demonstrated in submitted final plat plan sheet 8 does not meet the requirements of ACDSR 04-10-02-03-03-05(2)

ENV6. Pursuant to Section 4-06-01-02-01-12, where a new home and/or other permanent structure with plumbing is constructed within three hundred (300) feet of an existing oil and gas well, the property owner shall submit a signed waiver acknowledging the existence of the facility. (Agriculture Performance Standards).

Commenting Division: ROW Review 2nd Review

Name of Reviewer: Holden Pederson

Date: 10/23/2020

Email:

Resubmittal Required

ROW1: Change title of Preliminary Plat to read “Baseline Lakes Filing No. 2 - Preliminary Plat” and case number in top right-hand corner to read “PRC2019-00015” on each sheet of the Plat.

ROW2: Dedication Statements: Statements of land to be dedicated to the County for parks or other public uses, grants of easements and dedication of public streets to the Adams County are required.

a. All plats with public streets shall have the following sentence in the dedication statement:

All public streets are hereby dedicated to Adams County for public use.

b. All plats with public easements and/or tracts must have the following sentence in the dedication statement:

The undersigned does hereby dedicate, grant and convey to Adams County those Public Easements (and tracts) as shown on the plat; and further restricts the use of all Public Easement to Adams County and/or its assigns, provided however, that the sole right and authority to release or quitclaim all or any such Public Easements shall remain exclusively vested in Adams County.

ROW3: Update Plat Note #4 to include information describing the most recent Title Report used to prepare this Plat.

ROW4: Include the following Access Provision Statement on Sheet 2:

Statement Restricting Access: A statement restricting access rights across the right-of-way lines of major highways, parkways, streets or freeways, where required as a provision of approval.

ROW5: Confirm if there should be an additional signature block on Sheet 3 for the Todd Creek Village Metropolitan District, which is listed as a “party” on page 2 of the submitted Title Report.

ROW6: According to Section 4-10-02-03-03-05(2), on every final plat or site-specific development plan which contains a plugged and abandoned well, there shall be dedicated a well maintenance and workover setback depicted on the plat, the dimensions of which shall be not less than fifty feet in width and 100 feet in length. The plugged and abandoned well shall be located in the center of the setback. There shall be public access for ingress and egress to the setback of a width of not less than twenty feet.

a. Applicant is required to increase the size of the work over setback and detail shown on sheet 8 in order to meet this requirement.

b. Applicant must also modify the language for Plat Note # 10 in order to reflect these new dimensions.

ROW7: Applicant must confirm the location of items # 12, 13, 14, 16, 17, 20, 21, 23, 24, 28, 36, 51, 52, 55, 56, 57, 58, 59, 65, 70, 71, 72, 73 of the Schedule B – Part 2 Exceptions of the Title Commitment, which all reference easements or right-of-way agreements that are associated with the overall property.

a. If the location of any of the exceptions defined within the Schedule B – Part 2 Exceptions of the Title

Commitment are not shown on the plat, please provide a written statement or general note to staff in order to describe why (i.e. Exception – Rec No:).

b. Clearly show and label all existing easements, to include width and recording information, that cross, abut or are located within the subdivision boundary.

c. Easements: Must provide book and page and/or reception number for all existing and newly created easements.

Commenting Division: Building Safety Review 2nd Review

Name of Reviewer: Justin Blair

Date: 10/13/2020

Email: jblair@adcogov.org

Complete

Commenting Division: Application Intake 2nd Review

Name of Reviewer: Kevin Mills

Date: 10/06/2020

Email:

Complete

Commenting Division: Development Engineering Review

Name of Reviewer: Matthew Emmens

Date: 05/18/2020

Email: memmens@adcogov.org

Resubmittal Required

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0326H and 08001C0050H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

ENG2: The applicant shall be responsible to ensure compliance with all Federal, State, and Local water quality construction requirements. The project site is not within the County's MS4 Stormwater Permit area. The installation of erosion and sediment control BMPs are expected.

ENG3: Prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents. The development review fee for an Engineering Review is dependent on the type of project and/or the size of the project. The Development Review fee can be found in the Development Services Fee Schedule, located on the following web page:
<http://www.adcogov.org/one-stop-customer-center>.

ENG4: The developer is required to construct roadway improvements adjacent to the proposed site. Roadway improvements will consist of curb, gutter and sidewalk adjacent to the site and, any roadway improvements as required by the approved traffic impact study.

ENG5: Prior to the issuance of any construction or building permits, the developer shall enter into a Subdivision Improvements Agreement (SIA) with the County and provide a security bond for all public improvements.

ENG6: No building permits will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Transportation Dept.

ENG7: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk.

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 05/18/2020

Email: gjbarnes@adcogov.org

Resubmittal Required

Commenting Division: Addressing Review

Name of Reviewer: Eden Steele

Date: 05/18/2020

Email:

Resubmittal Required

ADR1: Addresses will be assigned on the Final Plat in accordance with the Denver Grid.

ADR2: Hanover St is a more appropriate name than the proposed Geneva St

ADR3: Proposed Joliet St becomes Kingston Dr south of E 164th Ave.

Commenting Division: ROW Review

Name of Reviewer: Holden Pederson

Date: 05/15/2020

Email:

Resubmittal Required

ROW1: Applicant must change title to read “Baseline Lakes Filing No. 2 Preliminary Plat” and case number in top right hand corner to read “PRC2019-00015” on each sheet.

ROW2: Existing street rights of way that intersect the subdivision boundary or are adjacent to said boundary lines shall be clearly labeled with the street name, right of way width and appropriate deed or plat recording information wherein the right of way is defined.

ROW3: Please confirm the location of items # 12, 13, 14, 17, 20, 21, 23, 24, 28, 36, 51, 52, 55, 56, 57, 58, 59, 65, 70, 71, 72, 73 of the Schedule B – Part 2 Exceptions of the Title Commitment, which all reference easements or right-of-way agreements associated with the overall property.

ROW4: Staff has confirmed that the following exceptions have been included by the applicant on the plat: item # 16 (shown on Sheet 9).

ROW5: If the location of any of the exceptions defined within the Schedule B – Part 2 Exceptions of the Title Commitment are not shown on the plat, please provide a statement or general note as to why (i.e. Exception – Rec No:).

ROW6: Applicant has provided a 50’ x 200’ well maintenance and workover setback for Tract K (shown on Sheet 6) for the plugged and abandoned well. Applicant has also included the required plat notes for plugged and abandoned wells.

ROW7: Applicant must describe the purpose of the well maintenance work over setback for Block 4, Lot 6 (shown on Sheet 7). Is this for a plugged and abandoned well or for an existing well? Please ensure that all requirements of Chapter 4, Section 4-10-02-03-03-05 have been met, including the following:

- a. All oil and gas well flow lines and/or easements shall be graphically depicted on the Final Plat.
- b. All surface and subsurface agreements shall be noted on the Final Plat by the recorded book and page number.

Commenting Division: Environmental Analyst Review

Name of Reviewer: Katie Keefe

Date: 05/12/2020

Email:

Resubmittal Required

ENV1. There are two plugged and abandoned oil and gas wells owned by Petroshare located within subject parcel 0157102200005. Prior to submittal of a final plat or site-specific development plan, each plugged and abandoned well shall be located and surveyed. The plugged and abandoned well shall be permanently marked by a brass plaque set in concrete similar to a permanent benchmark to monument its existence and location. Such plaque shall contain all information required on a dry hole marker by the Colorado Oil and Gas Conservation Commission and the County.

ENV2. On every final plat or site specific development plan which contains a plugged and abandoned well, there shall be dedicated a well maintenance and workover setback depicted on the plat, the dimensions of which shall be not less than fifty feet in width and 100 feet in length. No structures shall be located within this setback. The plugged and abandoned well shall be located in the center of the setback. There shall be public access for ingress and egress to the setback of a width of not less than twenty feet.

*Plugged and abandoned well within Tract G is not identified in the Plat Note #10. The workover setback for this well as shown on Sheet 7 the Preliminary Plat is partially covered by a proposed, paved cul-de-sac. Paved roads are considered a structure which would precludes workover rig access to the plugged and abandoned well.

ENV3. For both plugged and abandoned wells located in Tract K and G, the Final Plat shall include the following notice to prospective buyers of the location of the oil and gas well and associated easements: "The owner shall disclose to prospective purchasers of lots within a radius of 200 feet of the plugged and abandoned well of (1) the location of the plugged and abandoned well, (2) the location of the maintenance and workover setback, and (3) the purpose for the well maintenance and workover setback."

ENV4. There are flowlines also located within Parcel 0157102200005. All known oil and gas well flow lines and/or easements shall be graphically depicted on the Final Plat.

ENV5. There is one producing oil and gas well operated by KP Kauffman located within Parcel 0157102200005. This well is not delineated on the preliminary plat. A 250-foot, no-build buffer area surrounding each oil and gas well applies to all proposed residential development. The 250-foot setback, in the form of an easement on the final plat, may be required by the Director of CEDD. See Section 4-10-02-04-05.

ENV6. Pursuant to Section 4-06-01-02-01-12, where a new home and/or other permanent structure with plumbing is constructed within three hundred (300) feet of an existing oil and gas well, the property owner shall submit a signed waiver acknowledging the existence of the facility.

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 04/23/2020

Email: gjbarnes@adcogov.org

Complete

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 04/23/2020

Email: gjbarnes@adcogov.org

External Agencies Selected

PRC2019-00015
Baseline Lakes Subdivision
Preliminary Plat
Engineering Review Comments
3rd Review

Please note: The site plan has changed from the June 2020 submittal. All comment sent on 5/18/2020 are void and replaced with the comments below.

ENG1: Flood Insurance Rate Map – FIRM Panel # (08001C0326H), Federal Emergency Management Agency, March 5, 2007. According to the above reference, the project site is NOT located within a delineated 100-year flood hazard zone; A floodplain use permit will not be required.

- CommentResponse: Acknowledged
- County Response: Comment Closed.

ENG2: Property is NOT in Adams County MS4 Stormwater Permit area. A Stormwater Quality (SWQ) Permit is not required, but a State Permit COR400000 may be required if one (1) acre or more is disturbed. Applicant is responsible for installation and maintenance of Erosion and Sediment Control BMPs. A Builder/developer is responsible for adhering to all the regulations of Adams County Ordinance 11 regarding illicit discharge.

- Applicant Response: Acknowledged, to provide State Permit COR400000 prior to construction.
- County Response: Comment Closed.

ENG3: Prior to scheduling the final plat/FDP BOCC hearing, the developer is required to submit for review and receive approval of all construction documents (construction plans and reports). Construction documents shall include, at a minimum, onsite and public improvements construction plans, drainage report, traffic impact study. All construction documents must meet the requirements of the Adams County Development Standards and Regulations. The developer shall submit to the Adams County Development Review Engineering division the following: Engineering Review Application, Engineering Review Fee, two (2) copies of all construction documents. The development review fee for an Engineering Review is dependent on the type of project and/or the size of the project. The Development Review fee can be found in the Development Services Fee Schedule, located on the following web page: <http://www.adcogov.org/one-stop-customer-center>.

The construction documents for this case have been submitted and are currently under review.

- Applicant Response: Acknowledged
- County Response: The site construction plans are being reviewed under case # EGR2018-00039. This review is still underway and comments will be sent directly to the applicant when the review is finished.

The engineering review (EGR case) is a separate permit application process. The construction documents should be submitted to that permit case # only and not with this planning case.

As mentioned, the applicant has made the submittals that satisfy this comment for the Preliminary Plat review process. A final plat hearing cannot be scheduled until the construction documents associated with the EGR case are approved.

This comment is closed.

ENG4: The developer is required to construct roadway improvements adjacent to the proposed site. E 164th Ave and Lima Street are already existing and are constructed to 'Collector – Rural' standards. The applicant shall be responsible for ensuring the street ½ cross section, adjacent to their development, meets all County criteria for the Collector-Rural roadway section. This may require reshaping of the roadside ditches, at a minimum.

- Applicant Response: Acknowledged. To discuss further with the County.

- County Response: Required public and/or roadway improvements are being reviewed with the EGR case mentioned in case #EGR2018-00039 above. All issues related to the required public improvements will be reviewed under that permit application. This comment to remain open until developer agrees to construct all required improvements.

ENG5: Prior to the issuance of any construction or building permits, the developer shall enter into a Subdivision Improvements Agreement (SIA) with the County and provide a security bond for all public improvements.

- Applicant Response: Acknowledged.

- County Response: Comment Closed.

ENG6: No building permits will be issued until all public improvements have been constructed, inspected and preliminarily accepted by the County's Transportation Dept.

- Applicant Response: Acknowledged.

- County Response: Comment Closed

ENG7: The developer is responsible for the repair or replacement of any broken or damaged section of curb gutter and sidewalk.

- Applicant Response: Acknowledged.

- County Response: Comment Closed

ENG8: LOW IMPACT DEVELOPMENT (LID) STANDARDS AND REQUIREMENTS Section 9-01-03-14:

All construction projects shall reduce drainage impacts to the maximum extent practicable, and implement practices such as:

1. On-site structural and non-structural BMPs to promote infiltration, evapo-transpiration or use of stormwater,
2. Minimization of Directly Connected Impervious Area (MDCIA),
3. Green Infrastructure (GI),
4. Preservation of natural drainage systems that result in the infiltration, evapo-transpiration or use of stormwater in order to protect water quality and aquatic habitat.
5. Use of vegetation, soils, and roots to slow and filter stormwater runoff.

6. Management of stormwater as a resource rather than a waste product by creating functional, attractive, and environmentally friendly developments.

7. Treatment of stormwater flows as close to the impervious area as possible.

LID shall be designed and maintained to meet the standards of these Regulations and the Urban Drainage and Flood Control District's Urban Storm Drainage Criteria Manual, Volume 3.

- ApplicantResponse: Design of site shall incorporate the following standards and requirements set forth within the Low Impact Development Section 9-01-03-14.

- County Response: LID design requirements will be reviewed with the Engineering Review case mentioned above.

Comment Closed

ENG9: Sustainable Development Practices Section 3-27-06-05-07-08:

To the maximum extent practicable, new buildings are encouraged to incorporate one or more of the following features:

1. Opportunities for the integration of renewable energy features in the design of buildings or sites, such as: solar, wind, geothermal, biomass, or low-impact hydro sources;

2. Energy-efficient materials, including recycled materials that meet the requirements of these regulations;

3. Materials that are produced from renewable resources;

4. Low-Impact Development (LID) stormwater management features;

5. A green roof, such as a vegetated roof, or a cool roof;

6. Materials and design meeting the U.S. Green Building Council's LEED-NC certification requirements;

7. A greywater recycling system.

- ApplicantResponse: Design of site shall consider the usage and application of the above mentioned Sustainable Development Practices.

- County Response: Any efforts made by the developer will be considered. Comment Closed.

Community & Economic
Development Department
www.adcogov.org



4430 South Adams County Parkway
1st Floor, Suite W2000
Brighton, CO 80601-8204
PHONE 720.523.6800
FAX 720.523.6998

Development Review Team Comments

Date: 3/30/2021

Project Number: PRC2019-00015

Project Name: Baseline Lakes - PUD Amendment and Filing 2 Subdivision

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5

Commenting Division: ROW Review 4th Review

Name of Reviewer: David Dittmer

Date: 03/26/2021

Email:

Resubmittal Required

PRC2019-00015 BASELINE LAKES SUB FILING NO. 2 FINAL PLAT ROW REVIEW – FDP

ROW1: Record COGCC Plugging and abandonment reports and provide recoding information for the KPK Guthrie 1 well and the Guthrie 22-2 well.

ROW2: Item F sheet 3: Add to ownership and maintenance F.1 to include those tracts as specified in Summary and Existing Tract tables for clarification.

ROW3: Item G sheet 3: There are 11 sheets, not 9, and no Exhibit “A” found for signage. Please revise or remove.

ROW4: Item J sheet 3: States “Refer to sheet 4 of 12”, there are only 11 sheets. Revise accordingly.

ROW5: General note: correct all typographical errors

ROW6: Add case number to the top right-hand corner of ALL sheets

ROW7: Revise title block at the bottom of the sheets to match the title of the plat

PRC2019-00015 BASELINE LAKES FILING NO 2 -PRELIMINARY PLAT

ROW1: Correct plat title as follows: BASELINE LAKES FILING NO. 2 – PRELIMINARY PLAT on all sheets

ROW2: Add this plat note: THERE ARE EXISTING UNDERGROUND GAS AND/OR OIL LINES WITHIN UNDOCUMENTED EASEMENTS WITHIN THIS DEVELOPMENT. THIS IS A GENERAL NOTE INFORMING THAT SUCH LINES OR EASEMENTS MAY EXIST ON ANY LOT AND CANNOT BE ACCURATELY LOCATED ON ANY PLATS AND THAT THE SURVEYOR/ENGINEER ARE NOT LIABLE OR RESPONSIBLE FOR ANY BUILDING RESTRICTIONS OR LIMITATIONS CAUSED BY THESE LINES OR EASEMENTS. RESPONSIBILITY IS WITH THE OWNER/DEVELOPER TO LOCATE ANY SUCH LINES SO AS TO PROVIDE AN ACCEPTABLE BUILDING ENVELOPE.

ROW3: Record COGCC Plugging and abandonment reports and provide recoding information for the KPK Guthrie 1 well and the Guthrie 22-2 well.

ROW4: Revise title block at bottom of sheets to match the naming of the plat provided

Commenting Division: Planner Review 4th Review

Name of Reviewer: Greg Barnes

Date: 03/25/2021

Email: gjbarnes@adcogov.org

Complete

No further comments beyond the following small items

PLN01: Please remove "FILING NO. 2" from the title of the PUD Amendment. The title of this document should be "BASELINE LAKES SUBDIVISION FINAL DEVELOPMENT PLAN - 2ND AMENDMENT"

PLN02: Please change the title of the preliminary plat to "BASELINE LAKES SUBDIVISION, FILING NO. 2 PRELIMINARY PLAT".

Commenting Division: Application Intake 4th Review

Name of Reviewer: Kevin Mills

Date: 03/05/2021

Email:

Complete

Greg Barnes

From: Loeffler - CDOT, Steven <steven.loeffler@state.co.us>
Sent: Monday, April 27, 2020 8:11 AM
To: Greg Barnes
Cc: Bradley Sheehan - CDOT
Subject: Re: For Review: Baseline Lakes (PRC2019-00015)

Please be cautious: This email was sent from outside Adams County

Greg,

I have reviewed the referral for the Baseline Lakes development located west of the intersection of Havana Street and East 163rd Ave. and have the following comments:

- We have no objections to the major amendment to the Baseline Lakes PUD or the preliminary plat for major subdivision to create 76 residential lots and 10 tracts.
- We are concerned with the cumulative impact of development in this area on the intersection of Havana Street and E.160th Ave. (Highway 7). We request the opportunity to review the Traffic Study for this development. If any improvements will be warranted at this intersection, a State Highway Access Permit will be required.

Thank you for the opportunity to review this referral.

Steve Loeffler
Permits Unit- Region 1



P 303.757.9891 | F 303.757.9886
2829 W. Howard Pl. 2nd Floor, Denver, CO 80204
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org

On Thu, Apr 23, 2020 at 2:48 PM Greg Barnes <GJBarnes@adcogov.org> wrote:

The Adams County Planning Commission is requesting comments on the following applications:

1. **Major Amendment to the Baseline Lakes Planned Unit Development;**
2. **Preliminary Plat for major subdivision to create approximately 76 single-family residential lots and 10 tracts.**

The Assessor's Parcel Numbers are 0157102100005, 0157102200005, and 0157102203018. The site is located north of the intersection of Kingston Drive and East 164th Avenue. It is also located west of the intersection of Havana Street and East 163rd Avenue.

STATE OF
COLORADO

Loeffler - CDOT, Steven <steven.loeffler@state.co.us>

Re: For Review: Baseline Lakes (PRC2019-00015)

1 message

Loeffler - CDOT, Steven <steven.loeffler@state.co.us>
To: Greg Barnes <GJBarnes@adcogov.org>
Cc: Bradley Sheehan - CDOT <bradley.sheehan@state.co.us>

Mon, Apr 27, 2020 at 8:11 AM

Greg,

I have reviewed the referral for the Baseline Lakes development located west of the intersection of Havana Street and East 163rd Ave. and have the following comments:

- We have no objections to the major amendment to the Baseline Lakes PUD or the preliminary plat for major subdivision to create 76 residential lots and 10 tracts.
- We are concerned with the cumulative impact of development in this area on the intersection of Havana Street and E. 160th Ave. (Highway 7). We request the opportunity to review the Traffic Study for this development. If any improvements will be warranted at this intersection, a State Highway Access Permit will be required.

Thank you for the opportunity to review this referral.

Steve Loeffler

Permits Unit- Region 1

**COLORADO**
Department of Transportation

P 303.757.9891 | F 303.757.9886
2829 W. Howard Pl. 2nd Floor, Denver, CO 80204
steven.loeffler@state.co.us | www.codot.gov | www.cotrip.org

On Thu, Apr 23, 2020 at 2:48 PM Greg Barnes <GJBarnes@adcogov.org> wrote:

The Adams County Planning Commission is requesting comments on the following applications:

1. **Major Amendment to the Baseline Lakes Planned Unit Development;**
2. **Preliminary Plat for major subdivision to create approximately 76 single-family residential lots and 10 tracts.**

The Assessor's Parcel Numbers are 0157102100005, 0157102200005, and 0157102203018. The site is located north of the intersection of Kingston Drive and East 164th Avenue. It is also located west of the intersection of Havana Street and East 163rd Avenue.

Applicant Information: Brad Penwell
12460 First St
Eastlake, CO 80614

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by 05/14/2020 in order that your comments may be taken into

consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org. Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases. It may take a few business days for the case information to be posted to the website. Thank you for your review of this case.

**Greg Barnes**

Planner III, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org



COLORADO
Division of Water Resources
Department of Natural Resources

May 13, 2020

Greg Barnes
Adams County Community and Economic Development Department
Transmitted via email:
gbarnes@adcogov.org

RE: Baseline Lakes - PUD Amendment and Filing 2 Subdivision
Project Number: PRC2019-00015
Portion of the Sections 2 and 3, T1S, R67W, 6th P.M.
Water Division 1, Water District 2

Dear Mr. Barnes,

We have reviewed the documents related to case no. PRC2019-00015, concerning the above referenced proposed preliminary Plat Amendment of Baseline Lakes PUD. Baseline Lakes is an existing subdivision approved in 2006 for 197 lots on 317 acres. The first phase of the project, Baseline Lakes Subdivision Filing No. 1, was recorded in 2006 and platted on approximately 133 acres creating 54 single family lots. Filing No. 1 also included two water storage reservoirs, known as Stouffer Reservoirs 1 and 2. The proposed preliminary Plat Amendment proposes the development of the second phase of the project, creating 76 lots and 10 tracks on 104.61 acres. In addition, the preliminary Plat Amendment proposes the elimination and redevelopment of the Stouffer Reservoirs 1 and 2, into lots.

Water Supply Demand

Estimated water requirements were not provided in the referral material, therefore the water supply demand for Baseline Lakes Subdivision Filing No. 2 is unknown. We note that based on a water demands report of December 19, 2019 and a memorandum to that report dated January 20, 2020 ("Water Supply Report") received from Todd Creek Village Metropolitan District, the in house use water demand for additional development of the Baseline Lakes Subdivision is estimated at 0.3 acre-feet/year/lot. For the 76 lots proposed for Filing 2 the in house water demand would be 22.8 acre-feet/year or 2,280 acre-feet for 100 year, or 6,840 acre-feet for 300 year county's approach.

Source of Water Supply

The proposed water source is the Todd Creek Village Metropolitan District ("District"). In lieu of a will serve letter, the District provided the recorded agreement between the District and the Baseline Lakes Subdivision in which Todd Creek Metro District agrees to provide water service to the Baseline Lakes Subdivision.

This office recognizes that the District continues to develop its water portfolio and infrastructure so that it can meet the needs of its customers. However, when this office evaluates water supplies available to any water district or municipal provider for the purpose of meeting permanent customer commitments it does not consider a district's short-term contract supplies, Denver Basin water that has not been decreed, not nontributary Denver Basin groundwater that has not been included in a court approved augmentation plan or any other source of water that is not currently legally available for municipal use. Short term contracts have the potential to be discontinued and water supplies that require a water court decree prior to use have an uncertain yield until such time as a water court decree is obtained. For



these reasons, we have not historically considered such supplies when evaluating the permanent water supplies available to a district. This is consistent with the approach we have taken in previous letters to the county regarding the District, including letters dated January 2, 2002, June 18, 2002, August 8, 2002, October 29, 2002, September 15, 2004, January 24, 2005, February 8, 2005, October 4, 2011 and November 17, 2016. In addition, to the extent that the applicant is claiming junior water rights they must specify and provide support for the claimed annual firm yield of the water rights.

District Water Supply Demands

According to the Water Supply Report, the District has implemented a dual pipeline system, one for potable water and one for non-potable irrigation water. New subdivisions will be required to have two taps and the existing subdivisions have been retrofitted with this system.

The Water Supply Report estimates the District's potable water commitments to be approximately 789.07 acre-feet annually, as shown in Table 1 below, and the District's non-potable water commitments to be approximately 1,345.01 acre-feet annually, as shown in Table 2 below. This amount includes the demand for Baseline Lakes Development.

For the purposes of understanding the District's ability to satisfy the counties' water allocation approaches for the previously approved subdivisions, water demand can also be described by the total residential and commercial water demand over the 100 year and 300 year allocation periods. The total potable water demand for residential and commercial developments is 104,971.7 acre-feet and the non-potable water demand for residential and commercial developments is 164,367.0 acre-feet. The potable and non-potable water requirements of each existing residential and commercial development are listed in Table 1 and 2.

Table 1: Potable Water Demands

Development Name	Number of Single Family Units	Assumed Water Requirement per Lot (AF/yr/lot)	Total Annual In-House Use Requirement (AF/yr)	Water Supply Demand Approach	Total In-House Use Requirement (AF)
Residential					
Todd Creek Farms Filing 1	54	0.269	14.53	100-yr	1452.6
Todd Creek Farms Filing 2	57	0.269	15.33	100-yr	1533.3
Todd Creek Farms Filing 3	62	0.269	16.68	100-yr	1667.8
Todd Creek Farms Filing 4	139	0.269	37.39	100-yr	3739.1
Foxridge	58	0.269	15.60	100-yr	1560.2
Todd Creek Farms Filing 5	160	0.269	43.04	100-yr	4304.0
Eagle Shadow I	185	0.269	49.77	100-yr	4976.5
Wheatland Estates	71	0.269	19.10	100-yr	1909.9
Todd Creek Meadows Phase I	78	0.269	20.98	100-yr	2098.2
Silver Springs	52	0.269	13.99	100-yr	1398.8
Hawk Ridge	47	0.269	12.64	100-yr	1264.3
Eagle Shadow II	191	0.269	51.38	100-yr	5137.9
Heritage at Todd Creek	1277	0.269	343.51	100-yr	34351.3
Todd Creek Village-Bartley	179	0.300	53.70	300-yr	16110.0
Todd Creek Village-Shook	64	0.300	19.20	300-yr	5760.0
Baseline Lakes Filing 1	54	0.269	14.53	300-yr	4357.8
Jogan Estates	3	0.300	0.9	300-yr	270

Baseline Lakes-Additional	140	0.300	42.00	300-yr	12,600.0
Commercial					
HTC Club/Maint			3.65	100-yr	365.0
TCVMD office			0.03	100-yr	3.0
NH Church			0.88	100-yr	88.0
Harvest Fellowship			0.24	100-yr	24.0
Total	2,871		789.07		104,971.7

Table 2: Non-Potable Water Demands

Development Name	Number of Single Family Units	Assumed Water Requirement per Lot (AF/yr/lot)	Total Annual Irrigation Requirement (AF/yr)	Water Supply Demand Approach	Total Irrigation Requirement (AF)
Residential					
Todd Creek Farms Filing 1	54	0.34	18.36	100-yr	1,836
Todd Creek Farms Filing 2	57	0.34	19.38	100-yr	1,938
Todd Creek Farms Filing 3	62	0.34	21.08	100-yr	2,108
Todd Creek Farms Filing 4	139	0.34	47.26	100-yr	4,726
Foxridge	58	0.34	19.72	100-yr	1,972
Todd Creek Farms Filing 5	160	0.34	54.40	100-yr	5,440
Eagle Shadow I	185	0.34	62.90	100-yr	6,290
Wheatland Estates	71	0.34	24.14	100-yr	2,414
Todd Creek Meadows Phase I	78	0.34	26.52	100-yr	2,652
Silver Springs	52	0.34	17.68	100-yr	1,768
Hawk Ridge	47	0.34	15.98	100-yr	1,598
Eagle Shadow II	191	0.34	64.94	100-yr	6,494
Heritage at Todd Creek	1277	0.25	319.25	100-yr	31,925
Todd Creek Village-Bartley	179	0.34	60.86	300-yr	18,258
Todd Creek Village-Shook	64	0.34	21.76	300-yr	6,528
Baseline Lakes	54	0.34	18.36	300-yr	5,508
Jogan Estates	3	0.25	0.75	300-yr	225
Baseline Lakes-Add'l	140	0.34	47.60	300-yr	14,280
Commercial					
HTC Club/Maint			11.7	100-yr	1,170
TCVMD office			0.0	100-yr	0
NH Church			0.0	100-yr	0
Harvest Fellowship			0.39	100-yr	39
TCV P&R ES Park			8.1	100-yr	810
TCV P&R TCM Park			3.98	100-yr	398
LS Areas			69.9	100-yr	6,990
Future HTC LS areas			120	100-yr	12,000
HTC Golf Courses			270	100-yr	27,000
Total	2,871		1,345.01		164,367.0

There is a current subdivision proposal in Weld County known as Dry Creek Village East Subdivision Phase 1 and the District may commit an additional 90 acre-feet to that subdivision. If the District commits to provide water to that development the existing commitments would be 879.07 acre-feet per year.

District Water Supply Availability: Denver Basin Water

According to the District's Water Supply Report, the District has approximately 843 acre-feet per year of currently decreed nontributary Laramie-Fox Hills ground water rights. The District also has 39.2 acre-feet per year of not-nontributary Lower Arapahoe ground water rights that are currently included in a plan for augmentation and 503.6 acre-feet per year of not-nontributary Lower Arapahoe ground water rights that are currently not included in a plan for augmentation. Once adjudicated, the District claims it will also have the right to withdraw and use additional Laramie-Fox Hills aquifer water underlying lands in the District's boundaries that is not currently adjudicated. **Please note that these amounts are based on the statutory 100-year aquifer life allocation approach.**

Based on this information, the District currently has a total of 88,220 acre-feet (882.2 acre-feet per year for 100 years) of Denver Basin water supplies; the District is committed to supplying a total of 104,971.7 acre-feet of potable water. If the Denver Basin water is withdrawn over 100 years, it equates to 882.2 acre-feet of water per year, which is greater than the yearly potable commitment of 789.07 acre-feet per year.

The proposed source of water for this subdivision includes bedrock aquifer ground water in the Denver Basin. The State Engineer's Office does not have evidence regarding the length of time for which this source will be a physically and economically viable source of water. According to 37-90-137(4)(b)(I), C.R.S., "Permits issued pursuant to this subsection (4) shall allow withdrawals on the basis of an aquifer life of one hundred years." Based on this allocation approach, the annual amounts of water decreed by the District in the Denver Basin are equal to one percent of the total amount, as determined by rules 8.A and 8.B of the Statewide Nontributary Ground Water Rules, 2 CCR 402-7. Therefore, the water may be withdrawn in those annual amounts for a maximum of 100 years.

In the Adams County Development Standards and Regulations, Effective April 15, 2002, Section 5-04-05-06-04 states:

"Prior to platting, the developer shall demonstrate that...the water supply is dependable in quantity and quality based on a minimum useful life of three-hundred (300) years. A minimum 300-year useful life means the water supply from both a static and dynamic basis will be viable for a minimum 300-year period. The static analysis shall include evaluation of the volume of water that is appropriable for the proposed subdivision. The dynamic analysis shall evaluate whether the appropriable water supply is sustainable for three-hundred (300) years, giving consideration to the location and extent of the aquifer, as well as impacts caused by both current and future pumping by others from the aquifer."

The State Engineer's Office does not have evidence regarding the length of time for which this source will be "dependable in quantity and quality." However, the one hundred year and three hundred year water allocation approach was evaluated as described above. The State Engineer's Office has no comment on the quality of the water supply or the required 'dynamic analysis' to evaluate whether the appropriable water supply is sustainable for three hundred years.

District Water Supply Availability: Surface Water

According to the District's Water Supply Report, the District has surface water rights and leased sources. Some of this water is limited to municipal or irrigation uses only, as outlined in Table 3, below. Table 3 also outlines what sources this office considers secure permanent supplies for the purposes of evaluating a subdivision water supply plan. This office does not consider water subject to short-term leases or water not yet adjudicated by the Water Court when evaluating the amount of permanent supplies available to supply residential developments.

Regarding the District's use of Coors water, the following issues need to be addressed before we can provide additional comments. The Coors effluent may have very limited yield since the decrees under which the majority of the water rights were changed (case nos. W-8036, W8256 and 89CW234) do not allow for reuse or successive use for municipal uses within the District's boundaries or augmentation uses other than the Coors Operations contemplated in the decrees. It appears that only a portion of the water included in case no. 99CW236, specifically water previously changed in case no. 96CW1117, could be used within the District's boundaries, subject to the terms and conditions of said decrees.

The District has obtained a decree in case no. 08CW165. The average historical consumptive use decreed in that case for the Old Brantner shares of 130 acre-feet has been included as a permanent supply as shown in Table 3.

Table 3: District's Surface Water Supplies

Water Source	Contract/ Shares	Contract End Date or Decree/ SWSP	Proposed Yield: Municipal (AF)	Proposed Yield: Irrigation (AF)	Firm yield, permanent supply: Municipal (AF)	Firm yield, permanent supply: Irrigation (AF)	Notes
Old Brantner	17 shares	08CW165	315.2	0	130	0	Adjudicated March 10, 2015
New Brantner	18.375 shares		0	312	0	312*	No information provided
Effluent	Coors- Aug	12/31/2016 (12/31/2026 w/ extensions)	200	0	0	0	Effluent not decreed for reuse or successive use
Reusable Effluent	Consolidated Mutual	Perpetual	500	0	462.1**	0	
Excess Credits	SACWSD	3/31/2018	500	0	0	0	Short term lease

*The New Brantner shares can continue to be used for the historical irrigation use. From the information provided it could not be determined if the land proposed to be irrigated is included under the originally decreed lands.

**The Consolidated Mutual contract water is typically released from the Metro Wastewater Facility; this water travels downstream to the District and is subject to assessment of conveyance losses occurring at the time of delivery as assessed by the water commissioner, currently 0.25% per mile during November through March and 0.50% per mile during April through October on the South Platte and 0.25% per mile on

Clear Creek. Further, the Consolidated Mutual water is dependent upon the natural stream for delivery from the point made available by Con Mutual at the Metro Wastewater Facility or other decreed source to the downstream location where Todd Creek would divert or use. Todd Creek would be responsible for any structures to be constructed or the use of existing structures that are required to bypass water past any structure that physically sweeps the river. Due to transit losses associated with the water delivery, only approximately 462.1 acre-feet of the 500 acre-feet contracted is received by the District.

As shown in Table 3 above the District has approximately 592.1 acre-feet of potable surface water and leased supplies that could be considered part of the permanent water supply.

The Applicant is also claiming that the junior surface and storage water rights decreed in Division 1 Water Court case nos. 13CW3181 and 16CW3019 have a firm yield of 1,777 acre-feet per year. This analysis is based on historical stream flow and call records for the period of 2001 through 2018. According to the Water Supply Report the junior water rights decreed in case nos. 13CW3181 and 16CW3019 will be used when available and the Denver Basin water will be used as a backup supply during periods of drought or shortage.

District Water Supply Availability: Conclusions

The District's ability to regulate potable and irrigation water separately through their dual pipeline system allows this office to evaluate potable water supply and irrigation water supply independently. Therefore, this office's conclusions regarding the District's potable and irrigation water are being addressed separately.

When the permanent supply of the District's municipal surface rights (592.1 acre-feet per year) is combined with the District's Denver Basin water (882.2 acre-feet per year), the District's total permanent potable water supply becomes 1,474.3 acre-feet per year (assuming a 100-year aquifer life). This amount is sufficient to meet the potable residential and commercial demands for the existing District's commitments, which is 789.07 acre-feet per year, which includes Baselines Lakes Filing 2 Subdivision. This amount would also be sufficient if the District commits to serve the Dry Creek Village East Subdivision Phase 1 subdivision in Weld County.

As discussed above based on the 100 year and 300 year allocation approaches required for the subdivisions the total water requirement for the District's current commitments is 104,971.7 acre-feet. The permanent water sources available to meet that demand is 882.2 acre-feet per year of Denver Basin water (88,220 acre-feet total based on a 100 year allocation approach) and 592.1 acre-feet of surface rights (177,630 acre-feet based on deliveries for 300 years). Therefore the total amount of permanent water supplies available over a 300 year period would be 265,850 acre-feet which would be adequate to meet the demand over that period of 104,971.7 acre-feet, including the proposed Baseline Lakes Filing 2.

Further, the District indicated that no water is needed to be stored in Stouffer Reservoirs 1 and 2 therefore they will be drained and the land reclaimed for the subdivision. We note that Stouffer Reservoirs 1 and 2 also known as Baseline East and Baseline West Reservoirs (WDID 0203941) were originally decreed by the District 7 Court as Guthrie Reservoir Nos. 1 and 2 and the expansion was decreed by Division 1 Water Court in case nos. 13CW3181 and 16CW3019. Any change or abandonment of the Stouffer Reservoirs 1 and 2 should be considered the terms and conditions of the decrees listed above.

The applicant should be aware that unless any storm water detention structure, can meet the requirements of a "storm water detention and infiltration facility" as defined in Section 37-92-602(8),

C.R.S., the structure may be subject to administration by this office. The applicant should review the Division of Water Resources [Administrative Statement Regarding the Management of Storm Water Detention Facilities and Post-Wildland Fire Facilities in Colorado](#), available on our website, to ensure that the notification, construction and operation of the proposed structure meets statutory and administrative requirements. The applicant is encouraged to use *Colorado Stormwater Detention and Infiltration Facility Notification Portal*, located at <https://maperture.digitaldataservices.com/gvh/?viewer=cswdif>, to meet the notification requirements.

The sources of supply available to meet irrigation demands include the New Brantner shares for areas that can be legally irrigated by such shares, junior water right, Denver Basin water that is not needed to meet potable water demands and leased water from Consolidated Mutual that is not needed to meet potable water demands. However to the extent that Denver Basin water or leased water from Consolidated Mutual is used to meet irrigation demands it would reduce the amount of water available to meet potable water demands. As shown in Table 2 above the annual irrigation demand is 1345.01 acre-feet per year. Based on the Applicant's claimed firm yield for their junior water rights of 1,777 acre-feet the applicant has adequate junior water to meet its annual irrigation demand, as long as the junior water rights continue to be available in-priority consistent with the Applicant's historical availability analysis.

State Engineer's Office Opinion

As stated above, the District's dual pipeline system allows the District to control potable and non-potable water supply separately. Based the District's ability to maintain separate potable and non-potable water supply systems, the information presented above, and pursuant to Section 30-28-136(1)(h)(I) and Section 30-28-136(1)(h)(II), C.R.S., it is our opinion that the proposed water supply is adequate **for potable residential and commercial use** and can be provided without causing injury to decreed water rights. Pursuant to Section 30-28-136(1)(h)(I) and Section 30-28-136(1)(h)(II), C.R.S., it is our opinion that the proposed water supply is adequate **for irrigation use** and can be provided without causing injury to decreed water rights, as long as the junior water rights continue to be available in-priority consistent with the Applicant's historical availability analysis.

Our opinion that the potable water supply is **adequate** is based on our determination that the amount of Denver Basin water required annually to serve the subdivision is currently physically available, based on current estimated aquifer conditions.

Our opinion that the irrigation water supply is **adequate** is based on the Applicant's firm yield analysis for the junior water rights, which was based on a historical availability analysis.

Our opinion that the potable water supply can be **provided without causing injury** is based on our determination that the amount of Denver Basin water that is legally available for the proposed uses on an annual basis, according to the statutory **allocation** approach, plus the permanent municipal supplies shown in Table 3, is greater than the annual amount of water required to supply existing water commitments and the demands of the proposed subdivision.

Our opinion that the potable water supply can be provided without causing injury recognizes that the District plans to use junior water rights to the extent available as the primary source of water supply and intends to use the Denver Basin water as a backup supply during periods of drought or shortage.

Our opinion is qualified by the following:

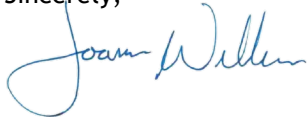
The Division 1 Water Court has retained jurisdiction over the final amount of water available under the Denver Basin decrees reference by the District, pending actual geophysical data from the aquifer.

The amounts of water in the Denver Basin aquifers, and identified in this letter, are calculated based on estimated current aquifer conditions. For planning purposes the county should be aware that the economic life of a water supply based on wells in a given Denver Basin aquifer may be less than the 100 or 300 years used for allocation due to anticipated water level declines. We recommend that the county determine whether it is appropriate to require development of renewable water resources for this subdivision to provide for a long-term water supply.

Additionally, the Con Mutual water is subject to assessment of conveyance losses occurring at the time of delivery as assessed by the water commissioner, currently 0.25% per mile during November through March and 0.50% per mile during April through October on the South Platte and 0.25% per mile on Clear Creek. Further, the Con Mutual water is dependent upon the natural stream for delivery from the point made available by Con Mutual at the Metro Wastewater Facility or other decreed source to the downstream location where Todd Creek would divert or use. Todd Creek would be responsible for any structures to be constructed or the use of existing structures that are required to bypass water past any structure that physically sweeps the river.

Should you or the applicant have any questions, please contact Ioana Comaniciu at (303) 866-3581 x8246.

Sincerely,



Joanna Williams, P.E.
Water Resource Engineer

JMW/idc

Ec: Subdivision File 27118
Todd Creek Village Metro District File



COLORADO
Division of Water Resources
Department of Natural Resources

October 21, 2020

Greg Barnes
Adams County Community and Economic Development Department
Transmitted via email:
gbarnes@adcogov.org

RE: Baseline Lakes - PUD Amendment and Filing 2 Subdivision
Project Number: PRC2019-00015
Portion of the Sections 2 and 3, T1S, R67W, 6th P.M.
Water Division 1, Water District 2

Dear Mr. Barnes,

We have reviewed the documents related to case no. PRC2019-00015, concerning the above referenced proposed preliminary Plat Amendment of Baseline Lakes PUD. Baseline Lakes is an existing subdivision approved in 2006 for 197 lots on 317 acres. The first phase of the project, Baseline Lakes Subdivision Filing No. 1, was recorded in 2006 and platted on approximately 133 acres creating 54 single family lots. Filing No. 1 also included two water storage reservoirs, known as Stouffer Reservoirs 1 and 2. The proposed preliminary Plat Amendment proposes the development of the second phase of the project, creating 34 lots and 11 tracks on 71.06 acres. In addition, the preliminary Plat Amendment proposes the elimination and redevelopment of the Stouffer Reservoirs 1 and 2, into lots.

This office previously provided comments to the application (PRC2019-00015) by our letter dated May 13, 2020, when the proposal was for the creation of 76 lots on 104.61 acres. The comments from our previous letter (copy enclosed) regarding the water supply for this subdivision still apply except that the in house water demand for the 34 lots proposed for Filing 2 would be 10.2 acre-feet/year or 1,020 acre-feet for 100 year, or 3,060 acre-feet for 300 year county's approach.

Should you or the applicant have any questions, please contact Ioana Comaniciu at (303) 866-3581 x8246.

Sincerely,

Joanna Williams, P.E.
Water Resource Engineer

JMW/idc

Ec: Subdivision File 27118
Todd Creek Village Metro District File



COLORADO GEOLOGICAL SURVEY

1801 Moly Road
Golden, Colorado 80401



Karen Berry
State Geologist

May 13, 2020

Greg Barnes
Adams County
Community & Economic Development Department
4430 S. Adams County Parkway, Suite W2000A
Brighton, CO 80601

Location:
NW¼ Section 2 and
E½ E½ Section 3,
T1S, R67W, 6th P.M.
39.9955, -104.8646

Subject: Baseline Lakes PUD Major Amendment and Filing 2 Preliminary Plat
Case Number PRC2019-00015; Adams County, CO; CGS Unique No. AD-20-0017

Dear Greg:

Colorado Geological Survey has reviewed the Baseline Lakes PUD major amendment and Filing 2 preliminary plat referral, for 76 single family lots and ten tracts on 104.61 acres located south of E. 166th Place, west and north of Havana and Lima Streets.

CGS reviewed the Baseline Lakes PUD in 2005, and an FDP amendment and Filings 2 through 5 final plat referral in 2018; comments were provided in letters dated August 17, 2005 and October 1, 2018, respectively. The 2005 referral included a Preliminary Subsurface Investigation report by Church & Associates (June 15, 2004). No geologic or geotechnical information was included with the current referral documents.

CGS continues to have serious concerns regarding conversion of the Stouffer Reservoirs No. 1 to residential lots:

Soft, wet soils and settlement. Some proposed lots are located within and immediately adjacent to Stouffer Reservoirs No. 1. The plans do not indicate how much fill, if any, will be placed within the reservoir basins. CGS is concerned about the presence of wet, soft, low strength soils, settlement, and shallow groundwater within and adjacent to the reservoirs, even after draining. Thick fills could experience significant settlement.

CGS continues to recommend that the county require, **prior to plat approval**, geotechnical investigation, testing, and analysis within the reservoir area, once drained, to

- verify that proposed lots within and adjacent to the reservoirs are developable as proposed,
- determine groundwater levels and basement feasibility,
- determine subgrade preparation requirements, and
- determine the need for survey benchmarks and settlement monitoring within the reservoir areas after fill placement and grading. Construction should be delayed until survey measurements confirm settlement has substantially ceased, or at least 90% of anticipated settlement has occurred. Fine-grained (clayey) soils, if present, will require longer to achieve 90% settlement.

Shallow groundwater and basement feasibility. Groundwater was observed by Church in 2004 at shallow depths of 3 to 7 feet below the ground surface in portions of the site. **Groundwater at such shallow depths precludes full-depth basement construction.** Due to risks of water infiltration into below-grade

COLORADO GEOLOGICAL SURVEY

1801 Moly Road
Golden, Colorado 80401



Karen Berry
State Geologist

November 3, 2020

Greg Barnes
Adams County
Community & Economic Development Department
4430 S. Adams County Parkway, Suite W2000A
Brighton, CO 80601

Location:
NW¼ Section 2 and
E½ E½ Section 3,
T1S, R67W, 6th P.M.
39.9955, -104.8646

**Subject: Baseline Lakes PUD/PDP Major Amendment and Filing No. 2 Major Subdivision Plat
Case Number PRC2019-00015; Adams County, CO; CGS Unique No. AD-20-0017-2**

Dear Greg:

Colorado Geological Survey has reviewed the Baseline Lakes PUD/PDP major amendment and Filing No 2 major subdivision plat resubmittal. The application has been revised since our May 13, 2020 review: 34 lots of approximately 1.01 to 1.71 acre are now proposed, and no lots are currently proposed within the limits of Stouffer Reservoirs 1 and 2.

CGS reviewed the Baseline Lakes PUD in 2005, and an FDP amendment and Filings 2 through 5 final plat referral in 2018; comments were provided in letters dated August 17, 2005 and October 1, 2018, respectively. The 2005 referral included a Preliminary Subsurface Investigation report by Church & Associates (June 15, 2004). No geologic or geotechnical information was included with the current referral documents.

CGS has no objection to approval of the plat as currently proposed, but our previous comments regarding shallow groundwater, soil and bedrock engineering properties, and OWS constraints remain valid:

Shallow groundwater and basement feasibility. Groundwater was observed by Church in 2004 at shallow depths of 3 to 7 feet below the ground surface in portions of the site. **Groundwater at such shallow depths precludes full-depth basement construction.** Due to risks of water infiltration into below-grade spaces, damp/moldy conditions, and hydrostatic loads on below-grade walls and floors, basements should be allowed only where a *minimum* separation distance of three feet between shallowest seasonal water levels and lowermost floor levels can be maintained year-round. Individual foundation perimeter drains are intended to handle small amounts of intermittent, perched water, and are *not* to be used to mitigate a persistent shallow groundwater condition.

Soil and bedrock engineering properties. The site is underlain by loess (wind-deposited silt with clay and sand). Loess deposits commonly exhibit compression or collapse under wetting and loading but, depending on the clay content, can also exhibit shrink/swell (volume changes in response to wetting and drying cycles). The surficial soils are underlain at unknown but likely shallow depth by Denver formation interbedded sandstone, claystone, siltstone, and shale. Claystone can exhibit low strength at high water content, very high swell potential and, if present at or near foundation depths, can cause significant damage to foundations and homes if not properly identified and mitigated.

Lot-specific geotechnical investigation, testing, and analysis will be needed, once building locations are identified and prior to building permit application, to determine depths to bedrock and seasonal



COLORADO

Parks and Wildlife

Department of Natural Resources

Northeast Regional Office
6060 Broadway
Denver, CO 80216
P 303.291.7227 | F 303.291.7114

September 20, 2018

Ms. Emily Collins
Adams County
Community & Economic Development Department
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

Re: Baseline Lakes FDP Amendment and Filings 2-5, PRC2018-00011

Dear Ms. Collins:

Thank you for the opportunity to comment on the proposed creation of 152 single family 1-acre lots and associated subdivision improvements for Baseline Lakes Subdivisions 2, 3, 4, and 5. The 190.4-acre proposed subdivisions are set to be constructed on parcels owned by various private owners and Todd Creek Village Metropolitan District. The proposed development will be conducted in various stages and will also require the draining of Stouffer Reservoirs 1 and 2, which are owned and managed by Todd Creek Village Metropolitan District. The proposed site is located in the East 1/2 of the East 1/2 of Section 3, and North 1/2 of Section 2, Township 1 South, Range 67 West, and is bounded on the east, south, and west by various parcels of private property, and on the north by the Adams County-Weld County line and various private properties.

The mission of Colorado Parks and Wildlife (CPW) is to perpetuate the wildlife resources of the state, to provide a quality state parks system, and to provide enjoyable and sustainable outdoor recreation opportunities that educate and inspire current and future generations to serve as active stewards of Colorado's natural resources. Our goal in responding to land use proposals such as this is to provide complete, consistent, and timely information to all entities who request comment on matters within our statutory authority. Current CPW policy directs our efforts towards proposals that will potentially have high impacts to wildlife and wildlife habitat. The emphasis of CPW's concerns is on large acreages, critical habitats, wildlife diversity, and impacts to species of special concern, or those that are state or federally endangered. Due to the low availability of undeveloped habitat surrounding the site, impacts of the development, as proposed, may be characterized as minimal.

Natural Vegetation

CPW recommends that land within the project area be restored to native habitat, if possible. To improve wildlife habitat after construction, CPW recommends using native plant species in the project area. CPW also recommends planting trees, shrubs, and grasses so that they are mixed within the landscape. A landscape that has a good mix of trees, grasses, and shrubs is more beneficial to wildlife than a landscape with all trees in one area and all grasses and shrubs in others.



Burrowing Owls

If prairie dog towns are present on the sites, or if prairie dogs establish themselves on the property prior to development, CPW recommends a burrowing owl survey be conducted prior to earth moving. Burrowing owls live on flat, treeless land with short vegetation, and nest underground in burrows dug by prairie dogs, badgers, and foxes. These raptors are classified as a state threatened species and are protected by state and federal laws, including the Migratory Bird Treaty Act.

These laws prohibit the killing of burrowing owls or disturbance of their nests. Therefore, if any earth-moving will occur between March 15th and October 31st, a burrowing owl survey should be performed. Guidelines for performing a burrowing owl survey may be obtained from District Wildlife Manager Jordan Likes, by visiting the CPW website at <http://cpw.state.co.us> or by calling the CPW Northeast Region Office at (303) 291-7227.

Aquatic Wildlife

Prior to Stouffer Reservoirs 1 and 2 being drained and filled in, CPW recommends that an aquatic survey be conducted to determine if aquatic wildlife does reside within Stouffers Reservoirs 1 and 2. If fish are found within the reservoirs, the fish should be salvaged so that they can be put into new bodies of water or possibly donated out to the public. Guidance on conducting an aquatic survey or a fish salvage can be obtained by contacting District Wildlife Manager Jordan Likes at (303) 291-7135.

Please contact us if we can be of assistance in implementing your proposal to minimize negative impacts and maximizing potential enhancements to support living with wildlife in our community. If you have any further questions, please contact District Wildlife Manager Jordan Likes at (303) 291-7135.

Sincerely,

A handwritten signature in dark ink that reads "Crystal Chick". The script is cursive and fluid, with the first name "Crystal" and last name "Chick" clearly legible.

Crystal Chick
Area Wildlife Manager

Cc: M. Leslie, T. Kroening, J. Likes

groundwater levels, and to characterize soil and bedrock engineering properties such as swell/consolidation potential, density, strength, water content, and allowable bearing pressures. This information is needed to determine whether overexcavation is required to provide adequate separation between highly expansive claystone bedrock and foundation elements, to design foundations, floor systems, subsurface drainage, pavements, etc., and to determine each lot's suitability for below-grade (basement) construction, if planned.

Slow percolation rates, and possible need for engineer-designed OWS. The project summaries state that each lot will contain an onsite wastewater system (OWS).

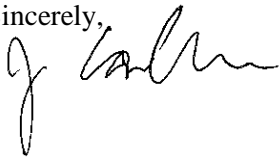
- Percolation tests by Church indicate that many of the proposed lots will require engineered systems due to 1) percolation rates that fall outside the range considered acceptable for conventional OWS, and/or 2) groundwater or bedrock occurring at depths shallower than eight feet.
- Since engineer-designed septic systems tend to require more maintenance and have shorter lifespans than conventional OWS, a backup location should be identified on each lot.
- Lots requiring an engineered OWS due to slow percolation rates will likely utilize drip-irrigation fields, which tend to be large. The proposed one-acre lots may not contain adequate suitable area, to accommodate both a primary and backup OWS field. Many counties require minimum 5-acre lots for OWS.

For these reasons, CGS continues to encourage the applicant to explore the possibility of extending municipal sewer service to the site, or constructing one or more wastewater treatment plants to serve the subdivision.

Mineral resource potential. According to the Atlas of Sand, Gravel, and Quarry Aggregate Resources, Colorado Front Range Counties (Schwochow et al, Colorado Geological Survey Special Publication 5-B, 1974), the subject property is not mapped as containing a sand, gravel, or aggregate resource.

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,



Jill Carlson, C.E.G.
Engineering Geologist

spaces, damp/moldy conditions, and hydrostatic loads on below-grade walls and floors, basements should be allowed only where a *minimum* separation distance of three feet between shallowest seasonal water levels and lowermost floor levels can be maintained year-round. Individual foundation perimeter drains are intended to handle small amounts of intermittent, perched water, and are *not* to be used to mitigate a persistent shallow groundwater condition.

Soil and bedrock engineering properties. The site is underlain by loess (wind-deposited silt with clay and sand). Loess deposits commonly exhibit compression or collapse under wetting and loading but, depending on the clay content, can also exhibit shrink/swell (volume changes in response to wetting and drying cycles). The surficial soils are underlain at unknown but likely shallow depth by Denver formation interbedded sandstone, claystone, siltstone, and shale. Claystone can exhibit low strength at high water content, very high swell potential and, if present at or near foundation depths, can cause significant damage to foundations and homes if not properly identified and mitigated.

Lot-specific geotechnical investigation, testing, and analysis will be needed, once building locations are identified and prior to building permit application, to determine depths to bedrock and seasonal groundwater levels, and to characterize soil and bedrock engineering properties such as swell/consolidation potential, density, strength, water content, and allowable bearing pressures. This information is needed to determine whether overexcavation is required to provide adequate separation between highly expansive claystone bedrock and foundation elements, to design foundations, floor systems, subsurface drainage, pavements, etc., and to determine each lot's suitability for below-grade (basement) construction, if planned.

Slow percolation rates, and possible need for engineer-designed OWS. The project summary states that each lot will contain an onsite wastewater system (OWS).

- Percolation tests by Church indicate that many of the proposed lots will require engineered systems due to 1) percolation rates that fall outside the range considered acceptable for conventional OWS, and/or 2) groundwater or bedrock occurring at depths shallower than eight feet.
- Since engineer-designed septic systems tend to require more maintenance and have shorter lifespans than conventional OWS, a backup location should be identified on each lot.
- Lots requiring an engineered OWS due to slow percolation rates will likely utilize drip-irrigation fields, which tend to be large. The proposed one-acre lots may not contain adequate suitable area, to accommodate both a primary and backup OWS field. Many counties require minimum 5-acre lots for OWS.

For these reasons, CGS encourages the developer to explore the possibility of extending municipal sewer service to the site, or constructing one or more wastewater treatment plants to serve the subdivision.

Mineral resource potential. According to the Atlas of Sand, Gravel, and Quarry Aggregate Resources, Colorado Front Range Counties (Schwochow et al, Colorado Geological Survey Special Publication 5-B, 1974), the subject property is not mapped as containing a sand, gravel, or aggregate resource.

Thank you for the opportunity to review and comment on this project. If you have questions or require additional review, please call me at (303) 384-2643, or e-mail carlson@mines.edu.

Sincerely,

Jill Carlson, C.E.G.
Engineering Geologist





27J Schools

Kerrie Monti – Planning Manager
1850 Egbert Street, Suite 140, Brighton, CO 80601
Superintendent Chris Fiedler, Ed.D.

27J Schools Board of Education

Greg Piotraschke, President
Blaine Nickeson, Vice President
Kevin Kerber, Director
Lloyd Worth, Director
Tom Green, Director
Mandy Thomas, Director
Mary Vigil, Director

Greg Barnes

gjbarnes@adcogov.org

DATE: May 18, 2020

SUBDIVISION NAME: Todd Creek Baseline Lakes F2

LOCATION: Generally E. 168th Avenue and Lima Street

STATUS: Preliminary Plat Amendment

Dear David,

A. STUDENT GENERATION (see attached Table 1 for methodology)

Dwelling Units	Total Students
76 SFD	59

B. LAND DEDICATION/CASH-IN-LIEU REQUIREMENTS (See attached Table 1 for methodology)

The District requests cash in lieu of land dedication in the amount of \$20,922 (Adams County calculation).

C. SCHOOL BOUNDARY AREAS

Students from this proposed development would currently attend:

Brantner ES – 7800 E 133rd Avenue, Thornton

Quist MS – 13451 Yosemite Street, Thornton

Riverdale Ridge HS – 13380 Yosemite Street, Thornton

D. CAPITAL FACILITY FEE FOUNDATION (see attached Table 2 for methodology)

The Capital Facility Fee Foundation is a unique public/private nonprofit organization founded in January 2001 to help fund school expansion or new school construction. This program has been developed in partnership with each of the municipalities in the District, developer and builder representatives, and School District 27J. Funding is provided by builders and developers who have agreed to contribute per residential dwelling unit based on the current fee structure. The current fees negotiated for this program are as follows: \$843 per single family residential unit and \$481 per multi-family unit.

SCHOOL DISTRICT PLANNING COMMENTS AND RECOMMENDATIONS:

- 1. The District requests cash in lieu of land dedication in the amount of \$20,922.**
- 2. Prior to the approval of the final subdivision plat, we recommend that the developer enter into an agreement with the Capital Facility Fee Foundation to mitigate the impact of this development on District school facilities. Given the residential units planned for Todd Creek Baseline Lakes Filing 2, the tax-deductible capital facility fees are projected to be \$64,068. If lots are sold by the developer, the participant agreement may be assigned to the builder for those lots. CFFF fees may be paid in a lump sum or by lot as permits are pulled. We would appreciate your support of our students, families, and community.**

We appreciate your continuing cooperation and the opportunity to comment upon issues of interest to both the City and the School District. We look forward to receiving updated referrals on this subdivision. Please let me know if you have questions about these comments.

Sincerely,

Kerrie Monti

Kerrie Monti
Planning Manager

Attachment

Baseline Lakes Filing 2

Table 1 - Student Generation and Facilities Requirements

Dwelling Unit Type	Number of DUs	Population Rate	Population Generated	Student Generation Rate	Number of Students	Land Area Required per Student	Number of Acres	Land Value per Acre	School District Fee (CIL)
SFD	76	3.278	249.128	0.775	58.900	0.026	1.531	\$13,662	\$20,921.99
SFA		2.533	0	0.364	0	0.026	0	\$13,662	\$0.00
TH/C		2.216	0	0.303	0	0.026	0	\$13,662	\$0.00
Apartment		2.007	0	0.195	0	0.026	0	\$13,662	\$0.00
Mobile Home		2.803	0	0.512	0	0.026	0	\$13,662	\$0.00
Total	76		249.128		58.9		1.5314		\$20,921.99

Land Dedication Provided	0
--------------------------	---

Table 2 - SD27J Capital Facility Fee Foundation Contributions

Dwelling Unit Type	Number of DUs	Rate per Unit *	Total Contribution
SFD	76	\$843.00	\$64,068.00
SFA	0	\$843.00	\$0.00
TH/C	0	\$481.00	\$0.00
Apartment	0	\$481.00	\$0.00
Mobile Home	0	\$843.00	\$0.00
Total	76		\$64,068.00

* through December 2020



May 7, 2020

Greg Barnes
Adams County Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: Baseline Lakes PUD, PRC2019-00015
TCHD Case No. 6246

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the Major Amendment to the Baseline Lakes Planned Unit Development (PUD) and Preliminary Plat for a major subdivision to create approximately 76 single-family residential lots and 10 tracts located north of the intersection of Kingston Drive and E 164th Avenue. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

On-Site Wastewater Treatment Systems (OWTS)

Proper wastewater management promotes effective and responsible water use, protects potable water from contaminants, and provides appropriate collection, treatment, and disposal of waste, which protects public health and the environment. TCHD has no objection to the proposed subdivision being served by OWTS, provided the systems are permitted, installed, and operated in compliance with our current OWTS regulation.

At the time of our review of the original subdivision, it was TCHD's expectation that the Todd Creek Farms Metropolitan District (TCMD) would act as the Responsible Management Entity (RME) for OWTS within the Baseline Lakes Subdivision. Maintenance of OWTS by TCMD is also addressed in the Plat Notes provided in this application. The understanding that TCMD would be responsible for inspections of the OWTS in the Baseline Lakes Subdivision was a factor in our agreeing to allow properties in the Baseline Lakes Subdivision to be served by OWTS. However, we understand that TCMD is not acting as the RME for OWTS.

As stated in the plat note, TCHD recommends that Adams County require that TCMD act as the RME for the homes in the Baseline Lakes Subdivision. TCHD would like to work with Adams County to ensure this role is met.

On-Site Wastewater Treatment Systems (OWTS) – Plat Notes

TCHD reviewed the plat notes addressing OWTS, referred to as individual sewage disposal systems (ISDS), on the existing plat dated April 7, 2020. Based on that review, TCHD requests that all mention of individual sewage disposal systems (ISDS) be replaced with on-site wastewater treatment systems (OWTS). This better reflects current terminology and regulatory requirements in TCHD's On-Site Wastewater Treatment System (OWTS) Regulation O-17.

Community design to support walking and bicycling

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, TCHD encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. Because research shows that the way we design our communities can encourage regular physical activity, TCHD strongly supports community plans that incorporate pedestrian and bicycle amenities that support the use of a broader pedestrian and bicycle network.

In order to promote walking and bicycling through this development, TCHD encourages the applicant to consider the inclusion of the following as they design the community.

1. A system of sidewalks, bike paths and open space trail networks that are well-designed and well-lit, safe, and attractive so as to promote bicycle and pedestrian use.
2. Bicycle and pedestrian networks that provide direct connections between destinations in and adjacent to the community.
3. Where public transportation systems exist, direct pedestrian access should be provided to increase transit use and reduce unnecessary vehicle trips, and related vehicle emissions. The pedestrian/bicycle networks should be integrated with the existing and future transit plans for the area.
4. Streets that are designed to be pedestrian/bike friendly and to reduce vehicle and pedestrian/bicycle fatalities.
5. Bicycle facilities and racks are provided in convenient locations.

Radon

Radon is a naturally occurring radioactive gas that is present at high levels in all parts of Colorado due to the presence of uranium in the soil. Radon can enter homes and long-term exposure causes lung cancer. In order to prevent radon from infiltrating the home, TCHD recommends designing new homes so that they are radon resistant. This includes laying a barrier beneath the flooring system, installing a gas-tight venting pipe from the gravel level through the roof, and sealing and caulking the foundation

Baseline Lakes PUD

May 7, 2020

Page 3 of 3

thoroughly. More information regarding radon and radon-resistant construction techniques can be found here: <https://www.epa.gov/radon/building-new-home-have-you-considered-radon>.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,

A handwritten signature in dark ink, appearing to read 'AHF', is positioned above the printed name.

Annemarie Heinrich Fortune, MPH/MURP
Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, Michael Weakley, TCHD



October 29, 2020

Greg Barnes
Adams County Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: Baseline Lakes PUD, PRC2019-00015
TCHD Case No. 6565

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the Resubmittal of the Major Amendment to the Baseline Lakes Planned Unit Development (PUD) and Preliminary Plat for a major subdivision to create approximately 76 single-family residential lots and 10 tracts located north of the intersection of Kingston Drive and E 164th Avenue. Tri-County Health Department (TCHD) staff previously reviewed the application for the first submittal for the Major Amendment and, in a letter dated May 7, 2020 responded with the comments included below. TCHD has no further comments.

On-Site Wastewater Treatment Systems (OWTS)

Proper wastewater management promotes effective and responsible water use, protects potable water from contaminants, and provides appropriate collection, treatment, and disposal of waste, which protects public health and the environment. TCHD has no objection to the proposed subdivision being served by OWTS, provided the systems are permitted, installed, and operated in compliance with our current OWTS regulation.

At the time of our review of the original subdivision, it was TCHD's expectation that the Todd Creek Farms Metropolitan District (TCMD) would act as the Responsible Management Entity (RME) for OWTS within the Baseline Lakes Subdivision. Maintenance of OWTS by TCMD is also addressed in the Plat Notes provided in this application. The understanding that TCMD would be responsible for inspections of the OWTS in the Baseline Lakes Subdivision was a factor in our agreeing to allow properties in the Baseline Lakes Subdivision to be served by OWTS. However, we understand that TCMD is not acting as the RME for OWTS.

As stated in the plat note, TCHD recommends that Adams County require that TCMD act as the RME for the homes in the Baseline Lakes Subdivision. TCHD would like to work with Adams County to ensure this role is met.

On-Site Wastewater Treatment Systems (OWTS) – Plat Notes

TCHD reviewed the plat notes addressing OWTS, referred to as individual sewage disposal systems (ISDS), on the existing plat dated September 24, 2020. Based on that review, TCHD requests that all mention of individual sewage disposal systems (ISDS) be replaced with on-site wastewater treatment systems (OWTS). This better reflects current terminology and regulatory requirements in TCHD's On-Site Wastewater Treatment System (OWTS) Regulation O-17.

Community design to support walking and bicycling

Because chronic diseases related to physical inactivity and obesity now rank among the country's greatest public health risks, TCHD encourages community designs that make it easy for people to include regular physical activity, such as walking and bicycling, in their daily routines. Because research shows that the way we design our communities can encourage regular physical activity, TCHD strongly supports community plans that incorporate pedestrian and bicycle amenities that support the use of a broader pedestrian and bicycle network.

In order to promote walking and bicycling through this development, TCHD encourages the applicant to consider the inclusion of the following as they design the community.

1. A system of sidewalks, bike paths and open space trail networks that are well-designed and well-lit, safe, and attractive so as to promote bicycle and pedestrian use.
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Baseline Lakes PUD


October 29, 2020

Page 3 of 3

techniques can be found here: <https://www.epa.gov/radon/building-new-home-have-you-considered-radon>.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,

A handwritten signature in dark ink, appearing to read "AHF".

Annemarie Heinrich Fortune, MPH/MURP
Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, Michael Weakley, TCHD



January 13, 2021

Greg Barnes
Adams County Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: Baseline Lakes PUD, PRC2019-00015
TCHD Case No. 6708

Dear Mr. Barnes,

Thank you for the opportunity to review and comment on the Resubmittal of the Major Amendment to a Final Development Plan and Preliminary Plat for a major subdivision to create approximately 76 single-family residential lots and 10 tracts located north of the intersection of Kingston Drive and E 164th Avenue. Tri-County Health Department (TCHD) staff previously reviewed the application for the first submittal for the Major Amendment and, in a letter dated May 7, 2020 responded with the comments included below. TCHD has no further comments.

On-Site Wastewater Treatment Systems (OWTS)

Proper wastewater management promotes effective and responsible water use, protects potable water from contaminants, and provides appropriate collection, treatment, and disposal of waste, which protects public health and the environment. TCHD has no objection to the proposed subdivision being served by OWTS, provided the systems are permitted, installed, and operated in compliance with our current OWTS regulation.

At the time of our review of the original subdivision, it was TCHD's expectation that the Todd Creek Farms Metropolitan District (TCMD) would act as the Responsible Management Entity (RME) for OWTS within the Baseline Lakes Subdivision. Maintenance of OWTS by TCMD is also addressed in the Plat Notes provided in this application. The understanding that TCMD would be responsible for inspections of the OWTS in the Baseline Lakes Subdivision was a factor in our agreeing to allow properties in the Baseline Lakes Subdivision to be served by OWTS. However, we understand that TCMD is not acting as the RME for OWTS.

As stated in the plat note, TCHD recommends that Adams County require that TCMD act as the RME for the homes in the Baseline Lakes Subdivision. TCHD would like to work with Adams County to ensure this role is met.

On-Site Wastewater Treatment Systems (OWTS) – Plat Notes

TCHD reviewed the plat notes addressing OWTS, referred to as individual sewage disposal systems (ISDS), on the existing plat dated September 24, 2020. Based on that review, TCHD requests that all mention of individual sewage disposal systems (ISDS) be replaced with on-site wastewater treatment systems (OWTS). This better reflects current terminology and regulatory requirements in TCHD's On-Site Wastewater Treatment System (OWTS) Regulation O-17.

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In order to promote walking and bicycling through this development, TCHD encourages the applicant to consider the inclusion of the following as they design the community.

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2. Bicycle and pedestrian networks that provide direct connections between destinations in and adjacent to the community.
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5. Bicycle facilities and racks are provided in convenient locations.

Radon

Radon is a naturally occurring radioactive gas that is present at high levels in all parts of Colorado due to the presence of uranium in the soil. Radon can enter homes and long-term exposure causes lung cancer. In order to prevent radon from infiltrating the home, TCHD recommends designing new homes so that they are radon resistant. This includes laying a barrier beneath the flooring system, installing a gas-tight venting pipe from the gravel level through the roof, and sealing and caulking the foundation thoroughly. More information regarding radon and radon-resistant construction

Baseline Lakes PUD


January 13, 2021

Page 3 of 3

techniques can be found here: <https://www.epa.gov/radon/building-new-home-have-you-considered-radon>.

Please feel free to contact me at 720-200-1585 or aheinrich@tchd.org if you have any questions.

Sincerely,

A handwritten signature in dark ink, appearing to read "AHF", with a horizontal line extending to the right.

Annemarie Heinrich Fortune, MPH/MURP
Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, Michael Weakley, TCHD

Greg Barnes

From: Dan Biro <Dan.Biro@cityofthornton.net>
Sent: Saturday, April 25, 2020 11:10 AM
To: Greg Barnes
Subject: RE: For Review: Baseline Lakes (PRC2019-00015)

Please be cautious: This email was sent from outside Adams County

Greg,

No comments on this review.

Thanks,
Dan



Dan Biro, P.E.
DEPUTY FIRE MARSHAL
Thornton Fire Department
Main: 303-538-7602
Office: 303-538-7663
Fax: 303-538-7660
dan.biro@ThorntonCO.gov
gocot.net/fire



From: Laurie Davidson <Laurie.Davidson@cityofthornton.net>
Sent: Thursday, April 23, 2020 2:51 PM
To: Stephanie Harpring <Stephanie.Harpring@cityofthornton.net>; Dan Biro <Dan.Biro@cityofthornton.net>
Subject: FW: For Review: Baseline Lakes (PRC2019-00015)

From: Greg Barnes <GJBarnes@adcogov.org>
Sent: Thursday, April 23, 2020 2:48 PM
To: Greg Barnes <GJBarnes@adcogov.org>
Subject: [EXTERNAL] For Review: Baseline Lakes (PRC2019-00015)

The Adams County Planning Commission is requesting comments on the following applications:

1. **Major Amendment to the Baseline Lakes Planned Unit Development;**
2. **Preliminary Plat for major subdivision to create approximately 76 single-family residential lots and 10 tracts.**

The Assessor's Parcel Numbers are 0157102100005, 0157102200005, and 0157102203018. The site is located north of the intersection of Kingston Drive and East 164th Avenue. It is also located west of the intersection of Havana Street and East 163rd Avenue.

Applicant Information: Brad Penwell
12460 First St

May 14, 2020



Adams County
4430 S. Adams County PKWY
1st Floor, Suite W200A
Brighton, CO 80601

Attn: Greg Barnes

Re: PRC2019-00015 – Baseline Lakes, Proposed Baseline Lakes Subdivision Filing No. 2

Dear Greg,

On behalf of United Power, Inc., thank you for inviting us to review and comment on the Baseline Lakes - Proposed Baseline Lakes Subdivision Filing No. 2. After review of the information, we have the following comments:

- Anywhere there is a 10' U.E. & D.E, we request this be increased to a 15' to 20' U.E. & D.E. This will allow enough room to share with gas, electric, and drainage, plus any loss to sidewalks. These utility easements will need to be on sides of lots abutting roads, around the perimeter of tracts, and across tracts. The 10' U.E in the rear of lots is sufficient.
- Tracts: United Power prefers dedicated blanket utility easement use within tracts as this gives us the opportunity to set above ground equipment, coordinated with the developer, and limit the impact to home lots. If this is not an option, please ensure all tracts have at least an 8' to 10' wide dry utility easements along perimeter of tracts, along perimeter of tracts abutting roads, and through tracts between lots (expect if shared then please ensure they are a minimum of 15').
 - We request Tract A & B on sheet 10, continues from lot 13 through the tracts in both the front and rear of the lot to lot 14.
 - We request Tract C & D on sheet 10, continue from lot 7 through the tracts to lot 4.
 - We request at least an 8' U.E around the perimeters of tract A, B, D, C, E,

Please note, the property owner/developer/contractor must submit an application along with CAD data for new electric service via <https://www.unitedpower.com/construction>. United Power would like to work with these persons early in the construction process on getting an electric design prepared so that we can request any additional easements needed and hopefully have those easements dedicated on the plat rather than obtaining separate document(s). Obtaining easements via a separate document can be time consuming and could cause delays.

As a Reminder: No permanent structures are acceptable within the dry utility easement(s); such as, window wells, wing walls, retaining walls, basement walls, roof overhang, anything affixed to the house like decks, etc. United Power considers any structure that impedes the access, maintenance, and safety of our facilities a permanent structure. No exceptions will be allowed, and any encroachments could result in penalties.


We look forward to safely and efficiently providing reliable electric power and outstanding service to our members.

Thank you,

Samantha Riblett
United Power, Inc.

Right of Way Administrative Assistant
O: 303-637-1324 | Email: platreferral@unitedpower.com



Your Touchstone Energy® Cooperative 

November 5, 2020

Adams County
4430 S. Adams County PKWY
1st Floor, Suite W200A
Brighton, CO 80601

Re: 2nd Submittal - PRC2019-00015 – Baseline Lakes, Proposed Baseline Lakes Subdivision Filing No. 2

Dear Greg Barnes:

On behalf of United Power, Inc., thank you for inviting us to review and comment on 2nd submittal for the Baseline Lakes - Proposed Baseline Lakes Subdivision Filing No. 2. After review of the information, we have the following comments:

- Tracts: United Power prefers dedicated blanket utility easement use within tracts as this gives us the opportunity to set above ground equipment, coordinated with the developer, and limit the impact to home lots. If this is not an option, please ensure all tracts have at least an 8' to 10' wide dry utility easements along perimeter of tracts, along perimeter of tracts abutting roads, and continues through tracts between lots.
 - Sheet 8 - We request that the 10' U.E. on the rear lot continues through tracts A & B from lot 13 to lot 14.
 - We request at least an 8' U.E around the perimeters of tract A, B, C, D, & E. Or a blanket easement.

Please note, the property owner/developer/contractor must submit an application along with CAD data for new electric service via <https://www.unitedpower.com/construction>. United Power would like to work with these persons early in the construction process on getting an electric design prepared so that we can request any additional easements needed and hopefully have those easements dedicated on the plat rather than obtaining separate document(s). Obtaining easements via a separate document can be time consuming and could cause delays.

As a Reminder: No permanent structures are acceptable within the dry utility easement(s); such as, window wells, wing walls, retaining walls, basement walls, roof overhang, anything affixed to the house like decks, etc. United Power considers any structure that impedes the access, maintenance, and safety of our facilities a permanent structure. No exceptions will be allowed, and any encroachments could result in penalties.

We look forward to safely and efficiently providing reliable electric power and outstanding service to our members.

Thank you,



Samantha Riblett
United Power, Inc.
Right of Way Administrative Assistant
O: 303-637-1324 | Email: platreferral@unitedpower.com

Greg Barnes

From: United Power Plat Referral <platreferral@UnitedPower.com>
Sent: Monday, January 11, 2021 4:40 PM
To: Greg Barnes
Subject: FW: For Review: Baseline Lakes (PRC2019-00015)

Please be cautious: This email was sent from outside Adams County

Hi Greg,

Thank you for inviting United Power, Inc. to review the recent information resubmitted. Unfortunately, after review of the information, I do not see that my previous comments were addressed. I would be interested in understanding if there is a plan too or if there is another reason why. I look forward to seeing the next submittal or additional information.

Thank you,

Samantha

Right of Way Administrative Assistant
O: 303-637-1324 | C: 720-695-5040

**Due to COVID-19, United Power has closed its offices to the public indefinitely. During this time, employees are being encouraged to work from home. As a result, turnaround and response times may be slower but we plan to operate as close to business as usual as possible.*



500 Cooperative Way | Brighton, CO 80603
Powering Lives, Powering Change, Powering the Future – The Cooperative Way
www.unitedpower.com

From: Greg Barnes <GJBarnes@adcogov.org>
Sent: Monday, January 11, 2021 9:46 AM
To: Greg Barnes <GJBarnes@adcogov.org>
Subject: For Review: Baseline Lakes (PRC2019-00015)

CAUTION: This email originated from outside of United Power. Do not click links or open attachments unless you recognize the sender and know the content is safe.

This notice is to inform you that the applicant for Baseline Lakes (PRC2019-00015) has resubmitted with new case material regarding applications for:

1. Preliminary plat for major subdivision; and
2. Major amendment to a final development plan.

You are receiving this notification because you have previously provided a response on this case.


Unfortunately, based on my preliminary review of this case material, it appears that the applicant did not provide a response to previous comments, which we require. Adams County staff will require another resubmittal on this project with replies to each comment.

In the meantime, the case material submitted is available for review. If you'd like to look this information over, please visit <https://www.adcogov.org/planning/currentcases>. Any additional or revised comments are due on January 26th, 2021. Please e-mail me at gjbarnes@adcogov.org with comments. Thank you!

Disclaimer

The information contained in this communication from the sender is confidential. It is intended solely for use by the recipient and others authorized to receive it. If you received this message in error, please contact the sender and delete the message. Any disclosure, copying, review reproduction, or distribution in relation to any of the contents of this information is strictly prohibited.



Your Touchstone Energy® Cooperative 

March 24, 2021

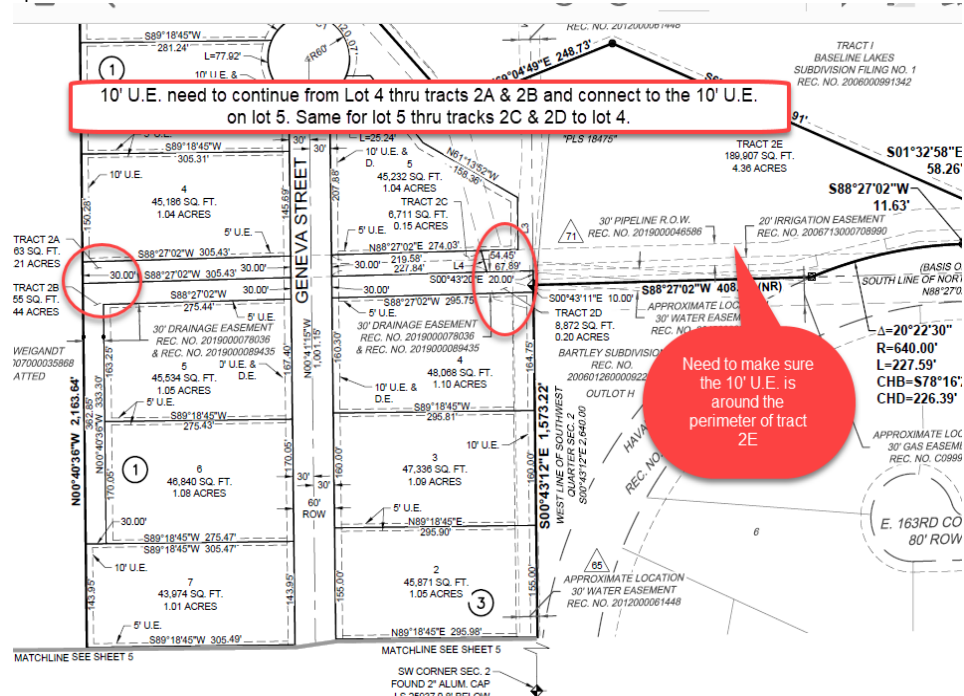
Adams County
4430 S. Adams County PKWY
1st Floor, Suite W200A
Brighton, CO 80601

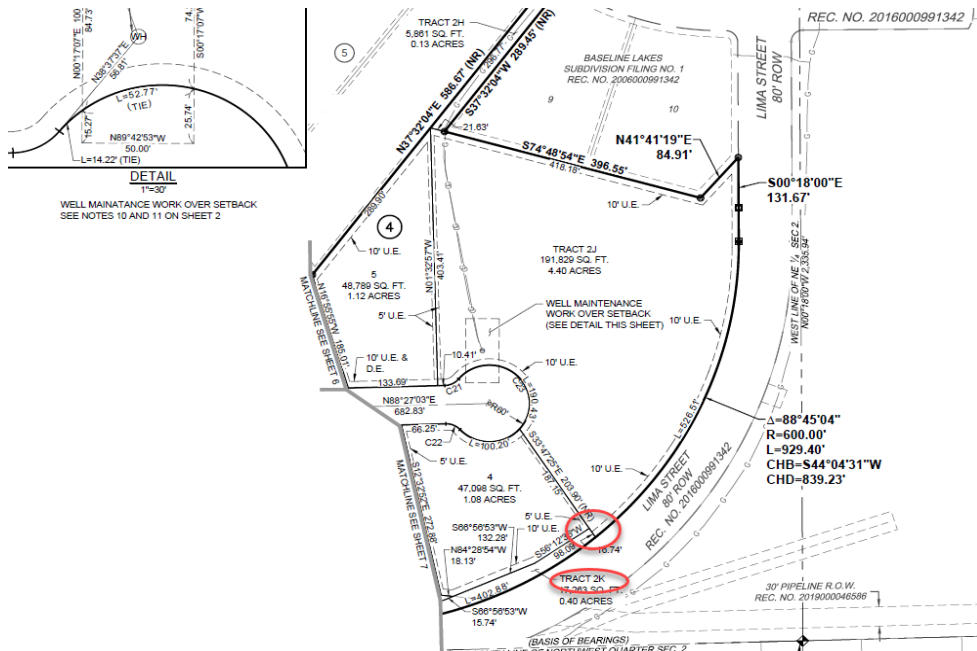
Re: 4th Submittal - PRC2019-00015 – Baseline Lakes, Proposed Baseline Lakes Subdivision Filing No. 2 – Preliminary Plat

Dear Greg Barnes:

On behalf of United Power, Inc., thank you for inviting us to review and comment on 4th submittal for the Baseline Lakes - Proposed Baseline Lakes Subdivision Filing No. 2 preliminary plat. After review of the information, we have the following comments:

- Tracts: United Power prefers dedicated blanket utility easement use within tracts as this gives us the opportunity to set above ground equipment, coordinated with the developer, and limit the impact to home lots. If this is not an option, please ensure all tracts have at least an 8' to 10' wide dry utility easements along perimeter of tracts, along perimeter of tracts abutting roads, and continues through tracts between lots.
 - Your Easement Statement mentions tract J, G, & H. Are these tracts the same in the track summary table listed as 2J, 2G, 2H?
 - Sheet 4, Block 1, lots 4 & 5 – We request that the rear 10' U.E. on lot 4 continue through tracts 2A & 2B and connect to the rear 10' U.E. on lot 5
 - Sheet 4, Block 3, lots 5 & 4 – We request that the rear 10' U.E. on lot 5 continue through tract 2C & 2D and connect to the rear 10' U.E. on lot 4.
 - Sheet 4, tract 2E – Please ensure the 10' U.E. is around the entire perimeter. It is unclear to me.
 - Sheet 8, Block 4, lot 4 – There is a gap and the 10' U.E. on tract 2K does not connect with the 10' U.E. on the rear of lot 4. We need the ability to get through tract 2K to reach lot 4. Typically, we request 8' to 10' around the perimeter of all tracts. This is a small tract and it may be hard to provide around the perimeter. I do not know if a blanket easement is an option.





Please note, the property owner/developer/contractor must submit an application along with CAD data for new electric service via <https://www.unitedpower.com/construction>. United Power would like to work with these persons early in the construction process on getting an electric design prepared so that we can request any additional easements needed and hopefully have those easements dedicated on the plat rather than obtaining separate document(s). Obtaining easements via a separate document can be time consuming and could cause delays.

As a Reminder: No permanent structures are acceptable within the dry utility easement(s); such as, window wells, wing walls, retaining walls, basement walls, roof overhang, anything affixed to the house like decks, etc. United Power considers any structure that impedes the access, maintenance, and safety of our facilities a permanent structure. No exceptions will be allowed, and any encroachments could result in penalties.

We look forward to safely and efficiently providing reliable electric power and outstanding service to our members.

Thank you,

Samantha Riblett
United Power, Inc.
Right of Way Administrative Assistant
O: 303-637-1324 | Email: platreferral@unitedpower.com

Greg Barnes

From: Samantha Riblett <sriblett@UnitedPower.com>
Sent: Friday, April 2, 2021 4:35 PM
To: Greg Barnes
Subject: RE: Baseline Lakes (PRC2019-00015)

Please be cautious: This email was sent from outside Adams County

Hi Greg,

I was able to review the plat and it looks like all my last comments concerns were addressed on the plat. We have no further comments for concerns for the Baseline Lake preliminary plat. I hope you have a wonderful weekend!

Sincerely,

Samantha Riblett

Right of Way Administrative Assistant

O: 303-637-1324 | C: 720-695-5040

**Due to COVID-19, United Power has closed its offices to the public indefinitely. During this time, employees are being encouraged to work from home. As a result, turnaround and response times may be slower but we plan to operate as close to business as usual as possible.*



500 Cooperative Way | Brighton, CO 80603

Powering Lives, Powering Change, Powering the Future – The Cooperative Way

www.unitedpower.com

From: Greg Barnes <GJBarnes@adcogov.org>
Sent: Friday, April 2, 2021 2:34 PM
To: Samantha Riblett <sriblett@UnitedPower.com>
Subject: FW: Baseline Lakes (PRC2019-00015)

CAUTION: This email originated from outside of United Power. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hey Samantha,

The applicant for the Baseline Lakes (PRC2019-00015) project has resubmitted and addressed your concerns. I wouldn't normally do this, but do you think you could review it sometimes by the end of the day on Friday, April 9th. This is the 5th submittal on this project, and I would really like to get the review completed so I can schedule it for hearings. If this is impossible, just let me know and I can push back the timeline. I appreciate all your efforts on this. Have a great weekend!



Greg Barnes

Planner III, Community and Economic Development Dept.

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

May 14, 2020

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: Baseline Lakes, Case # PRC2019-00015

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the major amendment and preliminary plat for **Baseline Lakes**. The property owner/developer/contractor must complete the application process for any new natural gas service via xcelenergy.com/InstallAndConnect. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center by dialing 811 for utility locates prior to construction.

Donna George
Right of Way and Permits
Public Service Company of Colorado / Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

November 5, 2020

City and County of Denver Development Services
201 West Colfax, Dept. 205
Denver, Colorado 80202

Attn: Greg Barnes

Re: Baseline Lakes – 2nd referral, Case # PRC2019-00015

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the documentation for **Baseline Lakes** and advises the property owner/developer/contractor to complete the application process for any new natural gas service via xcelenergy.com/InstallAndConnect. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

Donna George
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

January 25, 2021

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Greg Barnes

Re: Baseline Lakes – 3rd referral, Case # PRC2019-00015

Public Service Company of Colorado's Right of Way & Permits Referral Desk requests that 10-foot wide utility and drainage easements are dedicated within Tract F abutting Joliet Street and East 164th Avenue for continuity within the development of **Baseline Lakes Subdivision Filing No. 2**.

The property owner/developer/contractor is reminded to complete the application process for any new natural gas service via xcelenergy.com/InstallAndConnect.

Donna George
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com

Greg Barnes

From: S B <sbietendorf@gmail.com>
Sent: Thursday, April 30, 2020 6:33 PM
To: Greg Barnes
Subject: PRC2019-00015 Comments

Please be cautious: This email was sent from outside Adams County

Hi,

My name is Scott Bietendorf and my wife and I live in an adjacent property (16150 Geneva Ct - Twin Lakes) to the proposed development.

We have live at our current location for over 18 years. During those 18 years Havana was extended onto our property and we lost 1 acre from imminent domain by Todd Creek. We have subsequently lost the use and enjoyment of our lakes with the development of the Shook property and closure of Signal Ditch.

We would like to maintain as much privacy and separation from the development that abuts directly against our north pond. This parcel is also know as lot 7 of Twin lakes HOA. We want the county to make sure the original berm or dyke that was part of the water retention of our pond be left in tact during and after development. This will assure some separation and privacy we originally enjoyed with the purchase of our property.

Thank you,
Mr. Scott Bietendorf - Secretary Twin Lakes HOA
16150 Geneva Ct
Brighton, Co 80602

Baseline Lakes Residents Bruce and Sharon Bishop
10540 E. 166th Place
Brighton, CO 80602

May 12, 2020

Community & Economic Development Department
4430 S. Adams County Parkway, Suite W2000A
Brighton, CO 80601-8216

Re: Request for Comments
Baseline Lakes FDP Amendment and Filings 2-5
Case # PRC2019-00015

Thank you for allowing us to comment on the proposed amendments. We strongly oppose the significant change from the original PUD/FDP and the elimination and redevelopment of the two Stouffer Reservoirs into lots (Baseline Lakes – PUD Amendment and Filing 2 Subdivision) for the following reasons:

Environmental - Although the Stouffer Reservoirs were intended for irrigation since the early 1900's the reservoirs have become an important resource of food for wildlife. They provide excellent habitat for fish and wildlife species. They give cover, food and water for several wildlife types as well as nesting, breeding and feeding for several avian wildlife species such as water fowl. Some residents and visitors to the reservoirs are: Sandhill Crane, Great Blue Heron, American White Pelican, American Avocet, Great Horned Owl, Yellow Headed Black Bird, Red Winged Blackbird, Cowbirds, Killdeer, several species of ducks, muskrat and bullfrog. As the water levels decrease in the spring/fall we see Bald Eagles feeding on the fish. The reservoirs are a stop along the migratory path of countless geese and ducks. Many of these listed are on the Tier 1 and Tier 2 priorities for conservation in Colorado's State Wildlife Action Plan.

The reservoirs are a designated wetland by the Colorado Wetland Inventory as Colorado_NWI_L2UBK; As stated in the Nobel.org publication *'Wetlands tend to have higher plant diversity than the surrounding area, which is good for most wildlife species. Wetlands are an important, yet often overlooked, resource. Keeping them healthy is critical to maintain clean water and to support wildlife and fish populations.'*

Economic - Diminished property value. Bruce and I purchased our property, designed and built our 'forever' home in 2014 on lot #1 on the south east corner of 166th Place and Havana Street. When we purchased our property we paid an additional amount for that particular lot because we were told we would never have a house to the south or to the west of our property due to the placement of the reservoirs. We invested many thousands of dollars on landscaping with that in mind. By draining the reservoirs, constructing homes and building a major road to run right next to our west property line the value of our home will be significantly diminished. In addition, we will be forced to invest several more thousands of dollars on landscaping to mitigate the sound of the traffic, the view of the new homes and to recreate our original level of privacy. If we would have known there was a possibility that the reservoirs were temporary we certainly would not have purchased a home in Baseline Lakes.

Quality of life in Baseline Lakes will be drastically decreased - The name of our development says it all, Baseline **LAKES**. This alone shows the intention of the development from the beginning. Without the reservoirs the residents of Baseline Lakes could no longer take walks around the reservoirs and enjoy the peaceful atmosphere, the open space and recreation will be lost. The current natural space that entertains several young children as they play outdoors will now be converted into roadway, exposing the children to traffic dangers in lieu of outdoor fun.

For the reasons listed above, we urge you to reconsider the elimination and redevelopment of the two Stouffer Reservoirs into lots (Baseline Lakes – PUD Amendment and Filing 2 Subdivision).

Prior to moving forward with Baseline Lakes – PUD Amendment and Filing 2 Subdivision, we request that an environmental and economic assessment be completed.

Thank you for your thoughtful consideration and for permitting us to submit these comments. Please call us at (303)514-0541 for additional information or to set up a time to come by our house to see what would be lost if this subdivision were to go through.

Respectfully,

Bruce and Sharon Bishop
10540 E. 166th Place
Brighton, Colorado

cc: Adams County District 3 Commissioner, Emma Pinter
4430 S. Adams County Pkwy
5th Floor, Suite C5000A
Brighton, CO 80601
Phone (720)523-6100 Fax (720)523-6045

Greg Barnes

From: Braasch, William A <William.Braasch@XCELENERGY.COM>
Sent: Tuesday, May 12, 2020 8:30 AM
To: Greg Barnes
Subject: PRC2019-00015

Please be cautious: This email was sent from outside Adams County

Greg,

We were very disturbed to see this mailing and the idea that this project will destroy the lake behind our home. We live at 10740 E 166th Place. Why can't the lake be kept for wildlife refuge, fishing, walking path, etc for the neighborhood? In the original PUD, this area around the lake was Filing 4. Filings 2 & 3 were East of Lima St and N/S of 164th Ave heading west to Filing 4. What's happening to the original PUD and the that area? Has a raptor study been completed in the existing trees? Will the existing trees remain?

In concluding, we are against the lots that destroy the lake and would ask that every effort be taken to keep the lake for community use.

Bill and Laurie Braasch

Get [Outlook for iOS](#)

Greg Barnes

From: Braasch, William A <William.Braasch@XCELENERGY.COM>
Sent: Monday, October 26, 2020 11:07 AM
To: Greg Barnes
Subject: Baseline Lakes Filing 2

Please be cautious: This email was sent from outside Adams County

Greg,

Great news here about the lakes. Are they part of the Open Space area for use to the public?

Why is Joliet St and Kingston Dr one-in-the-same? Seems to be confusing for the fire department?

William A Braasch

10740 E 166th Place

Brighton, CO 80602

Greg Barnes

From: Christina Cullen <tina_cullen@hotmail.com>
Sent: Saturday, May 2, 2020 1:27 PM
To: Greg Barnes
Cc: James Cullen
Subject: Baseline Lakes - PUD Amendment and Filing 2 Subdivision / PRC2019-00015

Please be cautious: This email was sent from outside Adams County

Adams County Planning Commission,

I am a resident of Todd Creek – Riverside. We live at 11420 E 163rd Ct. We built out here in Adams County in order to have a little bit of land and to get away from living practically on top of our neighbors in Broomfield. We were drawn to the open spaces and wildlife out here in Todd Creek. In particular, we love the retention ponds and the paths around them. The wildlife over there is wonderful. We've seen white pelicans (protected), blue herons (protected), and golden eagles (protected) in addition to the red-winged black birds, killdeer (protected), and western meadowlarks (declining in population due to human encroachment).

Our developer didn't make any plans for the protection of the wildlife or our enjoyment of the outdoors. We have no parks or trail systems here, and soon we will have no open space here. With the amount of property taxes we pay to Adams County, it would be nice to have the county give back to us as residents. Instead, this proposal calls for the retention ponds and all the wildlife that make their homes there to be destroyed in order to make way for more homes. I don't begrudge the developer or the county the opportunity for income. However, surely there is a way to do this while keeping the eastern pond. The developer could certainly charge a lot premium for homes that could back to the pond to help make up for the loss of the homes that would be built where that pond currently sits.

This is an opportunity for Adams County to continue what you began when you denied the mining of aggregate in our community last year. Please, please continue to consider the quality of life of your residents. Make living here a blessing, not a questionable decision.

Thank you for your time.

Christina Cullen
303-437-5578

Greg Barnes

From: Brook Dougherty <brookd05@gmail.com>
Sent: Tuesday, May 5, 2020 11:43 AM
To: Greg Barnes
Subject: Phase 2 Poject PRC2019-00015

Please be cautious: This email was sent from outside Adams County

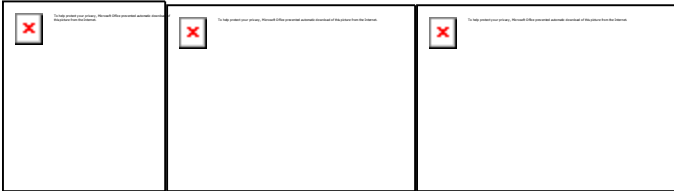
I just got back from a beautiful walk around the ponds with my dogs. It's a beautiful morning, Colorado bright blue skies, birds chirping, a faint breeze, and an amazing view of our snow capped mountains. I'm now sitting outside enjoying the quiet and sun. I'm feeling much better than I did last night, and I owe it to my morning walk. I had a house built 6 years ago at Baseline Lakes, and one of the things that I love most about it, other than the 1 acre lots, is that even though I am living on old farmland with minimal trees, is that I have the ponds to walk around. I walk my dogs EVERY day around those ponds, and many times twice a day. I love to see what species of birds that day are enjoying the water or trees, to see the fish jump and hear the frogs croak. I've seen so many types of birds, frogs, snakes, rabbits, and of course a ton of mosquitos- and I wouldn't trade it for anything. Having these ponds just yards from my house is something I treasure and feel so blessed to be able to enjoy. My dogs pull me towards them everytime and by the end of my walk I am more calm, relaxed, and happier. Yesterday was a rough day for me, I was quite depressed last night and still felt terrible this morning. But I got my dogs ready and out we went. Now I feel so much better, and it's all due to my walk around the ponds. This is time when I reflect on my feelings and state what I am grateful for. I cannot imagine not having these ponds to aid in my serenity and to witness all the beautiful wildlife that his state has to offer. As I have reviewed the map for Phase 2 I am utterly saddened and disgusted by the fact that these ponds will be destroyed for the mere fact of building a few more houses and a few more dollars in someone's pocket. These ponds are priceless to me and my dogs, to the wildlife that have built their home there, and to the many many other neighbors who enjoy these ponds.

Please take off your investor/builder hat for a minute and really think about what it would do to remove these ponds. They provide so much to so many. Not everything in this world has to be about money. THEY ARE PRICELESS.

I beg of you to reconsider building on these ponds, plus how can the soil even be considered safe to build on?

Thank you for your time,
Brook Dougherty

--



"Dogs do speak, but only to those who know how to listen."— Orhan Pamuk

Greg Barnes

From: James Flynn <jflynn.gdi@gmail.com>
Sent: Friday, May 1, 2020 1:27 PM
To: Greg Barnes
Subject: Baseline Lakes - PUD Amendment

Please be cautious: This email was sent from outside Adams County

Hello.

I receive the preliminary plat amendment There seems to be a mistake on the proposal Where "tract F" is located, is my property

11231 E 166th Ave Brighton CO 80602

Obviously this is a mistake. Please advise James Flynn

Sent from my iPhone

Greg Barnes

From: Shelley Hoover-Sheard <chirohoover@hotmail.com>
Sent: Tuesday, May 5, 2020 8:17 AM
To: Greg Barnes
Subject: Fw: Baseline Lakes Major Amendment AKA Baseline Lakes-PUD Amendment and Filing 2 Subdivision

Please be cautious: This email was sent from outside Adams County

Dear Mr. Barnes,

I have attached my comments initially submitted on September 21, 2018 concerning the proposed amendment to Baseline Lakes Development. My thoughts concerning the amendment have not changed since submitting this original letter. The usage of the area around the "lakes" has only increased exponentially since writing this letter. The developer should view the open space as an added bonus to those who seek the solitude and more "country" way of life. Please have these comments added verbatim concerning this to amendment proposal.

Shelley R. Hoover-Sheard, D.C., DACBSP

The content of this message, together with any attachments, are intended only for the use of the person(s) to which they are addressed and may contain confidential and/or privileged information. Further, any medical information herein is confidential and protected by law. It is unlawful for unauthorized persons to use, review, copy, disclose, or disseminate confidential medical information. If you are not the intended recipient, immediately advise the sender and delete this message and any attachments. Any distribution, or copying of this message, or any attachment, is prohibited

From: Shelley Hoover-Sheard
Sent: Friday, September 21, 2018 9:16 AM
To: ECOLLINS@ADCOGOV.ORG <ECOLLINS@ADCOGOV.ORG>
Cc: jsheard1@hotmail.com <jsheard1@hotmail.com>
Subject: Baseline Lakes Major Amendment

To Whom It May Concern,

As a homeowner of 10700 E. 166th Place that backs up to the Stouffer Reservoir No. 1, I am adamantly against the drainage and development of the land south of our property. This area of trails, water, trees and wildlife is one of the major reasons we moved into our home in Baseline Lakes. As one who utilizes open space areas frequently around the region, having this area directly behind our home is a huge bonus. I can sit on my patio and watch many others also enjoying the area via foot, bicycle and horseback. It is used by many in the surrounding communities. Also, taken into consideration should be the amount of wildlife in the area. These reservoirs provide a habitat for pelicans, eagles, blue heron and many other bird species.

I have reviewed the final development plan dated December, 12, 2005 and understand the plan as it was presented then and approve. Looking at the additional lots that will surround the reservoirs makes these reservoirs even more of a positive centerpiece to this residential community. So far, 7 houses border directly next to these reservoirs with potentially 12 more added according to the original development plans. These lots could be considered premium due to the location bordering the reservoirs.

In conclusion, I am against the major amendment to the Final Development Plan to convert water storage reservoirs to single-family residential lots in Baseline Lakes. Specifically, the Baseline Lakes Subdivision Filing

No. 5, which did not exist when we purchased our home, should be deleted. Baseline Lakes has the word "Lakes" in it for a reason...the lakes.

Thank you for your attention concerning this matter,

Shelley R. Hoover-Sheard, D.C., DACBSP

The content of this message, together with any attachments, are intended only for the use of the person(s) to which they are addressed and may contain confidential and/or privileged information. Further, any medical information herein is confidential and protected by law. It is unlawful for unauthorized persons to use, review, copy, disclose, or disseminate confidential medical information. If you are not the intended recipient, immediately advise the sender and delete this message and any attachments. Any distribution, or copying of this message, or any attachment, is prohibited

Greg Barnes

From: Shelley Hoover-Sheard <chirohoover@hotmail.com>
Sent: Friday, October 16, 2020 8:56 AM
To: Greg Barnes
Subject: Re: For Review: Baseline Lakes (PRC2019-00015)

Please be cautious: This email was sent from outside Adams County

Greg,

I appreciate your update and information regarding this PUD. This is great news!

Cheers!!

Shelley Hoover-Sheard, DC

Shelley Hoover-Sheard, D.C., DACBSP

From: Greg Barnes <GJBarnes@adcogov.org>
Sent: Thursday, October 15, 2020 4:39:54 PM
To: Greg Barnes <GJBarnes@adcogov.org>
Subject: For Review: Baseline Lakes (PRC2019-00015)

Adams County has received a resubmittal on the application known as Baseline Lakes (PRC2019-00015). Earlier this year, you provided comments on this application. You may review the new materials at: <https://www.adcogov.org/planning/currentcases>. If you have additional comments on this case, please e-mail them to me at gjbarnes@adcogov.org on or **before 11/05/2020**.

It is important to note that the application has been substantially modified since the last notice was sent. After the first round of comments from the County, referral agencies, and the public, the applicant has decided not to fill and develop the reservoirs. The new proposal is substantially reduced in scale from the previous request. Please take a look at the proposal documents before providing additional comments.

Thank you!



Greg Barnes

Planner III, *Community and Economic Development Dept.*
ADAMS COUNTY, COLORADO
4430 S. Adams County Parkway, 1st Floor, Suite W2000A
Brighton, CO 80601-8216
720.523.6853 gjbarnes@adcogov.org
adcogov.org

Beginning July 27, 2020, my work schedule is:

Monday – Alternating weeks of 7 am – 3:30 pm and off
Tuesday – Friday – 7 am – 4:30 pm

Greg Barnes

From: Ryan Hubbard <hubbart17@yahoo.com>
Sent: Wednesday, May 6, 2020 10:24 AM
To: Greg Barnes
Cc: Jayme Hubbard
Subject: Response to Baseline Lakes - PUD Amendment and Filing 2 Subdivision

Please be cautious: This email was sent from outside Adams County

Dear Sir or Madam,

This letter is in response to a request for comments concerning Baseline Lakes - PUD Amendment and Filing 2 Subdivision. In particular project PRC2019-00015. The filing calls for developing single family homes on two existing lakes that are part of the current community. Besides the obvious of putting homes on existing lakes this is a detrimental proposal for several reasons.

These lakes and the open space around them are vital to the migratory avian population that comes thru the region. Through out the year many species can be seen coming to and from the lakes on a daily basis. Loss of habitat in the region over the past decade, as development continues to expand thru out the county, has already stressed these avian populations and the loss of these two lakes would only further decrease the existing habitat in the region causing more stress to these populations.

These lakes are a vital part of the existing lifestyle of the communities current residents. The lakes and the open space around them are the only community areas that we can walk dogs, exercise and allow our children to play. Unfortunately the community does not have a park, play ground or trails that we can exercise ourselves and our animals. Loss of the area proposed Baseline Lakes - PUD Amendment and Filing 2 Subdivision to homes would leave the current communities residence with no were to get outdoors. We would have to get in a car and drive to Todd Creek Village or Brighton for our nearest source of open space rather than walking out our front doors to soak in the wonderful Colorado sunshine. This area is the only outdoor space that our children can get out and explore and be kids. In today's society children are increasingly in front of the TV, on tablets and playing video games instead of getting out doors and exploring. Taking the open space and lakes away from the communities children as proposed, would only further promote the stagnate nature that our children are becoming accustom to.

Furthermore, when we purchased our homes Subdivision Filing No. 5 building homes on the lakes was not part of the master plan and many residents perhaps would have made different decision on where to locate had this filing been made public knowledge when these decision were being made.

It is my hope that the county will reconsider allowing Baseline Lakes - PUD Amendment and Filing 2 Subdivision to continue any further. It is detrimental to the wildlife population that currently utilizes the area, in particular the migratory avian population. It also has a large negative impact on current community residents and their children that utilize the area. There simply is no other open space in the subdivision that we can utilize for our out door needs.

Respectfully Submitted,

Ryan Hubbard
16651 Havana St
Brighton CO 80602
303-910-7868

Greg Barnes

From: paigekearns81 <paigekearns81@gmail.com>
Sent: Wednesday, May 13, 2020 6:36 PM
To: Greg Barnes
Subject: Major Amendment to the Baseline Lakes Planned Unit Development

Please be cautious: This email was sent from outside Adams County

Community and Economic Development Department May 12, 2010
4430 South Adams County Parkway
Suite W2000A
Brighton, CO 80601-8216

Dear Mr. Barnes,

In response to your "Request for Comment," April 23, 2020, we submit this letter regarding the following application:

Major Amendment to the Baseline Lakes Planned Unit Development, and

Preliminary Plat for major subdivision ,

Assessor's Parcel Number(s) 0157102100005,0157102200005,0157102203018.

It is our understanding that you plan to build at least 76 residential lots and 10 tracts in this area. The removal of these lakes would be a tragedy and a blight on our neighborhood. The plan would not only destroy the view we chose when we bought our property, the lakes are home to herons, pelicans, eagles, owls, hawks and other fowl and fauna. I'm hoping there is some way we can preserve this beautiful area, help the homeowners who have a water issue, and get this developer to build further west or north where the wildlife isn't so abundant.

Please take into consideration the habitat of the animals as well as of the people surrounding this neighborhood. Traffic would increase exponentially, leading to more noise, pollution and general disturbance. Many of the nearby homeowner's have small children who will be jeopardized by increased traffic. Surely there are available tracts of land within a short radius of this one where the impact would be greatly reduced. We appreciate our neighborhood as it is; please keep this in mind and vote to let those of us most greatly affected by this have a strong say in the process. Money considerations cannot always triumph. Our homes and lives are affected negatively by this and we hope you represent that to the people making this decision as equally if not in fact, more important than money.

Regards,

Brian and Paige Kearns
16063 163rd Way - Riverside Subdivision
Brighton, CO 80601

Sent from my Verizon, Samsung Galaxy smartphone

Greg Barnes

From: Paige C Kearns <Paige.C.Kearns@kp.org>
Sent: Wednesday, May 13, 2020 5:04 PM
To: Greg Barnes
Subject: baseline lakes- PUD Amendment and Filling 2 subdivision comments

Please be cautious: This email was sent from outside Adams County

Dear Mr. Barnes,

I am writing to express my comments and concern with the proposed building on Project number PRC2019-00015. As a resident of the Todd Creek Riverside community, I cannot express strongly enough what a loss this would be to our community. In particular the proposal of Block 3 and Block 5. Where there is currently 2 small ponds. My house backs to these ponds. I live on lot 7 on the south side of Havana across from the small Outlot H. I regularly watch migratory birds such as, horned owls, bald eagles, blue herons, and pelicans land on the ponds. There are fish, turtle, frogs and snakes living around the ponds and there are active Coyote dens on that land as well. Placing homes on this land would be devastating to the wildlife.

In addition to the wildlife, the community uses the area for recreation. A walking path has been worn around the path due to its high use and the ponds are a cherished part of our community. We don't have any other parks, playgrounds, or recreation in our neighborhood or nearby.

Our neighborhood also gets our potable water from those ponds, and the relocation of the water source, logistics of having it re-routed back to our properties would not only be extremely expensive but possibly extremely disruptive as well.

I moved into my home because of the view, the few amount of neighbors and the size of the community of Todd Creek Riverside, the additions of these homes would ruin all of those things.
Please voice my opinion and concerns at the hearing for this project.
And please do not hesitate to contact me if I can provide any additional information.

Kindest regards,

Paige C. Kearns
Todd Creek Riverside homeowner
720-220-3777

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Greg Barnes

From: Paige C Kearns <Paige.C.Kearns@kp.org>
Sent: Monday, May 18, 2020 12:19 PM
To: Greg Barnes
Subject: Development proposal Baseline lakes Project number PRC2019-00015

Please be cautious: This email was sent from outside Adams County

Good afternoon Mr. Barnes,

I understand that the deadline for comments regarding this development proposal were due on 5/14. I have submitted a comment previously. I was hoping that you could add that I have contacted both the Audubon society as well as the State of Colorado Special permitting department, and the state Wildlife offices in regards to this development. I have requested to have the state observe the site for the presence of the migratory birds and determine if the site can be developed.

Thank you for your attention to this case,

Paige C. Kearns
Riverside subdivision homeowner.
10623 E 163RD CT
Brighton, CO 80602
7201-220-3777

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Greg Barnes

From: jackie kramers <jackie_kramers@msn.com>
Sent: Thursday, May 14, 2020 1:44 PM
To: Greg Barnes
Subject: Planned subdivisions Assessor Parcel 0157102100005, 157102200005 and 0157102203018 Baseline estates

Please be cautious: This email was sent from outside Adams County

Dear Sir,

We purchased and built our home out here in Todd Creek Riverside because it was not in a cluster development with houses built on top of each other. We built here because there is a constant influx of wild birds, cranes, pelicans, Canadian geese and ducks that frequent the retention pond by our house and the neighboring ponds that are now up for destruction with this newly proposed development. To destroy this pond habitat is a terrible decision for the wildlife and the home owners out here. There is no park or greenspace planned for these new houses either to accommodate any walking or jogging either. That would be useful to all the residents out here who value the open space we have here.

The drain on the non-potable water supply is another grave concern for the residents in Todd Creek Riverside. We need lots more if you are going to support 76 new homes/10 tracts. It is already to damn expensive to begin with, if we have to purchase is from other areas that will not be economical for the residents here.

Frankly the roads out here , HWY 7 and 168th avenue and Tucson to the east of our place are not kept up well and the traffic out here is getting worse. Creating another 76 houses/10 tracts will only make the traffic situation worse. The State which maintains HWY7 will not widen it to accommodate 2 lanes on each side of the highway, this would less some of the traffic congestion immensely.

The sheriffs dept. is already strapped and half the time unable to respond top calls for assistance in timely manner because they already cover a wide area. We can't get assistance from the Brighton Police or the Thornton Police because Todd Creek Riverside is not in either jurisdiction. So adding more homes out here does nothing more than exacerbate an already bad situation for law enforcement when needed.

Lets talk schools, if you are considering District 27J, they have enough issues, adding more children is not going to help them. The they went to a 4 day school week cause they could not support a 5 day school week with adequate teachers and staffing. Brighton HS is not in the same class of schools as Legacy or Horizon either.

Lets consider economy of those people moving into these houses, especially now with COVID-19 which for all intents and purposes will have a lasting affect on the economy, do you really think you are going to get people who are going to be able to afford \$500k+ houses. Cause if you are thinking of building low-income housing out here, you will severely degrade the value of the homes in the Todd Creek Riverside subdivision or the Baseline Subdivision. If I wanted that I would have stayed in Thornton. I can guarantee that the elected officials in Adams county will lose quite a bunch of voters for doing that to the residents out here if they approve this.

The diagram on the map does not show the Oil Fracking setup that is in place... Its huge, why let some builder build homes whose view is obstructed by a huge fracking setup? There are wells in those areas that are not reflected in the plot map either. Do you honestly think people want to spend \$500K for the view of a Fracking Site?

Bottom line, as a tax payer in Adams county since 1998, we don't need 76 new homes out here not when there is wildlife that will suffer, roads that can't handle the traffic and no planning from any builder for any open space or park or greenspace to enjoy.

We respectfully wish to deny and decline this proposed subdivision as it is not going to do anything to make this area any better.

Sincerely,
Leila M. Kramers
16380 Paris Way
Brighton, CO 80602

Greg Barnes

From: johnkaele@gmail.com
Sent: Thursday, April 30, 2020 7:01 AM
To: Greg Barnes
Subject: Baseline lakes expansion

Please be cautious: This email was sent from outside Adams County

Greetings,

I'm writing to ask that you please reconsider developing the space near the baseline lakes subdivision. It is inconceivable that the lakes will be filled in, destroying the beauty and habitat for so many. The 27j school district elementary schools are already at capacity. Highway 7 is already congested and very dangerous, lacking proper safety measures. Water is already expensive, taxes are ridiculous compared to surrounding cities.

Please consider improving highway 7, providing an affordable water supply, and building schools that can accommodate the growth prior to building more.

Respectfully,
Jonathan Marquez
Todd Creek Riverside resident

Sent from my iPhone

Greg Barnes

From: Mary Jane Olsavsky <maryjaneolsavsky@gmail.com>
Sent: Thursday, May 14, 2020 10:19 PM
To: Greg Barnes
Subject: Vote NO: Planned subdivisions Assessor Parcel 0157102100005, 157102200005 and 0157102203018 Baseline estates
Attachments: 2020-04-19 12.29.56.jpg; 2020-04-19 12.30.19.jpg; 2020-04-19 12.23.38.jpg; 2020-04-19 12.20.58.jpg; 2020-04-19 12.16.53.jpg

Please be cautious: This email was sent from outside Adams County

Dear Greg,

We built our home out here in Todd Creek Riverside because it had space with lots 1 acre or more. We built here because there is a lots of wild birds, cranes, pelicans, Canadian geese and ducks that frequent the retention pond by our house and the neighboring ponds that are now up for destruction with this newly proposed development. To destroy this pond habitat is a terrible decision for the wildlife and the home owners out here. There is no park or greenspace planned for these new houses either to accommodate any walking or jogging either. That would be useful to all the residents our here who value the open space we have here.

Also the traffic to access Hwy 7 is terrible. The State which maintains HWY7 will not widen it to accommodate 2 lanes on each side of the highway, this would less some of the traffic congestion immensely.

The sheriffs dept. is already strapped and half the time unable to respond top calls for assistance in timely manner because they already cover a wide area. We can't get assistance from the Brighton Police or the Thornton Police because Todd Creek Riverside is not in either jurisdiction. So adding more homes out here does nothing more than exacerbate an already bad situation for law enforcement when needed.

We don't need 76 new homes out here not when there is wildlife that will suffer, roads that can't handle the traffic and no planning from any builder for any open space or park or greenspace to enjoy.

We respectfully wish to deny and decline this proposed subdivision as it is not going to do anything to make this area any better.

See attached photo's of wildlife on these ponds which we in the neighborhood daily.

Sincerely,

Mary Jane Olsavsky

16297 Paris Way

Brighton, CO 80602











Greg Barnes

From: J. Peters <japeters@mail.com>
Sent: Wednesday, May 5, 2021 7:58 AM
To: Matthew Emmens
Cc: Greg Barnes
Subject: Re: RE: PRC2019-00015 & RWD2019-00026 current drainage Havana/Lima

Please be cautious: This email was sent from outside Adams County

Thank you for prompt and detailed reply.

The Tract Summary on Sheet 5 also provides information for Tracts A, B, C and D on Sheet 6.
This is the pipeline and drainage easement.

If you have no objections I would like to post this correspondence on Todd Creek Riverside Facebook Group discussion regarding PRC2019-00015.

Thank you again, James Peters

Sent: Tuesday, May 04, 2021 at 3:44 PM
From: "Matthew Emmens" <MEmmens@adcogov.org>
To: "J. Peters" <japeters@mail.com>
Cc: "Greg Barnes" <GJBarnes@adcogov.org>
Subject: RE: PRC2019-00015 & RWD2019-00026 current drainage Havana/Lima

Hello Mr. Peters,

My name is Matt Emmens; Greg Barnes asked me to reply to your email/concern. I am the County's Review Engineer who is reviewing the Baseline Lakes engineering and construction documents. I also reviewed the development to the south, Shook Filings 1 – 4; which created the easement associated with RWD2019-00026.

This easement was created to provide a storm sewer outfall across private property. We required the easement so that the developer, metro district and/or HOA had legal access to construct and maintain the channel that conveys the stormwater from the Shook development. This easement did not increase stormwater flows to the Havana/Lima St roadside swale. That stormwater flow was already going there before the easement was created; it was just getting there by 'overland sheet flow'. The Shook development and its' detention ponds concentrated those flows and required the construction of a channel for conveyance; hence the easement. In addition, the Shook development, Baseline Lakes and all but a very few developments within Adams County are required to provide stormwater detention and, (per State law) only release stormwater at historic flow rates or less.

I have not finished the review of the engineering documents for the Baseline Lakes development yet so, I'm not sure why they are proposing to increase the capacity of the Havana/Lima roadside ditch ROW. But, this would be a common improvement with any type of development. Although the developer is required (by State law) to maintain historic drainage patterns and flow rates, it is very common for a development to divert flows out and around their development (or parts of it). Which could be why they are proposing to increase the capacity of the Havana/Lima St roadside swale.

This all said, I can assure you than County staff will be performing an in-depth review of the Baseline Lakes construction and engineering documents. We will also be looking for exactly the things you are concerned about. My job is actually to make sure that proposed land development projects are not over capacitating the County's infrastructure (such as the roadside swales). Drainage and flooding is a very big concern with any development in the County.

As I mentioned, I have not completed the review of the Baseline Lakes construction plans and engineering documents yet. This application is in the 'preliminary plat' stage and we generally don't do the in-depth review of the construction/engineering documents until the 'final plat' stage. And, the case cannot be scheduled for a public hearing until all of the construction/engineering documents have been reviewed and approved by my department.

If you have any additional questions or concerns about the engineering/construction documents, please feel free to email or call me directly.

Sincerely,

Matt Emmens

Matt Emmens, P.E., CFM

Senior Engineer, *Community and Economic Development*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, W2000B

Brighton, CO 80601

o: 720.523.6826 | memmens@adcogov.org

www.adcogov.org

County operating hours: Tuesday through Friday, 7 a.m. to 5:30 p.m.

Buildings will be closed Tuesday, Dec. 1 through Monday, Jan. 4.

From: Greg Barnes <GJBarnes@adcogov.org>

Sent: Tuesday, May 04, 2021 11:25 AM

To: J. Peters <japeters@mail.com>

Cc: Matthew Emmens <MEmmens@adcogov.org>

Subject: RE: PRC2019-00015 & RWD2019-00026 current drainage Havana/Lima

Hi Matt,

Mr. Peters has provided a comment on the Baseline Lakes project. As the engineer assigned to this case, could you look into his concern and provide a response?



Greg Barnes

Planner III, *Community and Economic Development Dept.*

ADAMS COUNTY, COLORADO

4430 S. Adams County Parkway, 1st Floor, Suite W2000A

Brighton, CO 80601-8216

720.523.6853 gjbarnes@adcogov.org

adcogov.org

Beginning July 27, 2020, my work schedule is:

Monday – Alternating weeks of 7 am – 3:30 pm and off

Tuesday – Friday – 7 am – 4:30 pm

From: J. Peters <japeters@mail.com>

Sent: Tuesday, May 4, 2021 11:18 AM

To: Greg Barnes <GJBarnes@adcogov.org>

Subject: PRC2019-00015 & RWD2019-00026 current drainage Havana/Lima

Please be cautious: This email was sent from outside Adams County

RE: PRC2019-00015 proposed drainage

As noted page 5 <https://www.adcogov.org/sites/default/files/PRC2019-00015-submittal2-plat.pdf>

"The existing northern roadside swale along Havana/Lima street will be improved to accommodate higher flows."

Current flow in Havana/Lima swale includes RWD2019-00026,

<https://permits.adcogov.org/CitizenAccess/Cap/CapDetail.aspx?Module=Planning&capID1=19RWD&capID2=00000&capID3=00026>

Flow from drainage easement on April 30, 2021,

<https://photos.app.goo.gl/mGTnbbEfDEBTBoyp7>

As submitted for PRC2019-00015 Filing 2 there appear to be no additional detention/retention ponds.

Drainage along Havana/Lima would be a concern.

Regards,

James Peters

16140 Iola St

Brighton, CO 80602

Greg Barnes

From: Helen Roybal <hmlepper@gmail.com>
Sent: Thursday, May 14, 2020 2:44 PM
To: Greg Barnes
Subject: Baseline Lakes Development

Please be cautious: This email was sent from outside Adams County

Hi,

I am writing about the proposed development in Brighton at the Baseline Lakes community. I would like to let you know I am not in favor of developing this area due to it's importance for the wildlife among other reasons. The ponds serve as a home to many species of birds, fish, and other countless animals. Taking away this habitat limits safe breeding and rearing areas for these animals as more and more areas become developed in our community.

Many families in my community at Todd Creek Riverside use these ponds for various social activities. I enjoy running around the ponds and counting how many different kinds of birds I can spot in one figure-eight lap around the two ponds. I have seen people walking their dogs, teaching their kids how to fish, bird watching, and exercising their horses around these ponds. Taking them away not only impacts the animals that reside there, but also the community aspect of our neighborhood. I see these two ponds as an oasis and would be sad to see them pumped dry, filled in, and paved over to make a profit.

Thank you for reconsidering developing on this animal sanctuary and community oasis.

Helen Roybal



Request for Comments

Case Name: Baseline Lakes - PUD Amendment and Filing 2 Subdivision
Project Number: PRC2019-00015

April 23, 2020

The Adams County Planning Commission is requesting comments on the following application: **1. Major Amendment to the Baseline Lakes Planned Unit Development; 2. Preliminary Plat for major subdivision to create approximately 76 single-family residential lots and 10 tracts.** The Assessor's Parcel Number is 0157102100005, 0157102200005, and 0157102203018. The site is located north of the intersection of Kingston Drive and East 164th Avenue. It is also located west of the intersection of Havana Street and East 163rd Avenue.

Applicant Information: BRAD PENWELL
12460 FIRST ST
EASTLAKE, CO 80614

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by 05/14/2020 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to GJBarnes@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes
Planner III

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5



Public Hearing Notification

Case Name:	PRC2019-00015
Case Number:	Baseline Lakes
Planning Commission Hearing Date:	May 13, 2021 at 6:00 p.m.
Board of County Commissioners Hearing Date:	June 15, 2021 at 9:30 a.m.

April 16, 2021

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following requests: 1. Major Amendment to the Baseline Lakes Planned Unit Development reducing the overall number of lots; 2. Preliminary Plat for major subdivision to create approximately 33 single-family residential lots and 11 tracts. The Assessor's Parcel Numbers are: 0157102200005, 0157102203017, 0157102203018, 0157110238001, 0157103400002 and the location is in the vicinity of the intersection of East 162nd Avenue & Havana Street; additionally, north of the intersection of East 164th Avenue & Kingston Drive. The applicant is: Brad Penwell, 12460 1st St, Eastlake, CO 80614.

The Planning Commission meeting will be held virtually using the Zoom video conferencing software and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. For instructions on how to access the public hearing via telephone or internet, or to submit comment, please visit <http://www.adcogov.org/planning-commission> for up to date information.

The Board of County Commissioners meeting is broadcast live on the Adams County YouTube channel and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. The eComment period opens when the agenda is published and closes at 4:30 p.m. the Monday prior to the noticed meeting. For instructions on how to access the public hearing and submit comments, please visit <http://www.adcogov.org/bocc> for up to date information.

These will be public hearings and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes
Planner III
gjbarnes@adcogov.org
720.523.6853

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Lynn Baca
DISTRICT 5

PUBLICATION REQUEST

Case Name: Baseline Lakes

Case Number: PRC2019-00015

Planning Commission Hearing Date: May 13, 2021 at 6:00 p.m.

Board of County Commissioners Hearing Date: June 15, 2021 at 9:30 a.m.

Case Manager: Greg Barnes gjbarnes@adcgov.org 720-523-6853

Requests: 1. Major Amendment to the Baseline Lakes Planned Unit Development reducing the overall number of lots; 2. Preliminary Plat for major subdivision to create approximately 33 single-family residential lots and 11 tracts.

Parcel Numbers: 0157102200005, 0157102203017, 0157102203018, 0157103400002

Address of the Request: Several existing parcels located in the vicinity of the intersection of East 162nd Avenue & Havana Street; additionally, north of the intersection of East 164th Avenue & Kingston Drive.

Applicant: Brad Penwell, 12460 1st St, Eastlake, CO 80614

Legal Description: A PARCEL OF LAND BEING A PART OF THE NORTHWEST QUARTER OF SECTION 2 TOGETHER WITH TRACTS I, J AND S, BASELINE LAKES SUBDIVISION - FILING NO. 1 RECORDED AT RECEPTION NO. 2006000991342 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER, IN THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE CENTER QUARTER CORNER OF SECTION 2 AND CONSIDERING THE SOUTH LINE OF SAID NORTHWEST QUARTER OF SECTION 2 TO BEAR NORTH 88°27'02" EAST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO:

THENCE NORTH 88°10'35" WEST A DISTANCE OF 679.86 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY OF E. 164TH AVENUE AND THE **POINT OF BEGINNING**;

THENCE SOUTH 88°27'02" WEST ALONG SAID NORTHERLY RIGHT-OF-WAY A DISTANCE OF 1,252.64 FEET TO THE SOUTHEAST CORNER OF TRACT I, BASELINE LAKES SUBDIVISION FILING NO. 1, RECORDED AT RECEPTION NO. 200600091342 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER;

THENCE ALONG THE BOUNDARY OF SAID TRACT I THE FOLLOWING THREE (3) COURSES:

- 1) NORTH 03°51'44" EAST A DISTANCE OF 690.57 FEET;
- 2) NORTH 00°05'55" WEST A DISTANCE OF 41.40 FEET;
- 3) NORTH 26°26'19" WEST A DISTANCE OF 176.85 FEET TO A POINT ON THE BOUNDARY OF SAID BASELINE LAKES SUBDIVISION - FILING NO. 1; THENCE ALONG SAID BOUNDARY OF BASELINE LAKES SUBDIVISION FILING NO. 1 THE FOLLOWING SIXTEEN (16) COURSES;

- 1) NORTH 51°09'48" EAST A DISTANCE OF 386.88 FEET;
- 2) NORTH 38°50'12" WEST A DISTANCE OF 9.41 FEET;
- 3) NORTH 51°09'48" EAST A DISTANCE OF 312.36 FEET;
- 4) SOUTH 38°50'12" EAST A DISTANCE OF 327.08 FEET;
- 5) NORTH 51°09'48" EAST A DISTANCE OF 141.36 FEET;

6) SOUTH 41°41'59" EAST A DISTANCE OF 145.71 FEET;
7) SOUTH 41°24'06" EAST A DISTANCE OF 124.87 FEET;
8) SOUTH 38°53'25" EAST A DISTANCE OF 149.49 FEET;
9) SOUTH 45°08'56" WEST A DISTANCE OF 21.88 FEET;
10) SOUTH 14°51'04" EAST A DISTANCE OF 109.72 FEET;
11) SOUTH 32°22'12" EAST A DISTANCE OF 169.84 FEET;
12) NORTH 37°32'04" EAST A DISTANCE OF 586.67 FEET TO A POINT OF CURVATURE;
13) ALONG A NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 02°40'05", A RADIUS OF 430.00 FEET, AN ARC LENGTH OF 20.02 FEET AND A CHORD THAT BEARS SOUTH 55°04'10" EAST A DISTANCE OF 20.02 FEET;
14) SOUTH 37°32'04" WEST A DISTANCE OF 289.45 FEET;
15) SOUTH 74°48'54" EAST A DISTANCE OF 396.55 FEET;
16) NORTH 41°41'19" EAST A DISTANCE OF 84.91 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY OF LIMA STREET;
THENCE ALONG SAID WESTERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES;
1) SOUTH 00°18'00" EAST A DISTANCE OF 131.67 FEET TO A POINT OF CURVATURE;
2) ALONG A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 88°45'04", A RADIUS OF 600.00 FEET, AN ARC LENGTH OF 929.40 FEET AND A CHORD THAT BEARS SOUTH 44°04'31" WEST A DISTANCE OF 839.23 FEET TO THE **POINT OF BEGINNING**;
SAID PARCEL CONTAINS AN AREA OF 1,627,679 SQUARE FEET, OR 37.366 ACRES, MORE OR LESS.

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED BEING THE SOLE OWNERS OF THE FOLLOWING DESCRIBED TRACT OF LAND:
A PARCEL OF LAND BEING A PART OF THE NORTHWEST QUARTER OF SECTION 2 AND PART OF THE EAST HALF OF SECTION 3, TOGETHER WITH TRACT J,,
BASELINE LAKES SUBDIVISION - FILING NO. 1 RECORDED AT RECEPTION NO. 2006000991342 OF THE RECORDS OF THE ADAMS COUNTY CLERK AND RECORDER, IN THE NORTHWEST QUARTER OF SECTION 2, AND THE EAST HALF OF SECTION 3, TOWNSHIP 1 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ADAMS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE WEST QUARTER CORNER OF SECTION 2 AND CONSIDERING THE

SOUTH LINE OF SAID NORTHWEST QUARTER OF SECTION 2 TO BEAR NORTH 88°27'02"

EAST, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO;

THENCE SOUTH 00°43'12" EAST ALONG THE WEST LINE OF THE SOUTHWEST QUARTER

OF SECTION TWO A DISTANCE OF 1,573.22 FEET;

THENCE NORTH 80°45'34" WEST A DISTANCE OF 443.01 FEET;

THENCE SOUTH 72°52'20" WEST A DISTANCE OF 34.34 FEET;

THENCE NORTH 68°48'28" WEST A DISTANCE OF 207.94 FEET;

THENCE NORTH 00°40'36" WEST A DISTANCE OF 2,163.64 FEET TO THE SOUTHWEST CORNER OF TRACT I SAID BASELINE LAKES SUBDIVISION FILING NO. 1; THENCE ALONG THE BOUNDARY OF SAID TRACT I THE FOLLOWING FIVE (5) COURSES:

- 1) SOUTH 71°25'12" EAST A DISTANCE OF 162.93 FEET;
- 2) SOUTH 43°03'17" EAST A DISTANCE OF 584.32 FEET;
- 3) NORTH 69°04'49" EAST A DISTANCE OF 248.73 FEET;
- 4) SOUTH 67°09'06" EAST A DISTANCE OF 568.91 FEET;
- 5) SOUTH 01°32'58" EAST A DISTANCE OF 58.26 FEET TO THE NORTHERLY RIGHT-OF-WAY OF E. 164TH AVENUE;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY THE FOLLOWING TWO (2) COURSES:

- 1) SOUTH 88°27'02" WEST A DISTANCE OF 11.63 FEET TO A POINT OF CURVATURE;
- 2) ALONG A NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 20°22'30", A RADIUS OF 640.00 FEET, AN ARC LENGTH OF 227.59 FEET AND A CHORD THAT BEARS SOUTH 78°16'26" WEST A DISTANCE OF 226.39 FEET TO A POINT ON SAID SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION TWO; THENCE SOUTH 88°27'02" WEST ALONG SAID SOUTH LINE A DISTANCE OF 408.66 FEET TO THE **POINT OF BEGINNING**;

SAID PARCEL CONTAINS AN AREA OF 1,467,856 SQUARE FEET, OR 33.697 ACRES, MORE OR LESS.

Virtual Meeting and Public Comment Information:

Planning Commission public hearing will be held virtually. Board of County Commissioners public hearing will be held in the Hearing Room of the Adams County Government Center, 4430 South Adams County Parkway, Brighton, CO – 1st Floor and will be able to be accessed virtually. Please visit <http://www.adcogov.org/planning-commission> and <http://www.adcogov.org/bocc> for up-to-date information on accessing the public hearings and submitting comment prior to the hearings. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at www.adcogov.org/planning/currentcases.



Referral Listing
Case Number PRC2019-00015
Baseline Lakes - PUD Amendment and Filing 2 Subdivision

Agency	Contact Information
Adams County Attorney's Office	Christine Fitch CFitch@adcogov.org 4430 S Adams County Pkwy Brighton CO 80601 720-523-6352
Adams County CEDD Addressing	Marissa Hillje PLN 720.523.6837 mhillje@adcogov.org
Adams County CEDD Development Services Engineer	Devt. Services Engineering 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6800
Adams County CEDD Right-of-Way	Marissa Hillje 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6837 mhillje@adcogov.org
Adams County Community & Economic Development Department	Gina Maldonado 4430 S. Adams County Pkwy Brighton CO 80601 720-523-6823 gmaldonado@adcogov.org
Adams County Community Safety & Wellbeing, Neighborhood Services	Gail Moon gmoon@adcogov.org 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6856 gmoon@adcogov.org
Adams County Construction Inspection	Gordon .Stevens 4430 S. Adams County Pkwy Brighton CO 80601 720-523-6965 gstevens@adcogov.org
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org

Agency	Contact Information
Adams County Parks and Open Space Department	Aaron Clark (303) 637-8005 aclark@adcogov.org
Adams County Parks and Open Space Department	Marc Pedrucci 303-637-8014 mpedrucci@adcogov.org
Adams County Sheriff's Office: SO-HQ	Rick Reigenborn (303) 654-1850 rreigenborn@adcogov.org
Adams County Sheriff's Office: SO-SUB	- - 303-655-3283 CommunityConnections@adcogov.org
Adams County Treasurer	Lisa Culpepper 4430 S Adams County Pkwy Brighton CO 80601 720.523.6166 lculpepper@adcogov.org
BRANTNER EXTENSION DITCH CO	Aaron Clark BRIGHTON CO 80601 303-637-8005 aclark@adcogov.org
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4430 SOUTH ADAMS COUNTY PKWY
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THORNTON CORY J UND 24.25% INT ET ALS
PO BOX 247
EASTLAKE CO 80614-0247

ADAMS COUNTY
4430 S ADAMS COUNTY PKWY
BRIGHTON CO 80601

ELG INVESTORS LLC
9200 E MINERAL AVE STE 365
CENTENNIAL CO 80112-3459

ARCHER GEORGE C AND
ARCHER MONA J
11365 E 162ND PL
BRIGHTON CO 80602-7654

EQUINOX DEVELOPMENT LLC
10450 E 159TH CT
BRIGHTON CO 80602-7977

BASELINE LAKES HOLDINGS LLC
PO BOX 247
EASTLAKE CO 80614-0247

JACKSON JACOB B AND
JACKSON BONNIE L
10780 E166TH AVE
BRIGHTON CO 80602-6615

BASELINE LAKES HOME OWNERS ASSOCIATION
12484 CHERRY ST
THORNTON CO 80241-3008

RICHFIELD HOMES LLC
428 KIMBARK ST
LONGMONT CO 80501-5526

BECKETT DAVID AND
BECKETT SHAUNA
495 E 1000 S
PROVIDENCE UT 84332-9502

RIVERSIDE VILLAGE OWNERS ASSOCIATION
7501 VILLAGE SQUARE DR STE 205
CASTLE PINES CO 80108-3700

BOLAND LEANNA SUE
11102 E 168TH AVE
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SHEARD JEFFREY SCOTT AND
SHEARD SHELLEY R HOOVER
10700 E 166TH PL
BRIGHTON CO 80602

BRAASCH WILLIAM A AND
BRAASCH LAURIE J
10740 E 166TH PL
BRIGHTON CO 80603

STOCKTON MATTHEW JAMES AND
STOCKTON MEGAN CECILIA
10731 E 166TH PL
BRIGHTON CO 80602

CARLSON TAYLOR R UND 24.25% INT AND
THORNTON CORY J UND 24.25 INT ET ALS
PO BOX 247
EASTLAKE CO 80614-0247

TODD CREEK VILLAGE METROPOLITAN
DISTRICT
10450 E 159TH CT
BRIGHTON CO 80602-7977

CARLSON TAYLOR R UND 24.25% INT AND
THORNTON CORY J UN 24.25 INT ET ALS
PO BOX 247
EASTLAKE CO 80614-0247

TWIN LAKE ESTATES HOMEOWNERS
ASSOCIATION INC
12000 N WASHINGTON NO. 340
DENVER CO 80241

WEIGANDT JOHN W
10390 E 168TH AVE
BRIGHTON CO 80602-6600

BERKHIEM BRYAN E AND
BERKHIEM RHODONA K
OR CURRENT RESIDENT
10897 E 167TH PL
BRIGHTON CO 80602-6004

WEIGANDT JOHN WILLIAM
10390 E 168TH AVE
BRIGHTON CO 80602

BIETENDORF SCOTT A AND
FOSTER VICKIE L
OR CURRENT RESIDENT
16150 GENEVA CT
BRIGHTON CO 80602

WEINMASTER BRIAN F AND
WEINMASTER MARIE
16720 MT WILSON CT
BRIGHTON CO 80602

BISHOP BRUCE AND
BISHOP SHARON
OR CURRENT RESIDENT
10540 E 166TH PL
BRIGHTON CO 80602-6618

WEST SOUTH PLATTE WATER AND SANITATION INC
9200 E MINERAL AVE STE 365
CENTENNIAL CO 80112-3459

BOLAND LEANNA SUE
OR CURRENT RESIDENT
11102 E 168TH AVE
BRIGHTON CO 80602-6604

WILSON RANDY S AND
WILSON LAUREN S
10600 E 166TH PL
BRIGHTON CO 80602

BOOTH LLOYD G AND
BOOTH PAULA M
OR CURRENT RESIDENT
10660 E 166TH AVE
BRIGHTON CO 80602-6610

ARNOLD RICHARD L TRUST
OR CURRENT RESIDENT
16170 GENEVA CT
BRIGHTON CO 80602-7548

BOYENS JOAN M 50% INT AND
OLIVAS GREGORY K 50% INT
OR CURRENT RESIDENT
10540 E 163RD AVE
BRIGHTON CO 80602-7505

BARNES TIMOTHY MILLER AND
BARNES PATRICIA ANN
OR CURRENT RESIDENT
10061 E 160TH PL
BRIGHTON CO 80602-5644

BROOKS RONALD W AND
BROOKS MALINDA R
OR CURRENT RESIDENT
10737 E 162ND PL
BRIGHTON CO 80602

BATTS NICHOLAS AND
BATTS BARBARA
OR CURRENT RESIDENT
10091 E 160TH PL
BRIGHTON CO 80602-5644

BUSTAM DAVID S AND
BARNUM MELISSA L
OR CURRENT RESIDENT
11123 E 163RD CT
BRIGHTON CO 80602-7569

BEDAN ROBERT AND
BEDAN CINDY
OR CURRENT RESIDENT
16180 IOLA ST
BRIGHTON CO 80602-7615

CARVALHO ROBERT AND
CARVALHO JESSICA
OR CURRENT RESIDENT
10600 E 163RD CT
BRIGHTON CO 80602-7537

BEJARANO BENNIE J AND
BEJARANO MICHELE M
OR CURRENT RESIDENT
11523 E 163RD CT
BRIGHTON CO 80602-7599

CASEY DANIEL L AND
CASEY MELANIE C
OR CURRENT RESIDENT
10750 E 161ST AVE
BRIGHTON CO 80602-7616

CHACON AARON V AND
CHACON TIFFANY D
OR CURRENT RESIDENT
11150 E 163RD CT
BRIGHTON CO 80602-7569

CULLEN JAMES AND
CULLEN CHRISTINA
OR CURRENT RESIDENT
11420 E 163RD CT
BRIGHTON CO 80602-7579

CHAVEZ GUTIERREZ RAFAEL
OR CURRENT RESIDENT
16121 IOLA ST
BRIGHTON CO 80602-7615

CUNNINGHAM KARA KRISTINE AND
CUNNINGHAM JOHN ELDON
OR CURRENT RESIDENT
10982 E 162ND PL
BRIGHTON CO 80602-8254

CHEN SONG AND
HUANG CHUNMEI
OR CURRENT RESIDENT
11223 E 163RD CT
BRIGHTON CO 80602-7575

DABROWSKA EWA AND
DABROWSKI HENRY
OR CURRENT RESIDENT
16287 MOLINE ST
BRIGHTON CO 80602-6009

CHEUNG KAI M AND GUAN GUI J AND
ZHANG ZI S
OR CURRENT RESIDENT
10773 E 163RD CT
BRIGHTON CO 80602

DALTON TIMOTHY W
OR CURRENT RESIDENT
10847 E 167TH PL
BRIGHTON CO 80602-6004

CHRISTENSEN CHAD A AND
CHRISTENSEN RACHAEL S
OR CURRENT RESIDENT
11473 E 163RD CT
BRIGHTON CO 80602-7579

DEHELD PATRICK AND
DEHELD AMY
OR CURRENT RESIDENT
11230 E 163RD CT
BRIGHTON CO 80602-7575

CHRISTENSEN DOUGLAS W AND
CHRISTENSEN ANDREA
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DELGADO JORGE REYES
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10630 E 161ST AVE
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CORBITT PAUL JOSEPH AND
CORBITT SARAH MARIE
OR CURRENT RESIDENT
16136 FLORENCE WAY
BRIGHTON CO 80602-5833

DELUISE KALON AND
DELUISE COLETTE
OR CURRENT RESIDENT
11200 E 166TH AVE
BRIGHTON CO 80602-7978

CORDOVA MARK AND
CORDOVA AMY KAY
OR CURRENT RESIDENT
10120 E 160TH PL
BRIGHTON CO 80602-5608

DENNE CARL E AND
CAMPBELL PATRICIA G
OR CURRENT RESIDENT
16151 IOLA ST
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COULL IAN D AND
COULL MARY ANN
OR CURRENT RESIDENT
16787 LANSING CT
BRIGHTON CO 80602-7980

DESBIEEN LARRY G AND DESBIEEN RYAN A AND
DESBIEEN BRANDY L
OR CURRENT RESIDENT
10835 E 162ND DR
BRIGHTON CO 80602-7509

COUPENS TYLER J AND
COUPENS CAITLIN J
OR CURRENT RESIDENT
10957 E 162ND PL
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DEVRIES HERMAN T AND
DEVRIES JEAN C
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10680 E 163RD CT
BRIGHTON CO 80602

DILALLO ERIC AND
DILALLO STACY
OR CURRENT RESIDENT
16141 IOLA ST
BRIGHTON CO 80602

FULLERTON-BARLOW SHAON LOU AND
BARLOW RONALD ROY
OR CURRENT RESIDENT
10827 E 167TH PL
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ERNSTER JON M AND
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16171 IOLA ST
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GAMBOA ANGEL AND
GAMBOA DEANNA MARIE
OR CURRENT RESIDENT
10080 E 160TH PL
BRIGHTON CO 80602-5608

ERTEL MARK SAMUEL AND
ERTEL MELISSA DEE ANN
OR CURRENT RESIDENT
16158 GALENA CT
BRIGHTON CO 80602-5834

GLENNON JODY L AND
GLENNON CELIA CAVALERI
OR CURRENT RESIDENT
10611 E 166TH AVE
BRIGHTON CO 80602-6610

FISCHER JOHN T AND
FISCHER JOYCE A
OR CURRENT RESIDENT
10932 E 162ND PL
BRIGHTON CO 80602-8254

GOMEZ ELIZABETH A AND
GOMEZ HERMINIO G
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16760 LANSING CT
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10970 E 166TH AVE
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GOODALL STEPHEN JR
GOODALL JAYMIE
OR CURRENT RESIDENT
10533 E 163RD AVE
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FLEEMAN RICHARD AND
FLEEMAN ERICA
OR CURRENT RESIDENT
11163 E 163RD CT
BRIGHTON CO 80602-7569

GRAJEDA MATTHEW B AND
GRAJEDA SHELLY
OR CURRENT RESIDENT
11303 E 163RD CT
BRIGHTON CO 80602-7578

FLUHARTY JOEL JEFFERSON AND
FLUHARTY MARILYN JO
OR CURRENT RESIDENT
16101 IOLA ST
BRIGHTON CO 80602-7615

GREENBURG THOMAS ARNOLD JR AND
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11180 E 166TH AVE
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FLYNN JAMES JR
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11231 E 166TH AVE
BRIGHTON CO 80602-7978

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GREGER HEATHER L
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10722 E 162ND PL
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FRIEHAUF TRACY L
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11160 E 166TH AVE
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GRIFFITH JUDITH K
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BRIGHTON CO 80602

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FRITZ ERIK
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11051 E 166TH AVE
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JACOBSEN TATE J
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16740 LANSING CT
BRIGHTON CO 80602-7980

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16621 HAVANA ST
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HENDERSON JENNIFER L
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11183 E 163RD CT
BRIGHTON CO 80602-7569

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POUR-SADIGH JULIE
OR CURRENT RESIDENT
16108 GALENA CT
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HILLMAN KARLA J
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10790 E 163RD CT
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HOWELL SHEILA L
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KELLEY VANESSA
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HUBBART JAYME
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LASS SUE ANN
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16767 LANSING CT
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MAJOR JOANNE A
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MIRELES CHERELLE
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MARKS RUTH R
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MOE ADAM AND
MOE ROCHELLE
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NEIL JUSTIN DONALD
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NEWMAN LYNN
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MEL AND JENNIE SCHULMAN TRUST
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NIELSEN ADAM AND
NIELSEN KRISTEN
OR CURRENT RESIDENT
10882 E 162ND PL
THORNTON CO 80602-8240

NUNNALLY CLINTON J AND
NUNNALLY BETSY
OR CURRENT RESIDENT
10950 E 163RD CT
BRIGHTON CO 80602

PRICE TYLER GOSHEN AND
PRICE LILA CARLENE
OR CURRENT RESIDENT
16129 GALENA CT
BRIGHTON CO 80602-5834

OLDHAM CHRISTOPHER AND
OLDHAM MARY ELIZABETH
OR CURRENT RESIDENT
10290 E 160TH PL
BRIGHTON CO 80602

RADU ASHLEY MARIE AND
RADU OVIDIU FLORIN
OR CURRENT RESIDENT
10170 E 160TH PL
BRIGHTON CO 80602-5608

ORTIZ JOHN C AND
ORTIZ LESLIE
OR CURRENT RESIDENT
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LANE PAIGE ALYNA
OR CURRENT RESIDENT
16196 FLORENCE WAY
BRIGHTON CO 80602-5833

OSTROM MICHAEL J AND
OSTROM STEPHANIE
OR CURRENT RESIDENT
11393 E 163RD CT
BRIGHTON CO 80602-7578

RODRIGUEZ MAIRA
OR CURRENT RESIDENT
10700 E 161ST AVE
BRIGHTON CO 80602-7616

OTTO JOHN C AND
BRONSON BARBARA T
OR CURRENT RESIDENT
16190 GENEVA CT
BRIGHTON CO 80602-7548

SCHLEIS STEVEN J AND
SCHLEIS BARBARA J
OR CURRENT RESIDENT
16191 IOLA ST
BRIGHTON CO 80602-7615

PATRONITI ROBERT AND
PATRONITI SILENE
OR CURRENT RESIDENT
16000 GENEVA CT
BRIGHTON CO 80602-7548

SCHREINER ROBERT ALEXANDER AND
SCHREINER KATIE MICHELLE
OR CURRENT RESIDENT
10210 E 160TH PL
BRIGHTON CO 80602-5607

PATTERSON SHANE M AND
PATTERSON AUDREY D
OR CURRENT RESIDENT
10800 E 167TH PL
BRIGHTON CO 80602-6004

SHAW KEVIN LEE AND
SHAW LAURIE ANN
OR CURRENT RESIDENT
16079 GALENA CT
BRIGHTON CO 80602-5836

PETERS JAMES AND
PETERS DENISE COUTURIE
OR CURRENT RESIDENT
16140 IOLA ST
BRIGHTON CO 80602-7615

SHERWOOD DONALD R AND
RAINS TRACY LYN
OR CURRENT RESIDENT
16737 LANSING CT
BRIGHTON CO 80602-7980

POLLOCK MICHAEL CHANNING AND
POLLOCK GEORGINA
OR CURRENT RESIDENT
10850 E 162ND DR
BRIGHTON CO 80602-7509

SHOMLER TODD D AND
SHOMLER MICHELLE LYNNE
OR CURRENT RESIDENT
10981 E 166TH AVE
BRIGHTON CO 80602-6607

PRASAD MANOJ AND
PRASAD JOANNE
OR CURRENT RESIDENT
16131 IOLA ST
BRIGHTON CO 80602-7615

SIGG JEREMY S AND
SIGG KATHERINE C
OR CURRENT RESIDENT
11072 E 162ND PL
BRIGHTON CO 80602-8256

SMATHERS LOUIS E AND
DONNER MICHAUN N
OR CURRENT RESIDENT
11122 E 162ND PL
BRIGHTON CO 80602-8257

URBINA ESPINOZA DANYS AND
URBINA WEBER DIVA
OR CURRENT RESIDENT
11247 E 162ND PL
BRIGHTON CO 80602-8229

SOS MARTIN M AND
SOS SHERRI P
OR CURRENT RESIDENT
10887 E 167TH PL
BRIGHTON CO 80602-6004

VANDEBROEK ALLEN E AND
VANDEBROEK RUTH A
OR CURRENT RESIDENT
10807 E 167TH PL
BRIGHTON CO 80602-6004

SPENCE MICHAEL JOHN AND
FLAGEOLLE DENA FEANNE
OR CURRENT RESIDENT
16159 GALENA CT
BRIGHTON CO 80602-5834

VIEIRA DEREK M AND
VIEIRA TAMMY E
OR CURRENT RESIDENT
11191 E 166TH AVE
BRIGHTON CO 80602-6614

STARK STACEY ARLENE AND
MARSTON JASON AUGUST
OR CURRENT RESIDENT
16199 GALENA CT
BRIGHTON CO 80602-5834

VO THANH AND
VO JUDY
OR CURRENT RESIDENT
11360 E 163RD CT
BRIGHTON CO 80602-7578

SUAREZ ENRIQUE AND
GARCIA SUAREZ LIDIA
OR CURRENT RESIDENT
11232 E 162ND PL
BRIGHTON CO 80602-8229

WALTER MICHAEL J AND
WALTER LISA A
OR CURRENT RESIDENT
10627 E 162ND PL
BRIGHTON CO 80602

SZYMANSKI RONALD F AND
SZYMANSKI CARLY
OR CURRENT RESIDENT
10761 E 161ST AVE
BRIGHTON CO 80602

WEIGANDT JOHN W
OR CURRENT RESIDENT
10390 E 168TH AVE
BRIGHTON CO 80602-6600

TATRO JAMES A AND
TATRO DENISE A
OR CURRENT RESIDENT
11323 E 167TH AVE
BRIGHTON CO 80602-7979

WEINKAUF JOSHUA J AND
WIENKAUF KAARI A
OR CURRENT RESIDENT
11103 E 163RD CT
BRIGHTON CO 80602

THE CAREN L JACKSON LIVING TRUST
OR CURRENT RESIDENT
16058 GALENA CT
BRIGHTON CO 80602-5835

WHITMORE GERALD P AND
WHITMORE DEBRA A
OR CURRENT RESIDENT
16020 GENEVA CT
BRIGHTON CO 80602-7548

TOLAR TRAVIS W AND
ERVEN AMANDA JO
OR CURRENT RESIDENT
10883 E 163RD CT
BRIGHTON CO 80602-7547

WIELAND DAVID M AND
WIELAND CRYSTAL L
OR CURRENT RESIDENT
11325 E 162ND DR
BRIGHTON CO 80602-7654

TUCKWILLER JOHN AND
TUCKWILLER CAITLIN
OR CURRENT RESIDENT
11162 E 162ND PL
BRIGHTON CO 80602-8257

WILCOX CORY AND
WILCOX LISA
OR CURRENT RESIDENT
10842 E 162ND PL
BRIGHTON CO 80602-8240

WILSON RANDALL AND
RAPP CYNTHIA
OR CURRENT RESIDENT
11177 E 162ND PL
BRIGHTON CO 80602-8257

CURRENT RESIDENT
10390 E 168TH AVE UNIT 2
BRIGHTON CO 80602-6602

WISE EDWARD L JR AND
WISE JUDITH M
OR CURRENT RESIDENT
11120 E 166TH AVE
BRIGHTON CO 80602-6614

CURRENT RESIDENT
11102 E 168TH AVE UNIT 1
BRIGHTON CO 80602-6605

WOOD MICHAEL R AND
WOOD KRISTI L
OR CURRENT RESIDENT
11097 E 162ND PL
BRIGHTON CO 80602-8256

CURRENT RESIDENT
11102 E 168TH AVE UNIT 2
BRIGHTON CO 80602-6605

WOODRUFF JUSTIN B AND
WOODRUFF MELISSA V
OR CURRENT RESIDENT
10677 E 167TH PL
BRIGHTON CO 80602-6007

CURRENT RESIDENT
10600 E 166TH AVE
BRIGHTON CO 80602-6610

WORSTER RONALD P AND
WORSTER ROBERTA M
OR CURRENT RESIDENT
10780 E 162ND DR
BRIGHTON CO 80602-7508

CURRENT RESIDENT
10700 E 166TH AVE
BRIGHTON CO 80602-6615

ZAMORA ROBERT JR AND
ZAMORA MELISSA
OR CURRENT RESIDENT
10867 E 162ND PL
BRIGHTON CO 80602-8240

CURRENT RESIDENT
10731 E 166TH AVE
BRIGHTON CO 80602-6615

ZEMLICKA JASON AND
ZEMLICKA REBECCA
OR CURRENT RESIDENT
11143 E 163RD CT
BRIGHTON CO 80602-7569

CURRENT RESIDENT
10740 E 166TH AVE
BRIGHTON CO 80602-6615

CURRENT RESIDENT
16166 FLORENCE WAY
BRIGHTON CO 80602-5833

CURRENT RESIDENT
10780 E 166TH AVE
BRIGHTON CO 80602-6615

CURRENT RESIDENT
16198 GALENA CT
BRIGHTON CO 80602-5834

CURRENT RESIDENT
10521 E 166TH PL
BRIGHTON CO 80602-6618

CURRENT RESIDENT
10390 E 168TH AVE UNIT 1
BRIGHTON CO 80602-6602

CURRENT RESIDENT
16040 GENEVA CT
BRIGHTON CO 80602-7548

CURRENT RESIDENT
11365 E 162ND DR
BRIGHTON CO 80602-7654

CURRENT RESIDENT
16720 LANSING CT
BRIGHTON CO 80602-7980

CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the subject property on April 22, 2021 in accordance with the requirements of the Adams County Development Standards and Regulations.

A handwritten signature in black ink, appearing to read 'J. Gregory Barnes'.

J. Gregory Barnes

Baseline Lakes

PRC2019-00015

Vicinity of the intersection of
Havana Street & East 164th Avenue

June 15, 2021

Board of County Commissioners Public Hearing
Community and Economic Development Department

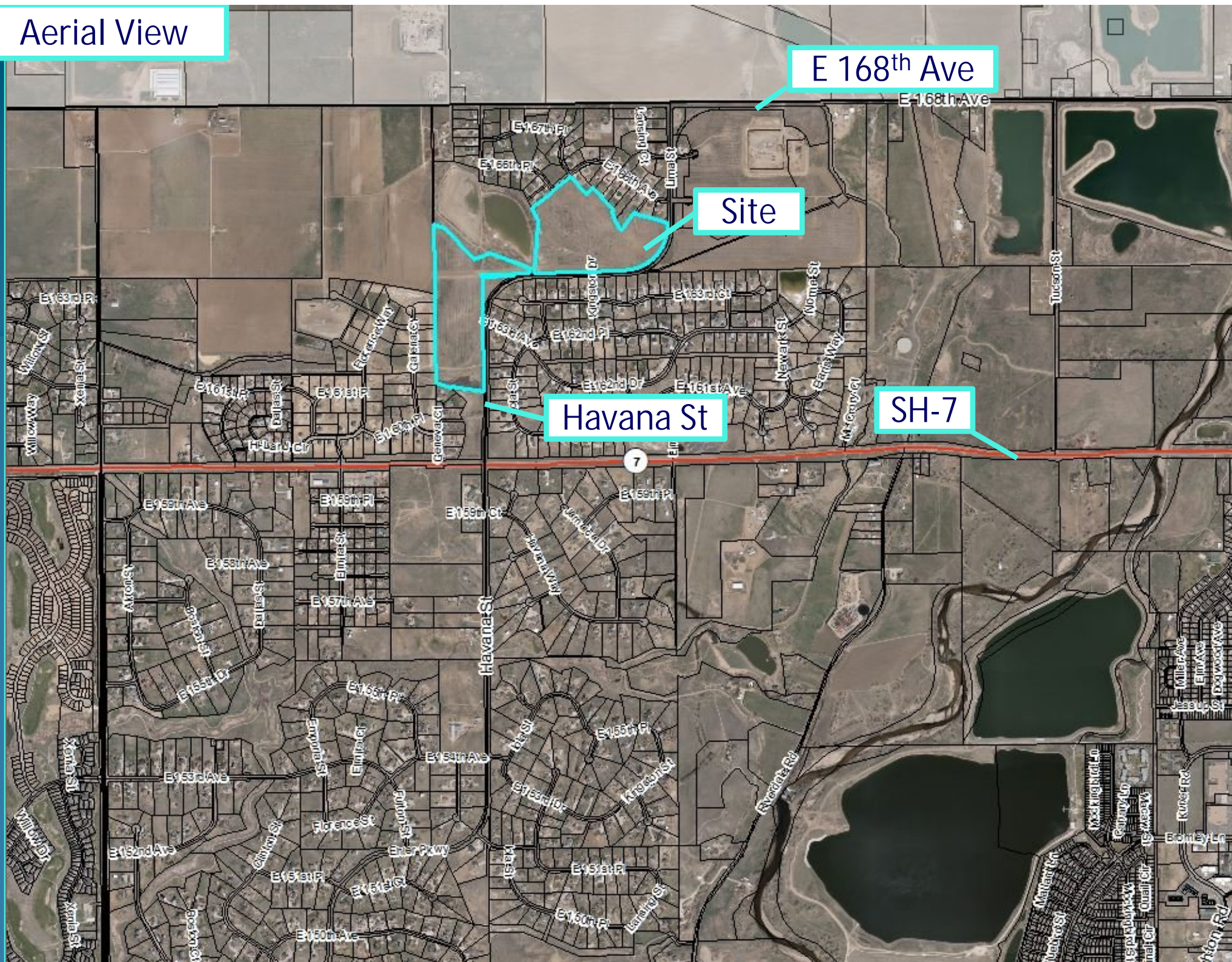
Case Manager: Greg Barnes



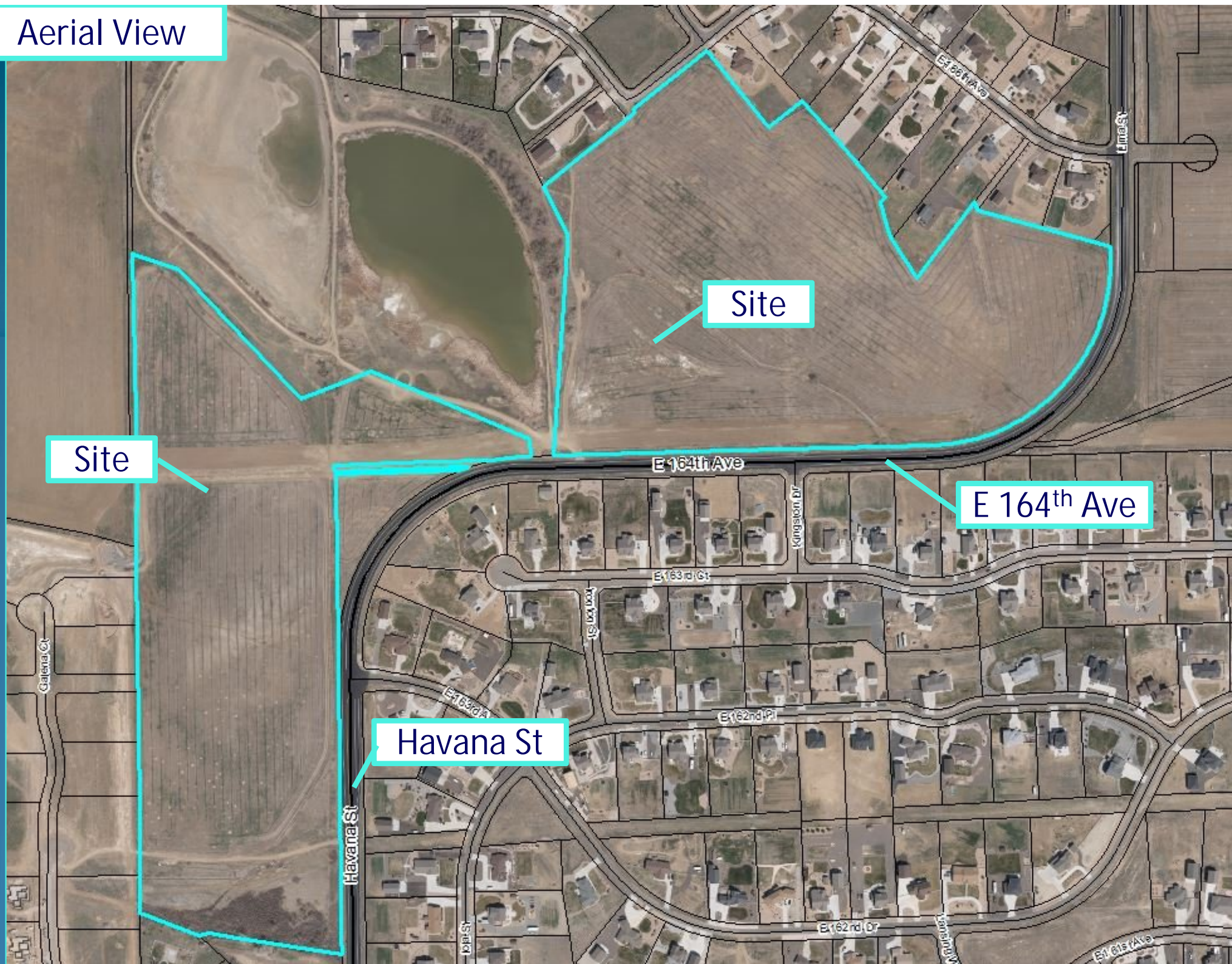
Requests

- Preliminary plat for major subdivision:
 - Create 33 lots for single-family residential use
 - 71 acres total
- Major amendment to the Final Development Plan:
 - Original 2006 Approval
 - 192 residential lots
 - Maximum density of 0.79 du/ac
 - Proposed density of 0.60 du/ac
 - Proposed Amendment
 - Reduces number of lots in Filing 2 area from 54 to 33

Aerial View

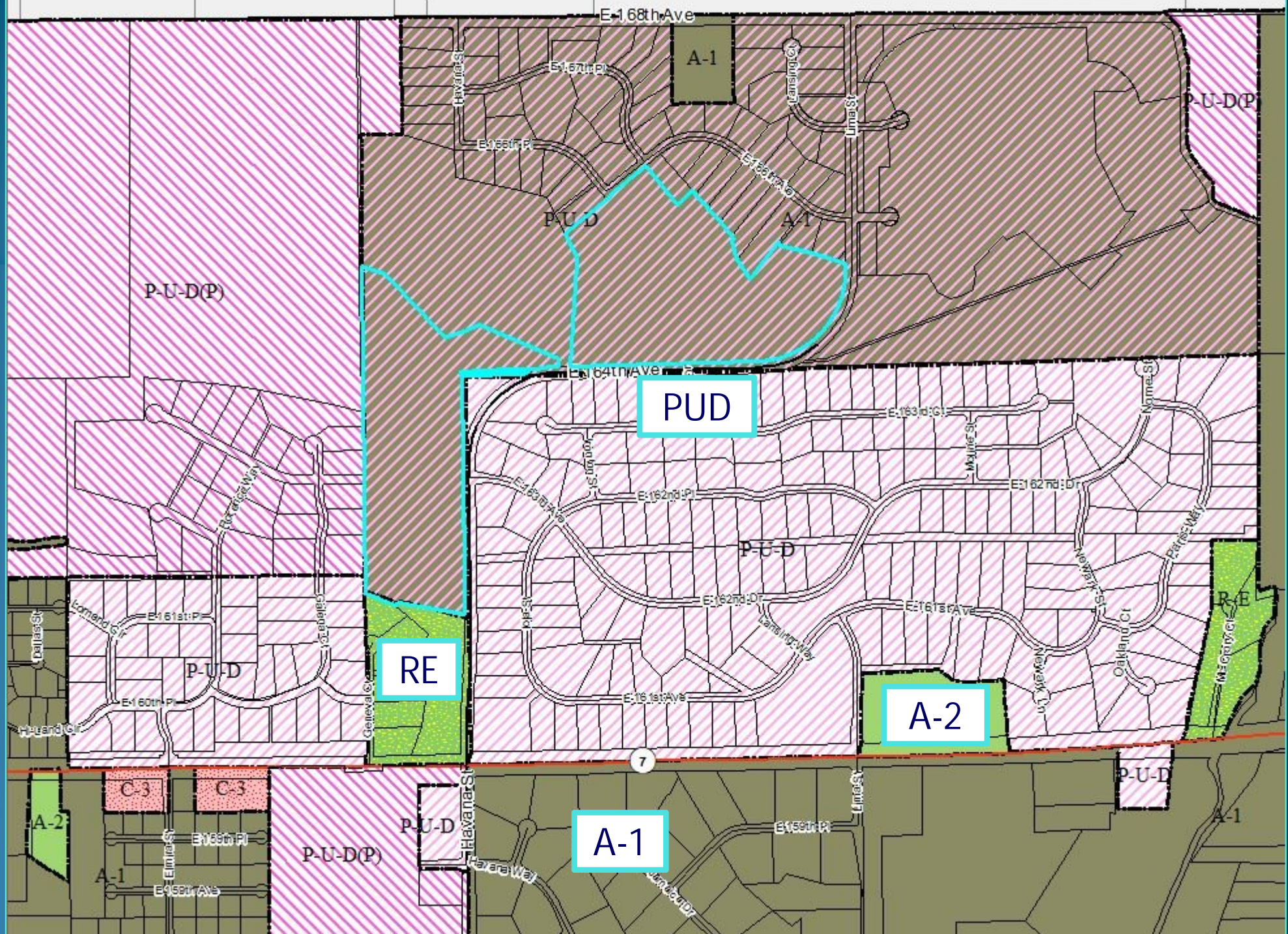


Aerial View



Zoning Map

Weld Co.



Future Land Use Map

Weld Co.

Estate Residential

Urban Residential

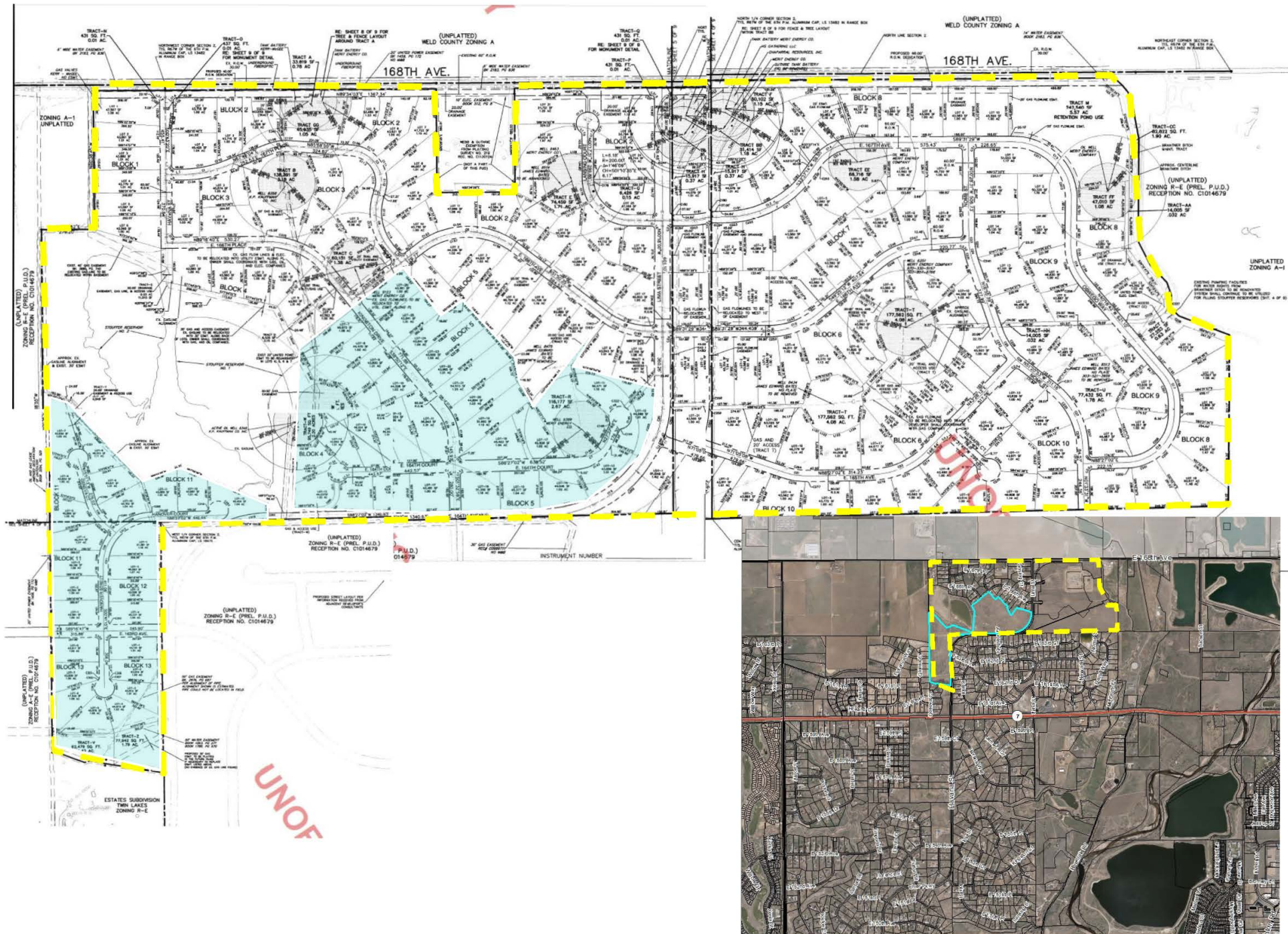
Agriculture

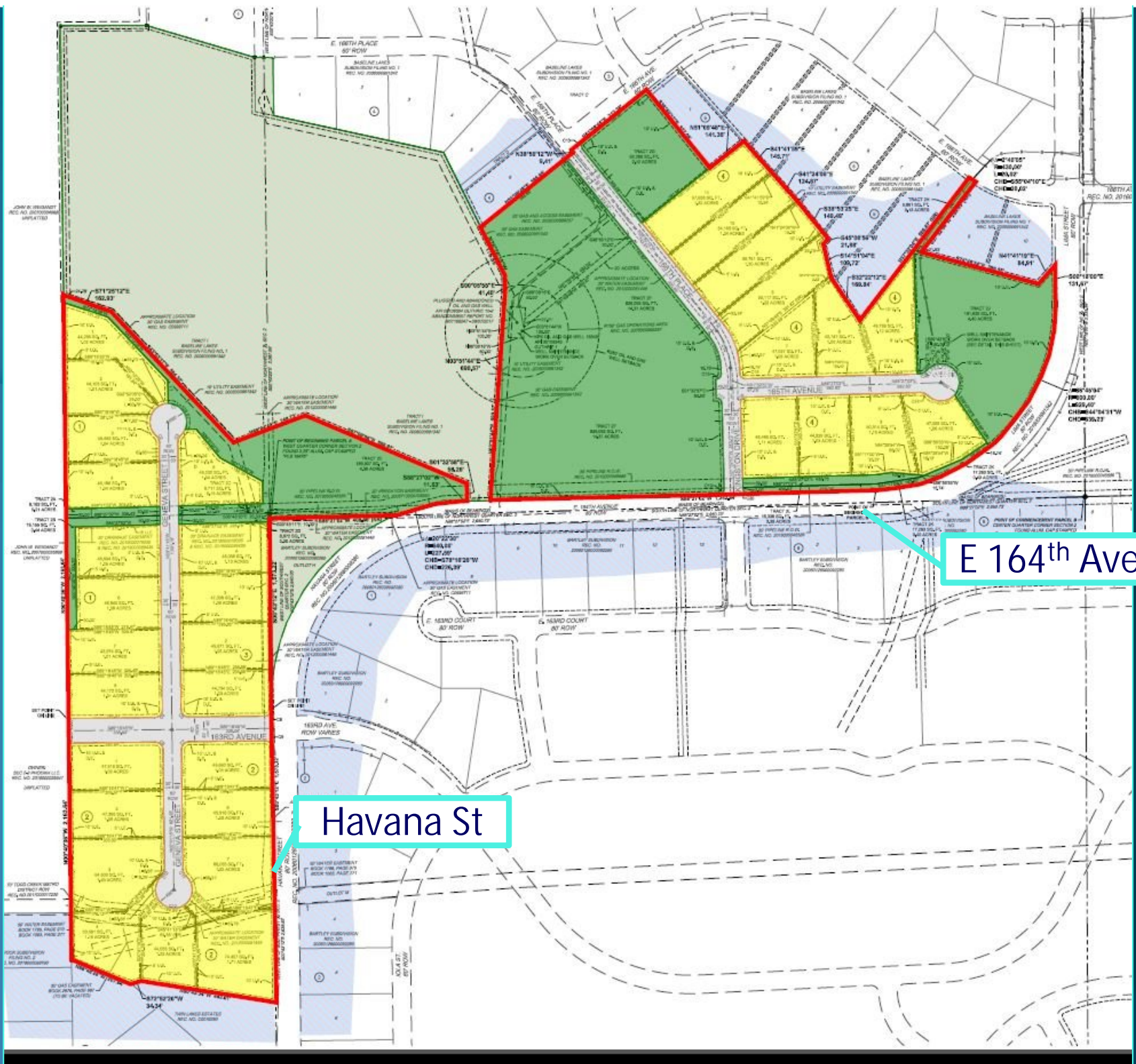
Criteria for Major Subdivision Preliminary Plat Approval

Section 2-02-19-03-05

- Consistent with Comprehensive Plan
- Consistent with Purpose of Standards
- Conforms to Subdivision Design Standards
- Sufficient Water Supply
- Evidence of Sewage Disposal System
- Identification of Topographical Hazards
- Adequate drainage Improvements
- Conformance with Density Standards
- Compatible & Harmonious

Original Baseline Lakes Final Development Plan (2006)



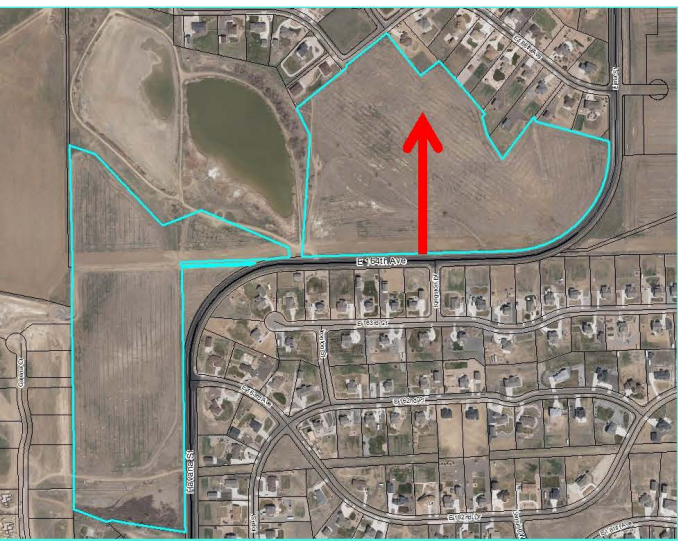


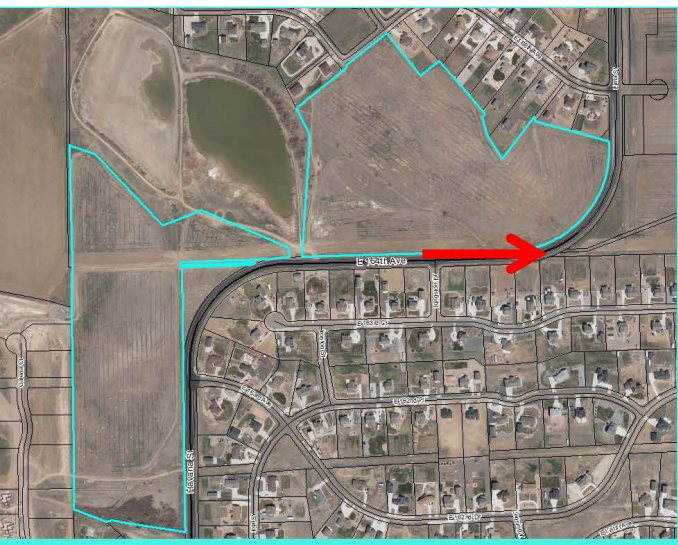
E 164th Ave

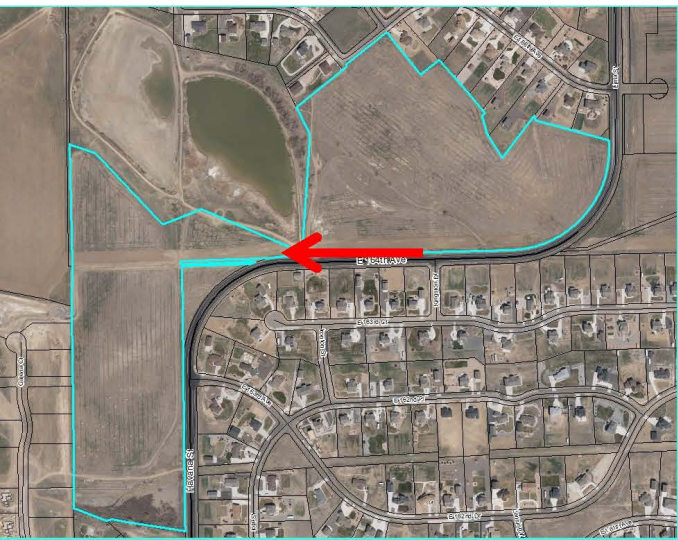
Havana St

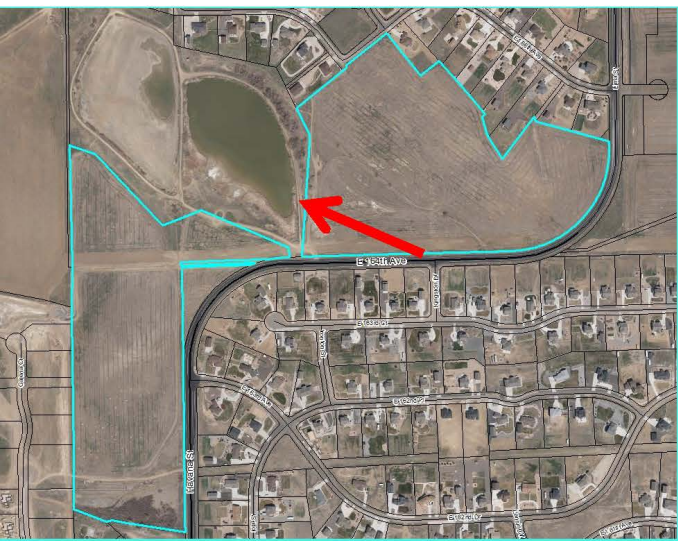
Analysis

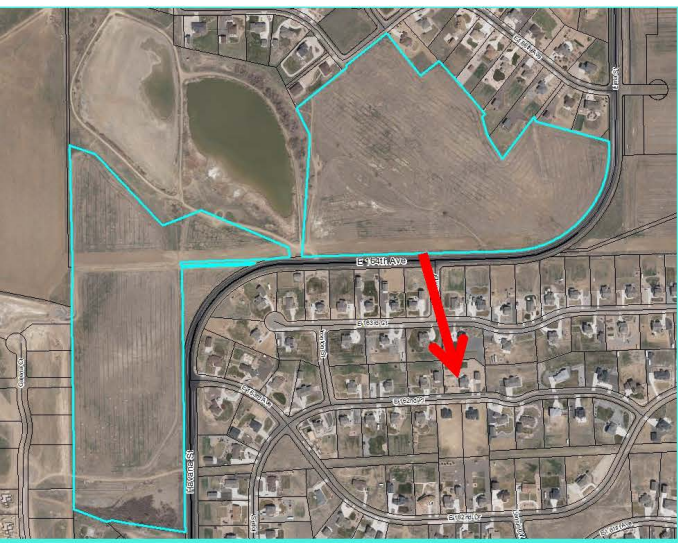
- Zoning Dimensions:
 - Conforms to Original 2006 PUD minimum lot standards
- Water:
 - Water provided by Todd Creek Village Metropolitan District
 - Individual Septic Systems

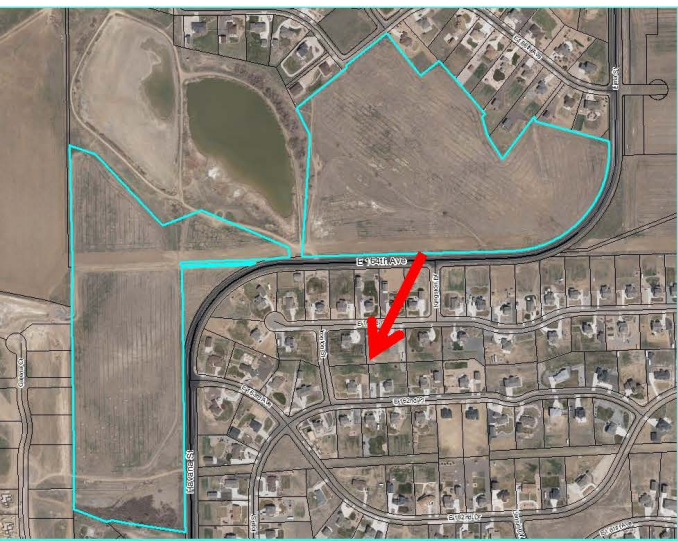












Initial Referral Period

Notices Sent*	Comments Received
182	12

1,000-foot referral distance

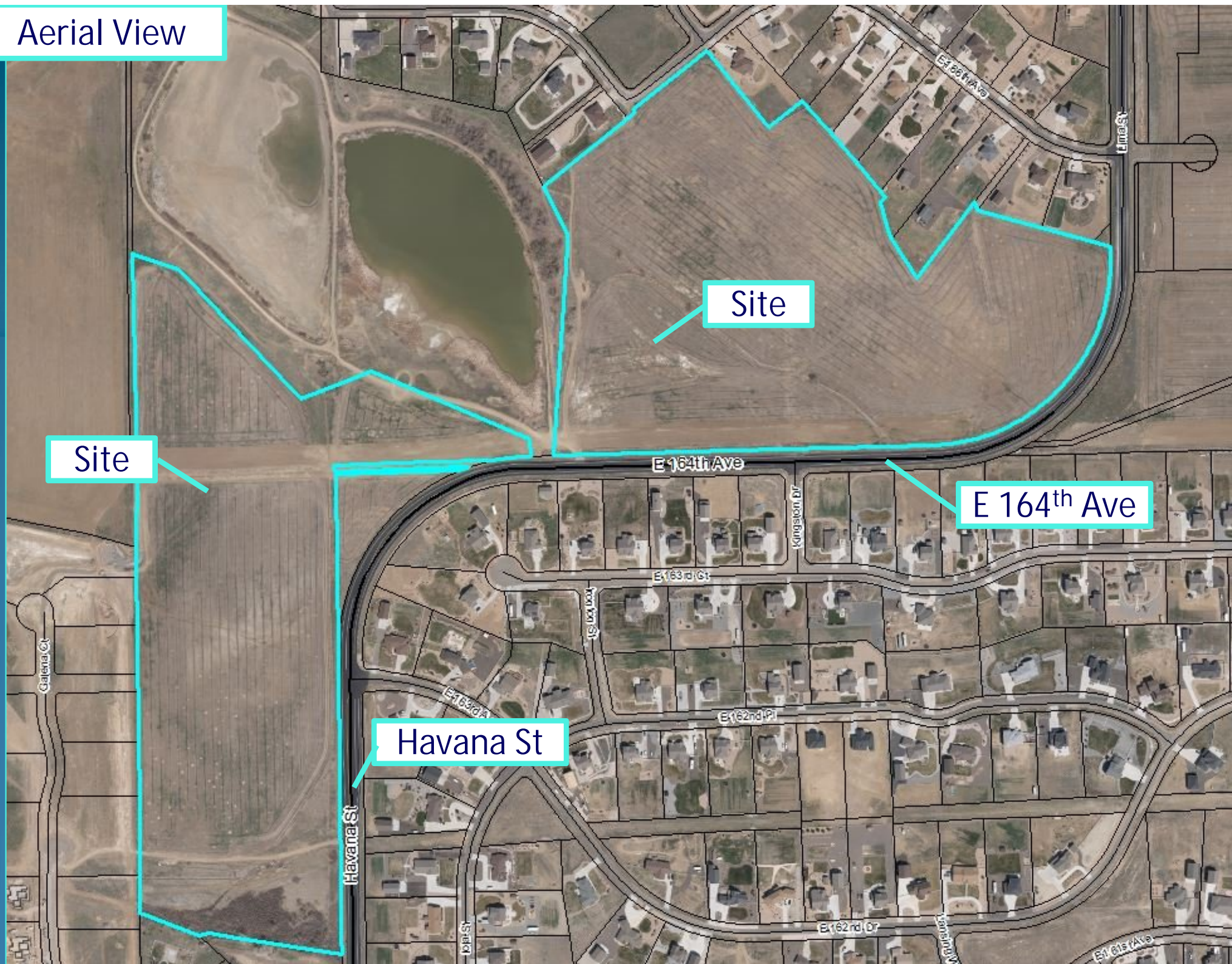
Initially submitted plan without staff support

- Proposed filling water reservoirs
- Development of land designated as open space
- Increase to density in the area

12 Comments Received

- 10 opposed
- 2 concerns

Aerial View



Site

Site

E 164th Ave

Havana St

Resubmittal Referral Period

Notices Sent*	Comments Received
182	4

1,000-foot referral distance

4 comments:

- 2 letters of gratitude for the change
- Requested error to be fixed
- Concern about drainage

External Agencies:

- No objection to current applications
- Concerns to be addressed during final plat or building permit processes

Staff Recommendation

(PRC2019-00015 – Baseline Lakes)

- Consistent with Comprehensive Plan
- Complies with minimum zone district standards
- Compatible with surrounding area
- Water & Sewage Provided

Approval of the preliminary plat and major amendment to the Final Development Plan with 13 findings-of-fact and 7 notes

Application to be forwarded to the Board of County Commissioners on June 15, 2021, at 9:30 a.m.

Planning Commission

Public Hearing: May 13, 2021

- Applicant had no objection to staff report and presentation
- Two public speakers at the hearing
- Concerns that will-serve letter was several years old.

Approval of the preliminary plat and major amendment to the Final Development Plan (6-1) with 13 findings-of-fact and 7 notes

Recommended Findings-of-Fact:

1. The preliminary plat is consistent with the Adams County Comprehensive Plan and any available area plan.
2. The preliminary plat is consistent with the purposes of these standards and regulations.
3. The preliminary plat is in conformance with the subdivision design standards and any approved sketch plan.
4. The applicant has provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
5. The applicant has provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that such system complies with state and local laws and regulations.
6. The applicant has provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are compatible with such conditions.
7. The applicant has provided evidence that adequate drainage improvements comply with these standards and regulations.
8. The overall density of development within the proposed subdivision conforms to the zone district density allowances.
9. The proposed subdivision is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County. The proposed subdivision has established an adequate level of compatibility by:
 - a. Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use;
 - b. Incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit, and the cost-effective delivery of other services consistent with adopted plans, policies and regulations of the County;
 - c. Incorporating physical design features in the subdivision to provide a transition between the project and adjacent land uses through the provision of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures;
 - d. Incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the project design; and
 - e. Incorporating public facilities or infrastructure, or cash-in-lieu, reasonably related to the proposed subdivision so the proposed subdivision will not negatively impact the levels of service of the County services and facilities.
10. The FDP is in general conformity with the Adams County Comprehensive Plan and any applicable area plan.
11. The FDP conforms to the P.U.D. standards.
12. The FDP is consistent with any approved Preliminary Development Plan (PDP) for the property.
13. The FDP construction plans meet the requirements of these standards and regulations and have been approved by the Director of Community and Economic Development, all infrastructure and utility providers, Tri-County Health Department, and all other referral agencies.

Recommended Notes:

1. The preliminary plat approval shall expire on June 15, 2023, if a final plat application has not submitted for Baseline Lakes, Filing No. 2.
2. Adams County will require building permit approval to establish the new uses. These reviews shall include, but are not limited to, landscaping, site design, parking, building safety, traffic, and drainage.
3. The applicant shall submit to the Adams County Community and Economic Development Department a final drainage analysis and report for review and approval with any application for a final plat.
4. The applicant shall submit to the Adams County Community and Economic Development Department a final traffic impact study for review and approval with any application for a final plat.
5. A Subdivision Improvements Agreement and collateral shall be submitted with the final plat application.
6. A public land dedication fee for parks and schools shall be paid to Adams County prior to or with the final plat submittal. This fee shall be determined by the fee structure specified in Section 5-05 of the Adams County Development Standards and Regulations.
7. All utilities shall be located underground pursuant to the Adams County Development Standards and Regulations.



Memorandum

To: Board of County Commissioners
From: J. Gregory Barnes, Planner III *JGB*
Subject: Baseline Lakes (PRC2019-00015)
Date: May 25, 2021

If the Board of County Commissioners does not concur with the Staff recommendation of Approval, the following findings may be adopted as part of a decision of Denial:

ALTERNATIVE RECOMMENDED FINDINGS FOR DENIAL

Major Subdivision (Preliminary Plat):

1. The preliminary plat is inconsistent with the Adams County Comprehensive Plan and any available area plan.
2. The preliminary plat is inconsistent with the purposes of these standards and regulations.
3. The preliminary plat is not in conformance with the subdivision design standards and any approved sketch plan.
4. The applicant has not provided evidence that a sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards.
5. The applicant has not provided evidence that a public sewage disposal system has been established and, if other methods of sewage disposal are proposed, adequate evidence indicating that such system complies with state and local laws and regulations.
6. The applicant has not provided evidence to show all areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified by the applicant and the proposed uses of these areas are not compatible with such conditions.
7. The applicant has not provided evidence that adequate drainage improvements comply with these standards and regulations.
8. The overall density of development within the proposed subdivision does not conform to the zone district density allowances.
9. The proposed subdivision is incompatible with the surrounding area, inharmonious with the character of the neighborhood, detrimental to the immediate area, detrimental to the future development of the area, and detrimental to the health, safety, or welfare of the

inhabitants of the area and the County. The proposed subdivision has not established an adequate level of compatibility by:

- a. Incorporating natural physical features into the development design and providing sufficient open spaces considering the type and intensity of use;
- b. Incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit, and the cost-effective delivery of other services consistent with adopted plans, policies and regulations of the County;
- c. Incorporating physical design features in the subdivision to provide a transition between the project and adjacent land uses through the provision of an attractive entryway, edges along public streets, architectural design, and appropriate height and bulk restrictions on structures;
- d. Incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the project design; and
- e. Incorporating public facilities or infrastructure, or cash-in-lieu, reasonably related to the proposed subdivision so the proposed subdivision will not negatively impact the levels of service of the County services and facilities.

Amendment to the Final Development Plan:

1. The FDP is not in general conformity with the Adams County Comprehensive Plan and any applicable area plan.
2. The FDP does not conform to the P.U.D. standards.
3. The FDP is inconsistent with any approved Preliminary Development Plan (PDP) for the property.
4. The FDP construction plans do not meet the requirements of these standards and regulations and have not been approved by the Director of Community and Economic Development, all infrastructure and utility providers, Tri-County Health Department, and all other referral agencies.



**COMMUNITY AND ECONOMIC DEVELOPMENT
DEPARTMENT**

**CASE NAME: NCLC REZONE
CASE NO.: RCU2021-00005**

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- 2.2 Zoning Map
- 2.3 Future Land Use Map
- 2.4 Simple Map

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- 3.1 Applicant Written Explanation
- 3.2 Applicant Conceptual Site Plan

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- 4.2 Adams County Fire & Rescue
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- 4.4 Colorado Department of Public Health & Environment (CDPHE)
- 4.5 Colorado Department of Transportation (CDOT)
- 4.6 Colorado Division of Parks & Wildlife
- 4.7 Regional Transportation District
- 4.8 Tri-County Health Department (TCHD)
- 4.4 Xcel Energy

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- 5.1 DeMattee

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- 6.5 Property Owner Labels
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**COMMUNITY AND ECONOMIC
DEVELOPMENT DEPARTMENT
STAFF REPORT**

Board of County Commissioners

June 15, 2021

CASE No.: RCU2021-00005	CASE NAME: NCLC Rezone
Owner's Name:	Public Service Company of Colorado
Applicant's Name:	Kevan O'Connor
Applicant's Address:	1125 17 th Street, Suite 800
Location of Request:	Vacant Property directly east of 7450 Clayton Street
Parcel Numbers:	0171936300009, 0171936300010, 0171936400006, and 0171936300024
Nature of Request:	Rezone from Agricultural-1 (A-1) to Industrial-1 (I-1)
Future Land Use:	Mixed-Use Employment
Site Size:	Approximately 15 acres
Proposed Uses:	Industrial
Existing Use:	Vacant
Hearing Date(s):	PC: May 13, 2021/ 6:00 pm BOCC: June 15, 2021/ 9:30 am
Report Date:	May 5, 2021
Case Manager:	Greg Barnes
PC Recommendations:	APPROVAL with 4 Findings-of-Fact and 1 note

SUMMARY OF APPLICATION

Background:

The applicant, Kevan O'Connor of Suncap Property Group, is requesting to rezone the subject properties from Agricultural-1 (A-1) to Industrial-1 (I-1). The site is currently undeveloped. If the subject rezoning is approved, the applicants intend to develop the parcel with vehicular parking associated with the adjacent development known as Project Flatiron. The adjacent logistics center development was approved by the Board of County Commissioners in 2020. The site is now under construction.

Development Standards and Regulations:

Section 2-02-15-06-02 of the County's Development Standards and Regulations outlines the approval criteria for rezoning a property. These include compliance with the requirements and purpose of the Development Standards and Regulations, consistency with the Comprehensive Plan, and compatibility with the surrounding area.

The subject property is designated A-1 on the County's zoning map. Per Section 3-08-01 of the County's Development Standards and Regulations, the purpose of the A-1 designation is to provide a rural single-family dwelling district that provides for a rural experience. Per Section 3-24-01 of the County's Development Standards and Regulations, the purpose of the I-1 designation is to provide a general commercial and industrial zone district for limited industrial uses and a variety of warehousing and wholesale uses. Uses permitted in the I-1 district include logistics centers, offices, and commercial uses.

Per Section 3-24-07 of the County's Development Standards and Regulations, the minimum lot size for properties in the I-1 zone district is one acre and the minimum lot width is one hundred (100) feet. The overall area has a land area of approximately 15 acres. The site is presently four separate parcels, and each of those four parcels exceed the minimum lot width and area requirements for the Industrial-1 zone district. Therefore, the rezone request is consistent with the Development Standards and Regulations by conforming to the dimensional requirements for the I-1 district.

Standards for setbacks and structure dimensions within the I-1 zone district are described in Section 3-24-07-03 of the County's Development Standards and Regulations. The subject properties, if approved for I-1 zoning, will be subject to a minimum front setback of twenty-five (25) feet, as well as a minimum setback of fifteen (15) feet on side and rear property lines. The proposed rezoning could ultimately impact the maximum height of structures on the property. The A-1 zone district allows for a maximum height of thirty-five (35) feet for non-agricultural structures and seventy (70) feet for agricultural structures. In the I-1 zone district, the maximum height of structures is sixty (60) feet.

Future Land Use Designation/Comprehensive Plan:

The Future Land Use Designation on the property is Mixed-Use Employment. Per Chapter 5 of the Adams County Comprehensive Plan, the purpose of the Mixed-Use Employment future land use designation is to accommodate a range of employment uses with a mix of supporting uses to serve employment needs. In addition, Mixed-Used Employment areas are designated in locations that have transportation access and visibility but are not suitable for residential development. Mixed-Use Employment areas may include offices, light manufacturing, distribution, indoor warehousing, clean industry, and supporting retail businesses.

The current zoning of the property is inconsistent with the adopted Comprehensive Plan and its future land use designation of mixed-use employment. Rezoning the property to a zone district that is consistent with the Comprehensive Plan designation will advance the County's long-term goal for providing mixed use employment areas that accommodate a range of employment uses, as well as supporting employment generating uses.

The 2005 Southwest Adams County Framework Plan provides an outline for future planning and redevelopment efforts in southwest Adams County. It is intended to serve as a guiding document throughout the many years it would take to complete the neighborhood plans, corridor plans, and other redevelopment efforts needed to improve southwestern Adams County. The subject property is located within the Welby subarea of the Southwest Framework Plan. The Welby Subarea Plan identifies this site in the East Welby Region, which lacks connectivity to the West

Welby area. The Plan indicates that these sites have great potential for redevelopment. The site also has adjacency to the South Platte River and Siegrist Lake. Development of the site would help the County obtain trail easements, which would further advance the Welby Subarea Plan's goals for parks and open space creation in these areas.

Site Characteristics:

The site borders Highway 224 to the south, and the South Platte River to the east. Highway 224 is a limited access highway, so the best option for development of the site would come from the properties directly to the west. The Project Flatiron development is located to the west, and therefore would allow the site to connect to Clayton Street through the Project Flatiron development.

The site is entirely impacted by floodplain. The far eastern fringes of the site along the South Platte River are within the floodway. These portions of the site are not suitable for any development. Most of the site is located within the 100-year floodplain, with a few portions of the northwestern corner of the site being impacted by 500-year floodplain. Development can be allowed within the 100-year and 500-year floodplain. Precautions will be assessed in the permitting phase to mitigate the impacts of flooding on any development of the site. The site is located within the Natural Resources Conservation Overlay District. An environmental assessment will be expected if applications are submitted to develop the site.

Surrounding Zoning Designations and Existing Use Activity:

Northwest I-1 Industrial	North I-1 Industrial	Northeast A-1 Parks & Open Space
West I-1 Industrial	Subject Property A-1 Vacant	East A-1 Parks & Open Space
Southwest A-1 Vacant	South A-1 Vacant	Southeast A-1 Vacant

Compatibility with the Surrounding Area:

The surrounding area includes a mix of industrial properties and open space. The surrounding properties to the west and north are industrial zones and uses. The site is directly adjacent to the Project Flatiron site which is under construction to be a logistics center. Many of the surrounding properties to the east and south are undeveloped with Agricultural-1 zoning. Some of these areas are owned by Adams County and are used for open space.

PLANNING COMMISSION UPDATE

The Planning Commission (PC) considered this case on May 13, 2021 and voted (7-0) to recommend approval of the request. The applicant spoke at the meeting and had no concerns with the staff report or presentation. There was one member from the public to speak on this request. The public comment was from the same individual who provided a comment during the referral period. The concern is related to the intersection of Clayton Street and State Highway 224, at the southwestern corner of the Project Flatiron site. The commenter expressed

that the increased traffic had made this intersection dangerous and the subject rezoning could increase the burden on the unsignalized intersection. During the review period, Development Services engineering addressed this concern with the Colorado Department of Transportation (CDOT). Any signalization at this intersection must be approved by CDOT. Currently, CDOT does not believe the intersection presents an adequate threshold to merit signalization. As the Project Flatiron construction continues, CDOT will continue to monitor the intersection and reevaluate the need for signalization. Staff also reminded the Planning Commission that the applicant would still be required to obtain a change-in-use permit subsequently to any rezoning of the land, and at that time more specific traffic volume estimates would be further evaluated.

Staff Recommendation:

Based upon the application, the criteria for approval for a rezoning, and a recent site visit, staff recommends approval of this request with 4 findings-of-fact and 1 note:

RECOMMENDED FINDINGS-OF-FACT REZONING

1. The Zoning Map amendment is consistent with the Adams County Comprehensive Plan.
2. The Zoning Map amendment is consistent with the purposes of these standards and regulations.
3. The Zoning Map amendment will comply with the requirements of these standards and regulations
4. The Zoning Map amendment is compatible with the surrounding area, harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.

RECOMMENDED NOTE

1. Adams County will require building permit approval to establish the new uses. These reviews shall include, but are not limited to, landscaping, site design, parking, building safety, traffic, and drainage.

PUBLIC COMMENTS

Notifications Sent	Comments Received
12	1

All property owners and occupants within 1,000 feet of the subject property were notified of the request. As of writing this report, staff has received one response from those notified. The comment letter was opposed to any further development in the area until a traffic signal is installed at the intersection of Clayton Street and Highway 224. A traffic signal was discussed with the Colorado Department of Transportation, however they determined that the site did not yet merit a signal. Conversations between the developer and CDOT are ongoing.

Letters were provided from several referral agencies as well. Of those responding, several had concerns that will be expected to be addressed if the site is further developed. None of the agencies that provided comments had objection to the rezoning application.

Responding with Concerns:

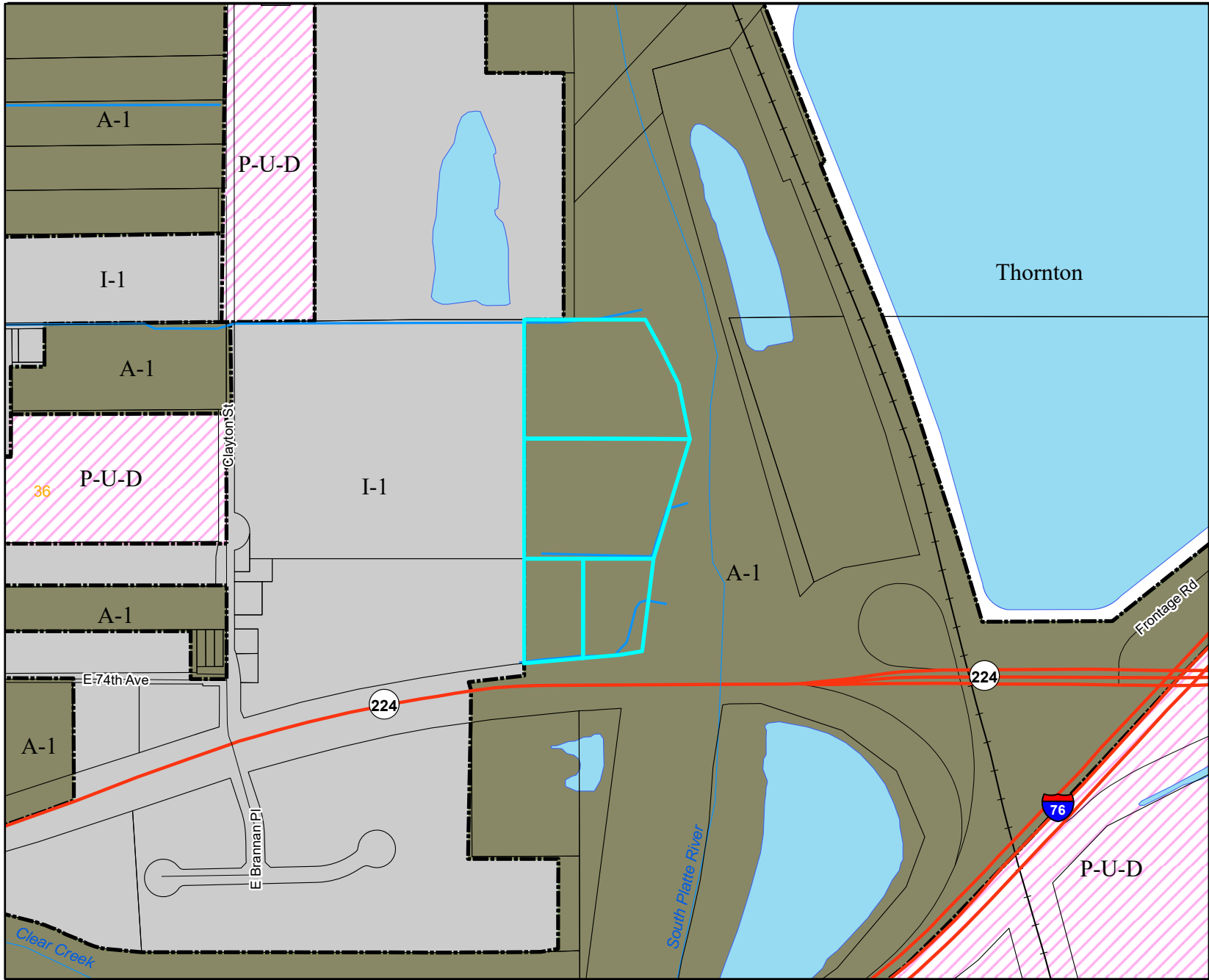
Colorado Department of Public Health & Environment
Colorado Department of Transportation
Colorado Division of Parks & Wildlife
Tri-County Health Department
Xcel Energy

Responding without Concerns:

Adams County Fire & Rescue
Adams County Sheriff
RTD

Notified but not Responding / Considered a Favorable Response:

Adams School District 14
Century Link
Comcast
Mapleton School District #1
Metro Wastewater Reclamation District
North Washington Water & Sanitation District
South Adams Fire & Rescue
South Adams Water & Sanitation District
Welby Citizen Group



Legend

- +— Railroad
- Major Water
- - - Zoning Line
- Sections

Zoning Districts

- A-1
- A-2
- A-3
- R-E
- R-1-A
- R-1-C
- R-2
- R-3
- R-4
- M-H
- C-0
- C-1
- C-2
- C-3
- C-4
- C-5
- I-1
- I-2
- I-3
- CO
- PL
- AV
- DIA
- P-U-D
- P-U-D(P)
- Conditions

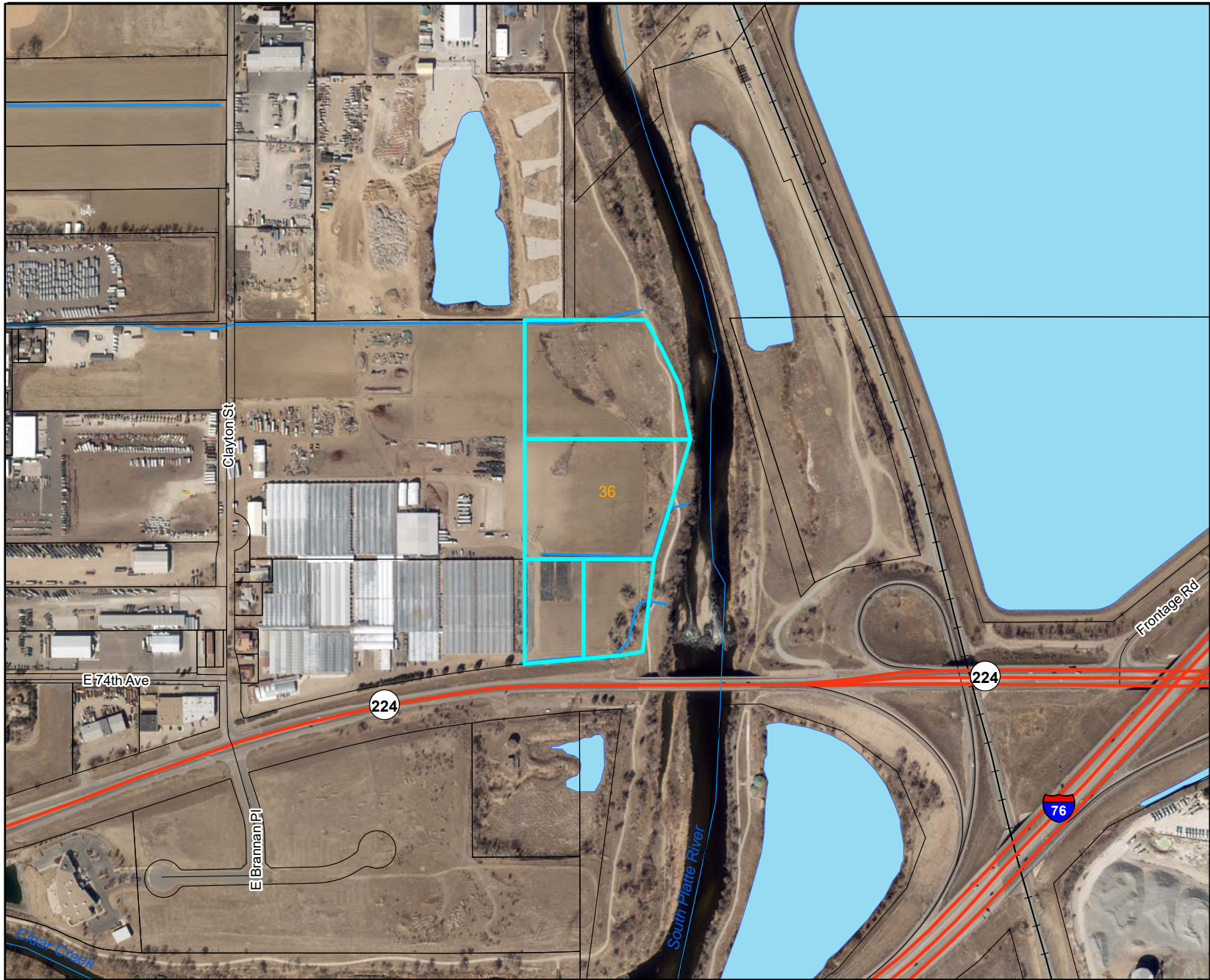
NCLC Rezone
RCU2021-00005



For display purposes only.

AD TY

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Legend

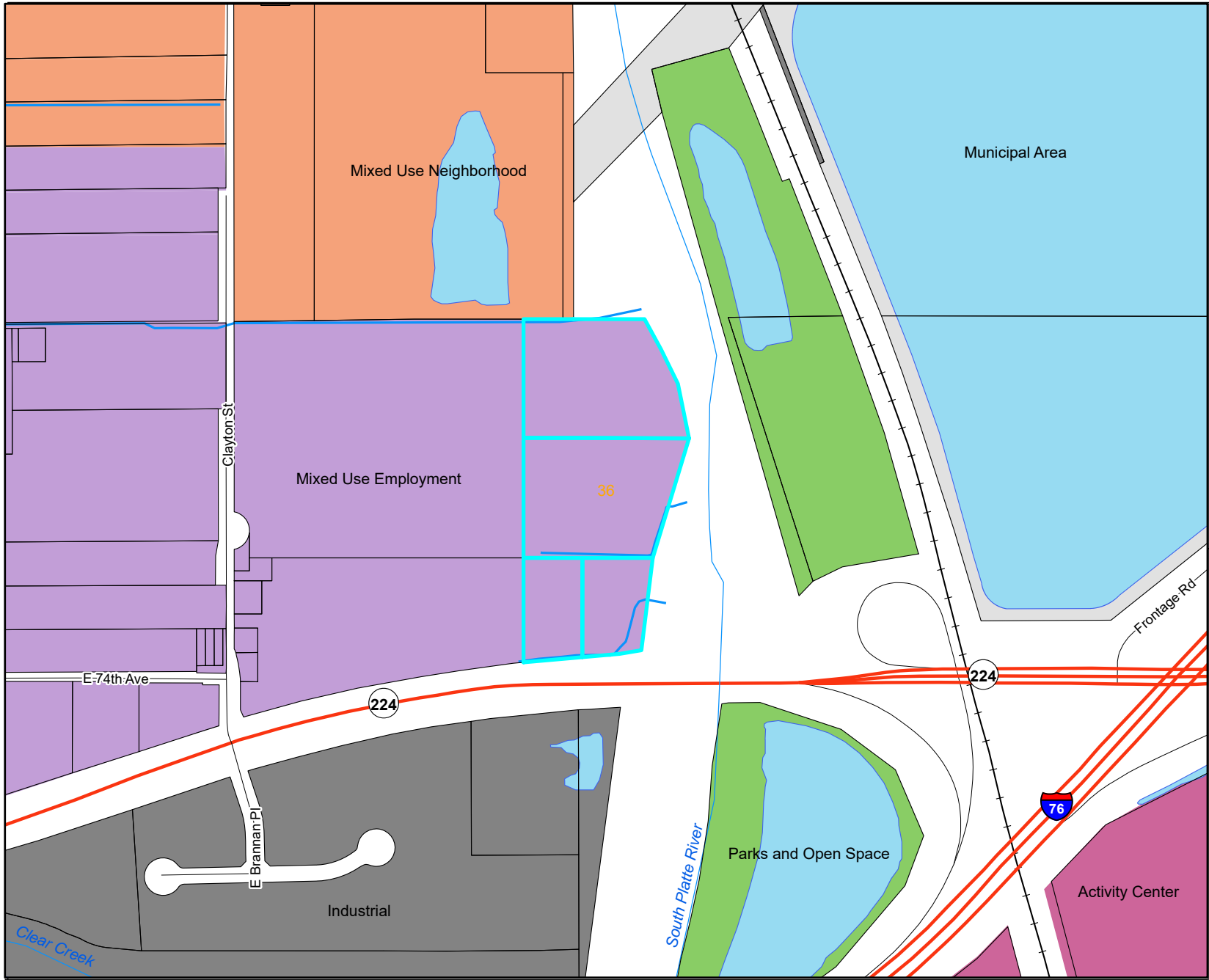
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RCU2021-00005

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Legend

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- Major Water
- - - Zoning Line
- ▭ Sections

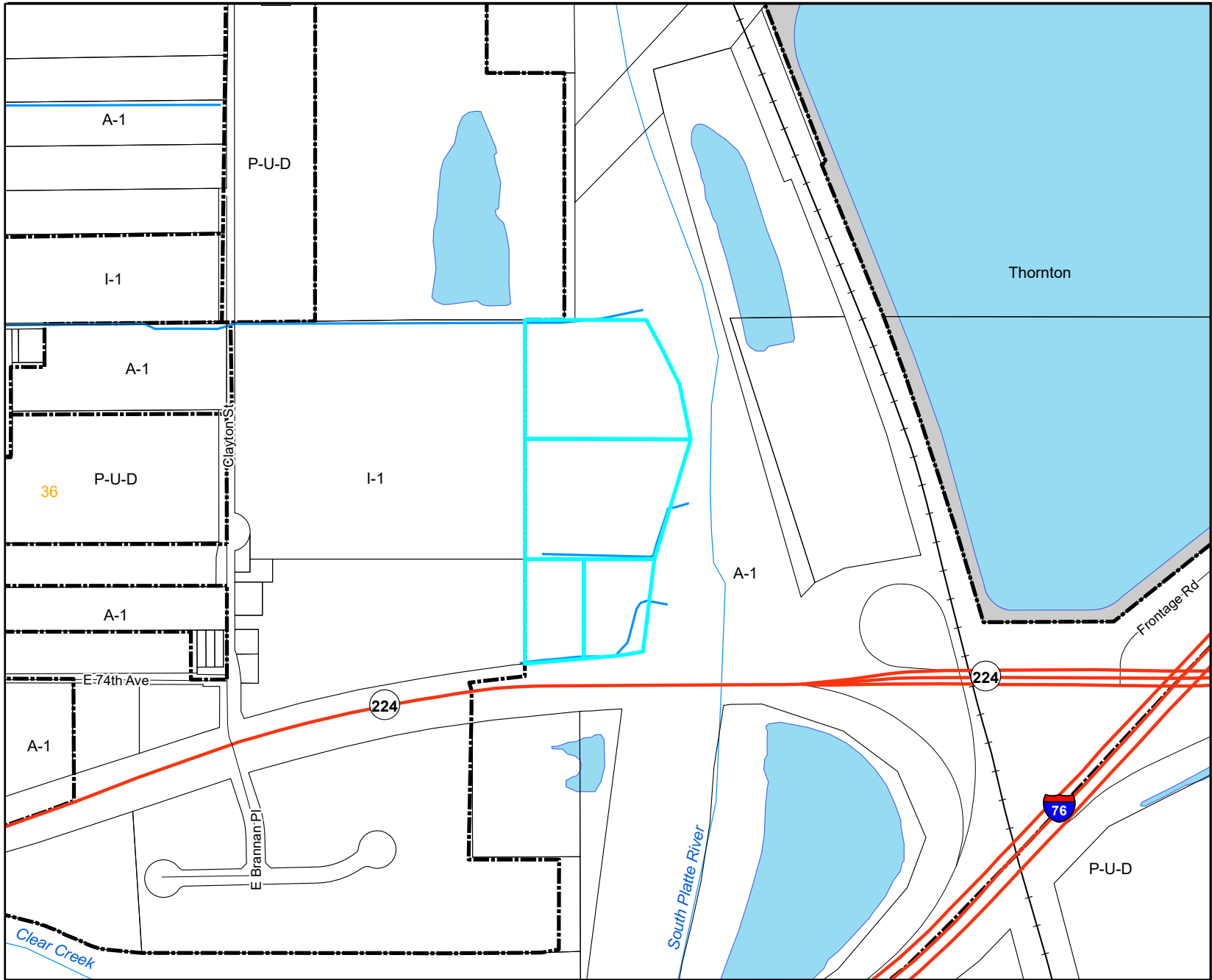
NCLC Rezone
RCU2021-00005

N
For display purposes only.



AD. TY

This map is made possible
by the Adams County GIS
group, which assumes no
responsibility for its accuracy



Legend

- +— Railroad
- Major Water
- - - Zoning Line
- ▭ Sections

NCLC Rezone
RCU2021-00005

N

 For display purposes only.

AD TY

This map is made possible by the Adams County GIS group, which assumes no responsibility for its accuracy

WARE MALCOMB

ARCHITECTURE | PLANNING | INTERIORS
BRANDING | CIVIL ENGINEERING

March 4, 2021

Adams County Community and Economic Development

4430 S Adams County Pkwy, W2410

Brighton, CO 80601

Attn: Holden Pederson

RE: NCLC Trailer Parking Rezone Written Explanation of Project

To whom it may concern,

This letter serves as a written explanation of the above referenced project. The proposed project is located east of the existing Flatiron Filing No. 1, in parcels 0171936300009, 0171936300010, 0171936400006 and 0171936300024. The proposed improvements consist of approximately 200 semi-trailer parking spaces, storm infrastructure, and a detention pond to serve this parking facility. Two drive aisles connect the proposed parking area to the existing Flatiron parking area. This will require crossing the existing Flatiron pond, and some minor modifications to this existing drainage facility. Striping, signage, and lighting improvements are also proposed with the parking facility. There are no proposed buildings.

Please do not hesitate to contact us if you require further information or clarification.

Sincerely,

WARE MALCOMB



Ted Swan
Director, Civil Engineering

CC: dallen@waremalcomb.com 720.709.5140





Development Review Team Comments

Date: 5/7/2021

Project Number: RCU2021-00005

Project Name: NCLC Rezoning

Commenting Division: Development Engineering Review

Name of Reviewer: Greg Labrie

Date: 04/13/2021

Email: glabrie@adcogov.org

Complete

ENG1: The traffic impact study indicate that a traffic signal will be required at the intersection of Highway 224 and Clayton Street. Any proposed improvements at this intersection will require approval from Adams County and CDOT.

ENG2: A Development Agreement will be required for the design and installation of the public improvements along Highway 224 and Clayton Street. The Development Agreement shall also include the design and installation of the stormwater drainage facilities.

Commenting Division: ROW Review

Name of Reviewer: David Dittmer

Date: 04/13/2021

Email:

Complete

ROW1: Site plan needs to provide for all easements affecting subject lands by recording information. No new easements or ROW's may be dedicated by this process.

ROW2: To dedicate additional ROW or Drainage Easements applicant will need to complete the necessary applications from Adams County.

ROW3: Remove from site plan any information that is not addressed in application check list and conditions.

Commenting Division: Planner Review

Name of Reviewer: Holden Pederson

Date: 04/13/2021

Email:

Complete

PLN1: Applicant is applying for a rezone to the Industrial-1 (I-1) zone district in order to allow a Commercial Parking Lot by-right on the site. Once rezoning approval is received, the applicant will then be required to receive a Change in Use Permit in order to redevelop the overall site and establish the proposed new use according to the County's Development Standards and Regulations. Additional engineering, floodplain, stormwater, or inert fill permits will likely be required as part of the Change in Use Permit process.

PLN2: Before the upcoming public hearings, applicant must provide a revised written explanation to describe that this application is intended to rezone four parcels to the I-1 zone district in order to allow the proposed land use by-right. Please also describe through the revised written explanation the functional relationship between the existing use and the proposed new use (will parking be shared with users of the adjacent Flatiron Filing No.1 development, will the parking only be for the single tenant, will the new tenant only utilize this portion of the overall site or will they also move into the existing development, and how does the applicant intend to utilize this portion of their site if the tenant leaves in the future?).

PLN3: Before the upcoming public hearings, applicant must provide a revised application form that describes that the proposed rezoning is for four parcels over approximately fifteen acres to be changed to the I-1 zone district. The information included on the submitted application form does not include all of the relevant details and only includes one parcel number rather than all four parcel numbers.

PLN4: Before the upcoming public hearings, applicant must provide ownership permission for all four parcels. These can be provided as deeds or as title commitments prepared by a professional title company.

PLN5: If these outstanding submittal requirements are not able to be provided before the first scheduled public hearing with the Planning Commission, then that public hearing may need to be continued by staff until a later date.

Commenting Division: Parks Review

Name of Reviewer: Aaron Clark

Date: 04/08/2021

Email: aclark@adcogov.org

Complete

PRK1. South Platte River Trail passes through this parcel; avoid trail impacts.

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Lynn Baca
DISTRICT 5

Commenting Division: Environmental Analyst Review

Name of Reviewer: Katie Keefe

Date: 03/31/2021

Email:

Complete

ENV1: All of the subject parcels are within the Natural Resource Conservation Overlay (NRCO) district. The intent of the NRCO is to protect environmentally valuable areas and wildlife habitat and migration corridors associated with surface water, rivers, streams, riparian ecosystems and wetlands. See Sections 3-39 and 4-12-02 of the Adams County Development Standards and Regulations for more details.

ENV2: As part of development plans and prior to disturbance of more than 1-acre of land within the NRCO, a Resources Review, completed by a qualified professional, will be required. See section 4-12-02-03-04 for Resource Review methodology and content requirements.

ENV3: The subject parcels are located within the Adams County Mineral Conservation Overlay (MCO) district, the purpose of which is to establish reasonable and uniform limitations, safeguards, and controls for the conservation and wise utilization of natural resources and for rehabilitation of excavated land. Land within this classification is designated as containing commercial mineral deposits in sufficient size parcels and in areas where extraction and rehabilitation can be undertaken while still protecting the health, safety, and welfare of the inhabitants of the area and the County.

ENV4: Undeveloped land within the MCO is restricted from development other than mineral resource extraction unless exempted by the Director of Community and Economic Development or by the Board of Adjustment (See section 3-38-03-01).

ENV5: The Director of Community and Economic Development shall exempt lands meeting the following criteria from the restrictions of the Mineral Conservation Overlay District.

1. Any parcel of land intended for uses that were allowed in the underlying zone district prior to July 1, 1973.
2. Any parcels of land five (5) acres or less in size in existence as a separate parcel prior to July 1, 1973.
3. Any parcel of land in excess of five (5) acres where it can be demonstrated the mineral resource is not of commercial quality and quantity.
4. The Director of Community and Economic Development may require competent proof a lot meets these criteria, including a written opinion from the State Geological Survey, where deemed appropriate

Commenting Division: Planner Review

Name of Reviewer: Greg Barnes

Date: 03/11/2021

Email: gjbarnes@adcogov.org

External Agencies Selected

BOARD OF COUNTY COMMISSIONERS

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DISTRICT 1

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DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Lynn Baca
DISTRICT 5

Commenting Division: Addressing Review

Name of Reviewer: David Dittmer

Date: 03/11/2021

Email:

Complete

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles “Chaz” Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O’Dorisio
DISTRICT 4

Lynn Baca
DISTRICT 5

From: [Carla Gutierrez](#)
To: [Holden Pederson](#)
Subject: Re: Request for Comments: RCU2021-00005 NCLC Rezone
Date: Wednesday, April 14, 2021 4:01:08 PM

Please be cautious: This email was sent from outside Adams County

Good afternoon Holden,

At this time, the Fire District has no questions or concerns in regards to this rezoning.

Thank you!

Carla Gutierrez

Adams County Fire Rescue
7980 Elmwood Lane
Denver, CO 80221
O: 303-539-6862

From: [Rick Reigenborn](#)
To: [Holden Pederson](#)
Subject: RE: Request for Comments: RCU2021-00005 NCLC Rezone
Date: Thursday, March 25, 2021 12:26:32 PM
Attachments: [image002.wmz](#)
[image001.png](#)

The Sheriff's Office doesn't have an issue with the development of this property, please keep in mind that it will increase the calls for service the Sheriff's Office will be required to address. We will need to look at increasing additional staffing to deal with the need for law enforcement presence.

Richard A. Reigenborn
Sheriff
Adams County Sheriff's Office
4430 S. Adams County Parkway,
1st Floor, Suite W5400
Brighton, CO 80601
303-655-3218 | RReigenborn@adcogov.org

Character • Integrity • Transparency



COLORADO

Parks and Wildlife

Department of Natural Resources

Northeast Region
6060 Broadway
Denver, CO 80216
P 303.291.7227 | F 303.291.7114

April 14, 2021

Holden Pederson
Community & Economic Development
4430 South Adams County Parkway, 1st Floor, Suite W2000B
Brighton, CO 80601

RE: NCLC Rezoning, RCU2021-00005

Dear Mr. Holden:

Thank you for the opportunity to comment on the proposed rezoning of several parcels of property from Agricultural-1 to Industrial-1. The mission of Colorado Parks and Wildlife (CPW) is to perpetuate the wildlife resources of the state, to provide a quality state parks system, and to provide enjoyable and sustainable outdoor recreation opportunities that educate and inspire current and future generations to serve as active stewards of Colorado's natural resources. Our goal in responding to land use proposals such as this is to provide complete, consistent, and timely information to all entities who request comment on matters within our statutory authority. Current CPW policy directs our efforts towards proposals that will potentially have high impacts to wildlife and wildlife habitat. The emphasis of CPW's concerns is on large acreages, critical habitats, wildlife diversity, and impacts to species of special concern, or those that are state or federally endangered.

This proposed rezoning of several parcels of property from Agricultural-1 to Industrial-1 is to allow for improvements that would consist of approximately 200 semi-trailer parking spaces, storm infrastructure, and a detention pond. The site currently consists of four parcels, located to the east of Flatiron Filing No. 1, and will consist of 15.1 acres. The parcels are bounded on the east by the South Platte River and the South Platte River Trail, on the north and west by private property, and on the south by 74th Avenue.

CPW would expect to find small passerine birds, small ground dwelling mammals and black-tailed prairie dogs on the parcel of land. Due to the low availability of undeveloped habitat surrounding the site, impacts of the development, as proposed, may be characterized as minimal.

Burrowing Owls

If prairie dog towns are present on the sites or if prairie dogs establish themselves on the property prior to any development - CPW recommends that a burrowing owl survey be conducted prior to earth moving. Burrowing owls live on flat, treeless land with short vegetation, and nest underground in burrows dug by prairie dogs, badgers, and foxes. These raptors are classified as a state threatened species and are protected by state and federal laws, including the Migratory Bird Treaty Act.



These laws prohibit the killing of burrowing owls or disturbance of their nests. Therefore, if any earth-moving will occur between March 15th and October 31st, a burrowing owl survey should be performed. Guidelines for performing a burrowing owl survey may be obtained from District Wildlife Manager Jordan Likes, visiting the CPW website at <http://cpw.state.co.us> or by calling the CPW Denver Region Office at (303) 291-7227.

Please contact us if we can be of assistance in implementing your proposal to minimize negative impacts and maximizing potential enhancements to support living with wildlife in our community. If you have any further questions, please contact District Wildlife Manager Jordan Likes at (303) 291-7135.

Sincerely,

A handwritten signature in black ink, appearing to read "Matt Martinez", with a stylized flourish at the end.

Matt Martinez
Area Wildlife Manager

cc: M. Leslie, K. Cannon, J. Likes

From: [Localreferral - CDPHE, CDPHE](#)
To: [Holden Pederson](#)
Subject: Re: Request for Comments: RCU2021-00005 NCLC Rezone
Date: Thursday, March 25, 2021 8:23:55 AM

Please be cautious: This email was sent from outside Adams County

Thank you for contacting the Colorado Department of Public Health and Environment (CDPHE). CDPHE's general comments are available [here](#). We will continue to review this referral to determine whether additional comments are necessary. If additional comments are necessary, we will submit them by the referral deadline.

--



cdphe_localreferral@state.co.us | colorado.gov/cdphe

Thank you for contacting the Colorado Department of Public Health and Environment (CDPHE). Please note that the following requirements and recommendations apply to many but not all projects referred by local governments. Also, they are not intended to be an exhaustive list and it is ultimately the responsibility of the applicant to comply with all applicable rules and regulations. CDPHE's failure to respond to a referral should not be construed as a favorable response.

Hazardous and Solid Waste

The applicant must comply with all applicable hazardous and solid waste rules and regulations.

Hazardous waste regulations are available here:

<https://www.colorado.gov/pacific/cdphe/hwregs>.

Solid waste regulations are available here:

<https://www.colorado.gov/pacific/cdphe/swregs>.

Applicable requirements may include, but are not limited to, properly characterizing all wastes generated from this project and ensuring they are properly managed and disposed of in accordance with Colorado's solid and hazardous waste regulations.

If this proposed project processes, reclaims, sorts, or recycles recyclable materials generated from industrial operations (including, but not limited to construction and demolition debris and other recyclable materials), then it must register as an industrial recycling facility in accordance with Section 8 of the Colorado Solid Waste Regulations. The industrial recycling registration form is available here:

<https://www.colorado.gov/pacific/cdphe/sw-recycling-forms-apps>.

If you have any questions regarding hazardous and/or solid waste, please contact CDPHE's Hazardous Materials and Waste Management Division (HMWMD) by emailing comments.hmwmd@state.co.us or calling 303-692-3320.

Water Quality

The applicant must comply with all applicable water quality rules and regulations.

The Water Quality Control Division (WQCD) administers regulatory programs that are generally designed to help protect both Colorado's natural water bodies (the clean water program) and built drinking water systems. Applicants must comply with all applicable water quality rules and regulations relating to both clean water and drinking water. All water quality regulations are available here:

<https://cdphe.colorado.gov/water-quality-control-commission-regulations>.



Clean Water Requirements

Stormwater

Applicable clean water requirements may include, but are not limited to, obtaining a stormwater discharge permit if construction activities disturb one acre or more of land or if they are part of a larger common plan of development that will disturb one or more acres of land. In determining the area of construction disturbance, WQCD looks at the entire plan, including disturbances associated with utilities, pipelines or roads constructed to serve the facility.

Please use the Colorado Environmental Online Services (CEOS) to apply for new construction stormwater discharge permits, modify or terminate existing permits and change permit contacts.

For CEOS support please see the following WQCD website:

<https://cdphe.colorado.gov/cor400000-stormwater-discharge>

or contact:

Email: cdphe_ceos_support@state.co.us or cdphe_wqcd_permits@state.co.us

CEOS Phone: 303-691-7919

Permits Phone: 303-692-3517

Domestic Wastewater

Some projects with wastewater collection may have domestic wastewater treatment works (i.e., treatment plant, interceptor sewer, or lift station) with a design capacity to receive greater than 2,000 gallons per day (gpd) and are subject to state-wide site location, design, and permitting requirements implemented by the Water Quality Control Division. State review and approval of the site location application and design is required by the Colorado Water Quality Control Act (Act), Section 25-8-702, C.R.S. which states in part that:

“No person shall commence the construction of any domestic wastewater treatment works or the enlargement of the capacity of an existing domestic wastewater treatment works, unless the site location and the design for the construction or expansion have been approved by the division.”

State review may also be necessary for projects with multiple on-site wastewater treatment systems (OWTS) on a single property, unless the OWTS meet the requirements of division’s “Site Application Policy 6: Multiple On-Site Wastewater Treatment Systems” (Policy 6).

If applicable, the project would need to meet all applicable regulatory requirements including, but not limited to, site location and design review, discharge permitting, having a certified operator; and routine monitoring and reporting. For questions regarding domestic wastewater regulation applicability or other assistance and resources, visit these websites:

<https://cdphe.colorado.gov/design>

<https://cdphe.colorado.gov/clean-water-permitting-sectors>



Drinking Water Requirements

Some projects may also need to address drinking water regulations if the proposed project meets the definition of a “Public Water System” per the Colorado Primary Drinking Water Regulations (Regulation 11):

A Public Water System means a system for the provision to the public of water for human consumption through pipes or other constructed conveyances, if such system has at least fifteen service connections or regularly serves an average of at least 25 individuals daily at least 60 days per year. A public water system is either a community water system or a non-community water system. Such term does not include any special irrigation district. Such term includes:

(a) Any collection, treatment, storage, and distribution facilities under control of the supplier of such system and used primarily in connection with such system.

(b) Any collection or pretreatment storage facilities not under such control, which are used primarily in connection with such system.

If applicable, the project would need to meet all applicable requirements of Regulation 11 including, but not limited to, design review and approval; technical, managerial and financial review and approval; having a certified operator; and routine monitoring and reporting. If it is determined that your facility meets the definition of a public water system please submit a drinking water inventory update form to the department. For questions regarding drinking water regulation applicability or other assistance and resources, visit these websites:

<https://cdphe.colorado.gov/drinking-water>

<https://cdphe.colorado.gov/dwtrain>

If you have any other questions regarding either clean or drinking water quality, please contact CDPHE’s WQCD by emailing cdphe.commentswqcd@state.co.us or calling 303-692-3500.

Air Quality

The applicant must comply with all relevant state and federal air quality rules and regulations. Air quality regulations are available here:

<https://www.colorado.gov/pacific/cdphe/aqcc-regs>.

Air Pollutant Emissions Notices (APENs) and Permits

Applicable requirements may include, but are not limited to, reporting emissions to the Air Pollution Control Division (APCD) by completing an APEN. An APEN is a two in one form for reporting air emissions and obtaining an air permit, if a permit will be required. While only businesses that exceed the Air Quality Control Commission (AQCC) reporting thresholds are



required to report their emissions, all businesses - regardless of emission amount - must always comply with applicable AQCC regulations.

In general, an APEN is required when uncontrolled actual emissions for an emission point or group of emission points exceed the following defined emission thresholds:

Table 1 APEN Thresholds		
Pollutant Category	UNCONTROLLED ACTUAL EMISSIONS	
	Attainment Area	Non-attainment Area
Criteria Pollutant	2 tons per year	1 ton per year
Lead	100 pounds per year	100 pounds per year
Non-Criteria Pollutant	250 pounds per year	250 pounds per year

Uncontrolled actual emissions do not take into account any pollution control equipment that may exist. A map of the Denver Metropolitan Ozone Non-attainment area can be found on the following website: http://www.colorado.gov/airquality/ss_map_wm.aspx.

In addition to these reporting thresholds, a Land Development APEN (Form APCD-223) may be required for land development. Under Colorado air quality regulations, land development refers to all land clearing activities, including but not limited to land preparation such as excavating or grading, for residential, commercial or industrial development. Land development activities release fugitive dust, a pollutant regulation by APCD. Small land development activities are not subject to the same reporting and permitting requirements as large land activities. Specifically, land development activities that are less than 25 contiguous acres and less than 6 months in duration do not need to report air emissions to APCD.

It is important to note that even if a permit is not required, fugitive dust control measures included the Land Development APEN Form APCD-223 must be followed at the site. Fugitive dust control techniques commonly included in the plan are included in the table below.

Control Options for Unpaved Roadways	
Watering	Use of chemical stabilizer
Paving	Controlling vehicle speed
Graveling	
Control Options for Mud and Dirt Carry-Out Onto Paved Surfaces	
Gravel entry ways	Washing vehicle wheels
Covering the load	Not overfilling trucks
Control Options for Disturbed Areas	
Watering	Application of a chemical stabilizer
Revegetation	Controlling vehicle speed
Compaction	Furrowing the soil
Wind Breaks	Minimizing the areas of disturbance
	Synthetic or Natural Cover for Slopes



Additional information on APENs and air permits can be found on the following website: <https://www.colorado.gov/pacific/cdphe/air/do-you-need-an-apen>. This site explains the process to obtain APENs and air quality permits, as well as information on calculating emissions, exemptions, and additional requirements. You may also view AQCC Regulation Number 3 at <https://www.colorado.gov/pacific/cdphe/aqcc-regs> for the complete regulatory language.

If you have any questions regarding Colorado's APEN or air permitting requirements or are unsure whether your business operations emit air pollutants, please call the Small Business Assistance Program (SBAP) at 303- 692-3175 or 303-692-3148.

Asbestos and Lead-Based Paint

In Colorado there are regulations regarding the appropriate removal and handling of asbestos and lead-based paint as part of a demolition, renovation, or remodeling project. These regulations are presented in AQCC Number 8 (asbestos) and Number 19 (lead-based paint) which can be found on the following website: <https://www.colorado.gov/cdphe/aqcc-regs>.

These regulations may require the use of, or inspection by, companies or individuals that are certified to inspect or remove these hazards **prior to renovation or demolition**. APCD must also be notified of abatement or demolition activities prior to beginning any work in the case of asbestos. For additional guidance on these regulations and lists of certified companies and individuals please visit the following website for asbestos:

<https://www.colorado.gov/cdphe/categories/services-and-information/environment/asbestos> and the following website for lead-based paint:

<https://www.colorado.gov/pacific/cdphe/categories/services-and-information/lead>.

If you have any questions about Colorado's asbestos and lead-based paint regulations or are unsure whether you are subject to them please call the Indoor Environment Program at 303-692-3100.

If you have more general questions about air quality, please contact CDPHE's APCD by emailing cdphe.commentsapcd@state.co.us or calling 303-692-3100.

Health Equity and Environmental Justice

CDPHE notes that certain projects have potential to impact vulnerable minority and low-income communities. It is our strong recommendation that your organization consider the potential for disproportionate environmental and health impacts on specific communities within the project scope and if so, take action to mitigate and minimize those impacts. This includes interfacing directly with the communities in the project area to better understand community perspectives on the project and receive feedback on how it may impact them during development and construction as well as after completion. We have included some general resources for your reference.

Additional Resources:

[CDPHE's Health Equity Resources](#)



[CDPHE's Checking Assumptions to Advance Equity
EPA's Environmental Justice and NEPA Resources](#)



STATE OF COLORADO

Traffic & Safety

Region 1

2829 W. Howard Place

Denver, Colorado 80204



COLORADO
Department of Transportation

Project Name: **North Central Logistics Center Trailer Parking**

Print Date: 4/19/2021

Highway:

224

Mile Marker:

2.082

Drainage Comments:

4/16/21 ASD

Project Summary: The project proposes a trailer parking lot and parking for semi-trucks for the North Central Logistic Center. The property has industrial sites to the north, North Central Logistic Center (NCLC) to the west, SH 224 to the south, and South Platte River to the east. The property currently consists of some concrete, grasses and shrubs. Based on FIRM 08001C0604H, dated March 5, 2007, the project site is within 100-year floodplain (Zone AE). A floodplain development permit will be submitted to import fill and raise the site thereby removing trailer parking lot from the floodplain. The existing site slopes from west to east and storm water flow travels overland into an existing unnamed channel in the middle of the property and then into the South Platte River east of the property. Historically, the runoff from the site flowed into the South Platte River. Proposed flow will sheet flow across the parking lot to the eastern curb cuts into a water quality and 100-yr detention pond and release into an existing channel that conveys flows to the South Platte River.

Comments:

- 1) Please include a comment response and Construction Plans in the next submittal.
- 2) CDOT Hydraulics requires separate Historic undeveloped basin calculations.
- 3) CDOT Hydraulics requires a separate Historic Basin Map.
- 4) Show scale and limit of the Proposed and Historic Basin Map to show edge of grading and start of CDOT ROW.
- 5) Indicate Design Points on the basin map.
- 6) Are there additional flows to CDOT ROW?
- 7) Are the previous Drainage Studies, Master Plan Studies at or near the site?

Traffic Comments:

Over half the trips are leaving the site in 2 hours of the day (5PM and 11PM). Yet the traffic entering the site is arriving more sporadically through out the day. Is this trip distribution really an accurate look when trips will be entering and exiting the site?

Clayton needs to meet signal warrants before it gets signalized.

Does the trip assignment still hold to be the same with this new knowledge?

Jason Igo 4/14/2021

Permits Comments:

No comments at this time. I can not tell where the project is and where the CDOT ROW is. RLW April 8 2021

From: [Clayton Woodruff](#)
To: [Holden Pederson](#)
Subject: RE-RCU2021-00005 NCLC Rezone
Date: Thursday, April 8, 2021 12:53:42 PM

Please be cautious: This email was sent from outside Adams County

Holden

The RTD has no comments regarding the rezone of this property

Thanks,



C. Scott Woodruff
Engineer III
Regional Transportation District
1560 Broadway, Suite 700, FAS-73 | Denver, CO 80202
o 303.299.2943 | m 303-720-2025
clayton.woodruff@rtd-denver.com



April 15, 2021

Holden Pederson
Adams County Community and Economic Development
4430 South Adams County Parkway, Suite W2000A
Brighton, CO 80601

RE: NCLC Rezone, RCU2021-00005
TCHD Case No. 6861

Dear Mr. Pederson,

Thank you for the opportunity to review and comment on the rezoning to change the zone district designation from Agricultural-1 to Industrial-1 on 15.1 acres located at 2761 East 73rd Avenue. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

Air Pollution – Vehicle Fleet Recommendations

The project will increase diesel truck traffic in the area. To mitigate the environmental impact that the increased traffic will cause we recommend:

1. Restricting vehicle idling
Vehicle emissions can be reduced significantly by restricting excessive idling. The applicant can impose an idling restriction policy on all trucks that use its proposed facility, whether they are owned by the company or by contract haulers. We recommend that the applicant implement a policy to prohibit on-site diesel idling for more than five minutes.
2. Requiring vehicle inspections
State statute requires that diesel trucks be inspected for air emissions at intervals dependent on the age of the truck. To ensure that non-company owned vehicles using the facility meet state inspection criteria, the company could stipulate that contract haulers provide current proof of inspection as a condition for use of the facility.
3. Committing to purchase new, clean-burning vehicles as fleet vehicles are replaced
The age of a diesel truck is a major factor affecting its emissions, with newer diesels generally having far fewer emissions than older ones. Yet it may be less expensive to purchase used, over-the-road resale vehicles. We recommend that the applicant make a commitment to purchase only trucks that are equipped with clean-burning

engines. At a minimum, the company should agree that it will only purchase turbo-charged replacement vehicles, which burn cleaner than naturally aspirated vehicles.

4. Considering accelerated adoption of technological advances

Fleet owners can reduce emissions by retiring older vehicles at an accelerated rate, retrofitting trucks with post-combustion devices or more efficient engines, or using alternative fuels. Clean Air Fleets (CAF) is a regional public-private initiative of the Regional Air Quality Council (RAQC) to help on- and off-road diesel operators reduce diesel emissions and save money by providing information on, and funding for, retrofit technologies and advances in diesel emissions mitigation. If the applicant is interested in pursuing any of these options, we suggest the company contact the RAQC for assistance or visiting <http://cleanairfleets.org/>.

Mobile sources:

<https://www.colorado.gov/pacific/cdphe-lpha/air-pollution-mobile-sources-contacts>

Please feel free to contact me at 720-200-1537 or pmoua@tchd.org if you have any questions about TCHD's comments.



Sincerely,

Pang Moua, MPP
Land Use and Built Environment Specialist

cc: Sheila Lynch, Monte Deatrich, TCHD



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

April 15, 2021

Adams County Community and Economic Development Department
4430 South Adams County Parkway, 3rd Floor, Suite W3000
Brighton, CO 80601

Attn: Holden Pederson

Re: NCLC Rezone, Case # RCU2021-00005

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has determined **there is a conflict** with the above captioned project. Public Service Company has existing electric **transmission** lines and associated land rights as shown within this property. Any activity including grading, proposed landscaping, erosion control or similar activities involving our existing right-of-way will require Public Service Company approval. Encroachments across Public Service Company's easements must be reviewed for safety standards, operational and maintenance clearances, liability issues, and acknowledged with a Public Service Company License Agreement to be executed with the property owner. PSCo is requesting that, prior to any final approval of the rezone, it is the responsibility of the property owner/developer/contractor to have this project assigned to a Land Rights Agent for development plan review and execution of a License Agreement (via website www.xcelenergy.com/rightofway or email coloradorightofway@xcelenergy.com).

Should the project require any new natural gas or electric service, the property owner/developer/contractor must complete the application process via xcelenergy.com/InstallAndConnect.

Additional easements may need to be acquired by separate document for new facilities, be sure to contact the Designer and request that they connect with a Right-of-Way and Permits Agent in this event.

Donna George
Right of Way and Permits
Public Service Company of Colorado / Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com

From: mike@acp-h.com
To: [Holden Pederson](#)
Subject: Case # RCU2021-00005 Rezoning
Date: Friday, April 16, 2021 2:08:13 PM

Please be cautious: This email was sent from outside Adams County

I'm the property owner at Highway 224 and Clayton street.

The Development that SunCap Property Group did is very well done, the original rezoning request was approved with a Traffic signal installed at Highway 224 and Clayton street.

I would not be in favor of this new request of added 200 more semi-trailers, Unless the Traffic Signal is installed.

We can not handle that much traffic on Clayton Street, and this is only one out of the three building being used at this time.

DeMattee Industrial Park.
2600 E 74th Ave.
Denver, CO 80229

Mailing Address:
8310 E 129th Place
Thornton, CO 80602

Thanks Mike DeMattee
303-548-2554
mike@acp-h.com



Request for Comments

Case Name: NCLC Rezoning
Case Number: RCU2021-00005

March 12, 2021


The Adams County Planning Commission is requesting comments on the following application: **Zoning Map Amendment (Rezoning) to change the zone district designation from Agricultural-1 to Industrial-1 on 15.1 acres** This request is located approximately 1,000 feet east of 2761 E. 73rd Avenue. The Assessor's Parcel Numbers are 0171936300009, 0171936300010, 0171936300024, 0171936400006.

Applicant Information: KEVAN O'CONNOR, SUNCAP PROPERTY GROUP
1125 17TH ST
SUITE 800
DENVER, CO 80221

Please forward any written comments on this application to the Community and Economic Development Department at 4430 South Adams County Parkway, Suite W2000A Brighton, CO 80601-8216 or call (720) 523-6800 by 04/06/2021 in order that your comments may be taken into consideration in the review of this case. If you would like your comments included verbatim please send your response by way of e-mail to HPederson@adcogov.org.

Once comments have been received and the staff report written, the staff report and notice of public hearing dates may be forwarded to you upon request. The full text of the proposed request and additional colored maps can be obtained by contacting this office or by accessing the Adams County web site at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.


Holden Pederson
Planner II

Greg Barnes for Holden Pederson

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Mary Hodge
DISTRICT 5



Public Hearing Notification

Case Name:	NCLC Rezone
Case Number:	RCU2021-00005
Planning Commission Hearing Date:	May 13, 2021 at 6:00 p.m.
Board of County Commissioners Hearing Date:	June 15, 2021 at 9:30 a.m.

April 16, 2021

A public hearing has been set by the Adams County Planning Commission and the Board of County Commissioners to consider the following request: Zoning Map Amendment (Rezoning) to change the zone district designation from Agricultural-1 to Industrial-1 on 15.1 acres The Assessor's parcel numbers are: 0171936300009, 0171936300010, 0171936300024, 0171936400006, and the location is approximately 800 feet east of 7450 Clayton Street. The applicant is: Kevan O'Connor, SunCap Property Group, 1125 17th St, Ste 800, Denver, CO 80221

The Planning Commission meeting will be held virtually using the Zoom video conferencing software and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. For instructions on how to access the public hearing via telephone or internet, or to submit comment, please visit <http://www.adcogov.org/planning-commission> for up to date information.

The Board of County Commissioners meeting is broadcast live on the Adams County YouTube channel and members of the public will be able to submit comments prior to the start of the public hearing that will then be entered into the record. The eComment period opens when the agenda is published and closes at 4:30 p.m. the Monday prior to the noticed meeting. For instructions on how to access the public hearing and submit comments, please visit <http://www.adcogov.org/bocc> for up to date information.

These will be public hearings and any interested parties may attend and be heard. The Applicant and Representative's presence at these hearings is requested. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at www.adcogov.org/planning/currentcases.

Thank you for your review of this case.

Greg Barnes
Planner III
gjbarnes@adcogov.org
720.523.6853

BOARD OF COUNTY COMMISSIONERS

Eva J. Henry
DISTRICT 1

Charles "Chaz" Tedesco
DISTRICT 2

Emma Pinter
DISTRICT 3

Steve O'Dorisio
DISTRICT 4

Lynn Baca
DISTRICT 5

PUBLICATION REQUEST

Case Name: NCLC Rezone

Case Number: RCU2021-00005

Planning Commission Hearing Date: May 13, 2021 at 6:00 p.m.

Board of County Commissioners Hearing Date: June 15, 2021 at 9:30 a.m.

Case Manager: Greg Barnes gjbarnes@adcogov.org 720-523-6853

Request: Zoning Map Amendment (Rezoning) to change the zone district designation from Agricultural-1 to Industrial-1 on 15.1 acres

Parcel Number: 0171936300009, 0171936300010, 0171936300024, 0171936400006

Address of the Request: Approximately 800 feet east of 7450 Clayton Street

Applicant: Kevan O'Connor, Suncap Property Group, 1125 17th St, Ste 800, Denver, CO 80221

Legal Descriptions:

Parcel One:

A parcel of land in the Northeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 36, Township 2 South, Range 68 West of the 6th P.M., County of Adams, State of Colorado, more particularly described as follows:

The East 210.00 feet of the North $\frac{1}{3}$ of the Northeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 36, and

A parcel of land in the Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 36, Township 2 South, Range 68 West of the 6th, P.M., County of Adams, State of Colorado, more particularly described as follows:

The North $\frac{1}{3}$ of that portion of the Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 36 lying North and West (Westerly) of the South Platte River, EXCEPTING therefrom, the North 200 feet of the last above-described tract as conveyed to North Washington Street Water and Sanitation District in the Deed recorded September 10, 1963 in Book 1094 at Page 580, County of Adams, State of Colorado.

Parcel Two:

A parcel of land in the Northeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 36, Township 2 South, Range 68 West of the 6th P.M., County of Adams, State of Colorado, more particularly described as follows:

The East 210.00 feet of the middle $\frac{1}{3}$ of the Northeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 36; and

A parcel of land in the Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 36, Township 2 South, Range 68 West of the 6th P.M., County of Adams, State of Colorado, more particularly described as follows:

The middle $\frac{1}{3}$ of the portion of the Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 36 lying North and West (Westerly) of the South Platte River, County of Adams, State of Colorado.

Parcel Three:

A parcel of land in the Northeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of Section 36, Township 2 South, Range 68 West of the 6th P.M., County of Adams, State of Colorado, more particularly described as follows:

Beginning at the Northeast corner of the South $\frac{1}{3}$ of the Northeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ of said Section 36; Thence Southerly along the East line of the Northeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ 392.00 feet, more or less, to the Northerly right-of-way boundary of Colorado Highway No. 224 (also known as E. 74th Avenue);

Thence Westerly along the said Northerly right-of-way boundary 210.90 feet to a point;

Thence Northerly parallel to the East line of the Northeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$ 411.00 feet, more or less, to a point on the North line of the said South $\frac{1}{3}$ of the Northeast $\frac{1}{4}$ of the Southwest $\frac{1}{4}$; Thence Easterly along said North line 210.00 feet to the point of beginning, EXCEPTING therefrom any portion of the above described land that may be contained within that part as conveyed to the Department of Highways, State of Colorado in the Deed recorded July 11, 1962 in Book 997 at Page 132, County of Adams, State of Colorado.

Parcel Four:

A parcel of land in the Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 36, Township 2 South, Range 68 West of the 6th P.M., County of Adams, State of Colorado, more particularly described as follows:

The South $\frac{1}{3}$ of that portion of the Northwest $\frac{1}{4}$ of the Southeast $\frac{1}{4}$ of Section 36 lying Westerly of the South Platte River and Northerly of Colorado Highway No. 224 (also known as E. 74th Avenue) right of way, EXCEPTING therefrom any portion of the above described land that may be contained within that

part as conveyed to the Department of Highways, State of Colorado in the Deed recorded July 11, 1962 in Book 997 at Page 132, County of Adams, State of Colorado.

Virtual Meeting and Public Comment Information:

Planning Commission public hearing will be held virtually. Board of County Commissioners public hearing will be held in the Hearing Room of the Adams County Government Center, 4430 South Adams County Parkway, Brighton, CO – 1st Floor and will be able to be accessed virtually. Please visit <http://www.adcogov.org/planning-commission> and <http://www.adcogov.org/bocc> for up-to-date information on accessing the public hearings and submitting comment prior to the hearings. The full text of the proposed request and additional colored maps can be obtained by accessing the Adams County Community and Economic Development Department website at www.adcogov.org/planning/currentcases.



Referral Listing
Case Number RCU2021-00005
NCLC Rezoning

Agency	Contact Information
Adams County Attorney's Office	Christine Fitch 4430 S Adams County Pkwy Brighton CO 80601 720-523-6352 CFitch@adcogov.org
Adams County CEDD Development Services Engineer	Devt. Services Engineering 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6800
Adams County CEDD Environmental Services Division	Katie Keefe 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6986 kkeefe@adcogov.org
Adams County CEDD Right-of-Way	David Dittmer 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6837 ddittmer@adcogov.org
Adams County Community & Economic Development Department	Gina Maldonado 4430 S. Adams County Pkwy Brighton CO 80601 720-523-6823 gmaldonado@adcogov.org
Adams County Community Safety & Wellbeing	Gail Moon Neighborhood Services 4430 S. Adams County Pkwy. Brighton CO 80601 720-523-6856 gmoon@adcogov.org
Adams County Development Services - Building	Justin Blair 4430 S Adams County Pkwy Brighton CO 80601 720-523-6825 JBlair@adcogov.org
Adams County Fire Protection District	Whitney Even 7980 Elmwood Lane Denver CO 80221 303-539-6802 weven@acfpd.org

303-539-6802

Agency	Contact Information
Adams County Fire Protection District	Carla Gutierrez 7980 Elmwood Ln. Denver CO 80221 303-539-6862 cgutierrez@acfpd.org
Adams County Parks and Open Space Department	Byron Fanning 303-637-8000 bfanning@adcogov.org
Adams County Parks and Open Space Department	Aaron Clark (303) 637-8005 aclark@adcogov.org
Adams County Parks and Open Space Department	Marc Pedrucci 303-637-8014 mpedrucci@adcogov.org
ADAMS COUNTY SCHOOL DISTRICT 14	Leo Rodriguez 5291 E. 60th Avenue COMMERCE CITY CO 80022 303.853.3217 lrodriguez@adams14.org
Adams County Sheriff's Office	Rick Reigenborn (303) 654-1850 rreigenborn@adcogov.org
Adams County Sheriff's Office	- - 303-655-3283 CommunityConnections@adcogov.org
CDPHE	Sean Hackett 4300 S Cherry Creek Dr Denver CO 80246 303.692.3662 303.691.7702 cdphe_localreferral@state.co.us
CDPHE - WATER QUALITY PROTECTION SECT	Patrick Pfaltzgraff 4300 CHERRY CREEK DRIVE SOUTH WQCD-B2 DENVER CO 80246-1530 303-692-3509 cdphe_localreferral@state.co.us
CDPHE SOLID WASTE UNIT	Andy Todd 4300 CHERRY CREEK DR SOUTH HMWMD-CP-B2 DENVER CO 80246-1530 303.691.4049 cdphe_localreferral@state.co.us
Century Link, Inc	Brandyn Wiedreich 5325 Zuni St, Rm 728 Denver CO 80221 720-578-3724 720-245-0029

Agency	Contact Information
COLORADO DEPT OF TRANSPORTATION	Steve Loeffler 2000 S. Holly St. Region 1 Denver CO 80222 303-757-9891 steven.loeffler@state.co.us
COLORADO DIVISION OF WILDLIFE	Serena Rocksund 6060 BROADWAY DENVER CO 80216 3039471798 serena.rocksund@state.co.us
Colorado Division of Wildlife	Hannah Posey 6060 Broadway St. Denver CO 80216-1000 303-947-1798 hannah.posey@state.co.us
COMCAST	JOE LOWE 8490 N UMATILLA ST FEDERAL HEIGHTS CO 80260 303-603-5039
MAPLETON SCHOOL DISTRICT #1	CHARLOTTE CIANCIO 591 E. 80TH AVE DENVER CO 80229 303-853-1015 charlotte@mapleton.us
METRO WASTEWATER RECLAMATION	CRAIG SIMMONDS 6450 YORK ST. DENVER CO 80229 303-286-3338 CSIMMONDS@MWRD.DST.CO.US
North Washington Street Water & San Dist	Mike DeMattee 3172 E 78th Ave Denver CO 80229 303-288-6664 mdemattee@nwswsd.com
NS - Code Compliance	Kerry Gress kgress@adcogovorg 720.523.6832 kgress@adcogov.org
NS - Code Compliance	Gail Moon gmoon@adcogov.org 720.523.6833 gmoon@adcogov.org
NS - Code Compliance	Joaquin Flores 720.523.6207 jflores@adcogov.org

Agency	Contact Information
REGIONAL TRANSPORTATION DIST.	Engineering RTD 1560 BROADWAY SUITE 700 DENVER CO 80202 303-299-2439 engineering@rtd-denver.com
SOUTH ADAMS CO. FIRE DISTRICT	Randall Weigum 6050 Syracuse Street COMMERCE CITY CO 80022 720-573-9790 FAX: 303-288-5977 rweigum@sacfd.org
SOUTH ADAMS CO. FIRE DISTRICT	- Fire Prevention Division 6050 Syracuse Street Commerce City CO 80022 303-288-0835 planreview@sacfd.org
South Adams County Water & San Dist	Abel Moreno 10200 E 102nd Ave Henderson CO 80022 720-206-0590 amoreno@sacwspd.org
SOUTH ADAMS COUNTY WATER AND SANITATION DISTRICT	NELSON JEFF 10200 E. 102ND AVENUE HENDERSON CO 80640 720.206.0593 720.530.8396 JNELSON@SACWSD.ORG
TRI-COUNTY HEALTH DEPARTMENT	Sheila Lynch 6162 S WILLOW DR, SUITE 100 GREENWOOD VILLAGE CO 80111 720-200-1571 landuse@tchd.org
TRI-COUNTY HEALTH DEPARTMENT	MONTE DEATRICH 4201 E. 72ND AVENUE SUITE D COMMERCE CITY CO 80022 (303) 288-6816 mdeatrich@tchd.org
Tri-County Health: Mail CHECK to Sheila Lynch	Tri-County Health landuse@tchd.org .
WELBY CITIZEN GROUP	NORMA FRANK 7401 RACE STREET DENVER CO 80229 (303) 288-3152
Xcel Energy	Donna George 1123 W 3rd Ave DENVER CO 80223 303-571-3306 Donna.L.George@xcelenergy.com

Agency

Contact Information

Xcel Energy

Donna George
1123 W 3rd Ave
DENVER CO 80223
303-571-3306
Donna.L.George@xcelenergy.com

ADAMS COUNTY
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

WELBY CLAYTON STREET LLC
OR CURRENT RESIDENT
2690 E 78TH AVE
DENVER CO 80229

BOARD OF COUNTY COMMISSIONERS OF
ADAMS COUNTY
4430 SOUTH ADAMS COUNTY PKWY
BRIGHTON CO 80601-8204

CURRENT RESIDENT
3020 E 78TH AVE
DENVER CO 80229-6106

BRANNAN SAND AND GRAVEL COMPANY LLC
2500 E BRANNAN WAY
DENVER CO 80229

CITY OF THORNTON
9500 CIVIC CENTER DR
THORNTON CO 80229

DRIPWATER LLC
6659 S PINEY CREEK CIR
CENTENNIAL CO 80016-1107

MENDOZA PROPERTIES LLC
701 W 64TH AVE
DENVER CO 80221-2883

NORTH WASHINGTON WATER
AND SANITATION DISTRICT
3172 E 78TH AVE
DENVER CO 80229

PUBLIC SERVICE CO OF COLORADO
C/O PROPERTY AND LOCAL TAXES
PO BOX 1979
DENVER CO 80201-1979

PUBLIC SERVICE COMPANY
PO BOX 1979
DENVER CO 80201-1979

NORTH WASHINGTON WATER
AND SANITATION DISTRICT
OR CURRENT RESIDENT
3172 E 78TH AVE
DENVER CO 80229

CERTIFICATE OF POSTING



I, J. Gregory Barnes do hereby certify that I posted the subject property on April 22, 2021 in accordance with the requirements of the Adams County Development Standards and Regulations.

A handwritten signature in black ink, reading 'J. Gregory Barnes'.

J. Gregory Barnes

NCLC Rezone

RCU2021-00005

Approx. 1,000 feet to the
east of 7450 Clayton Street

June 15, 2021

Board of County Commissioners Public Hearing
Community and Economic Development Department

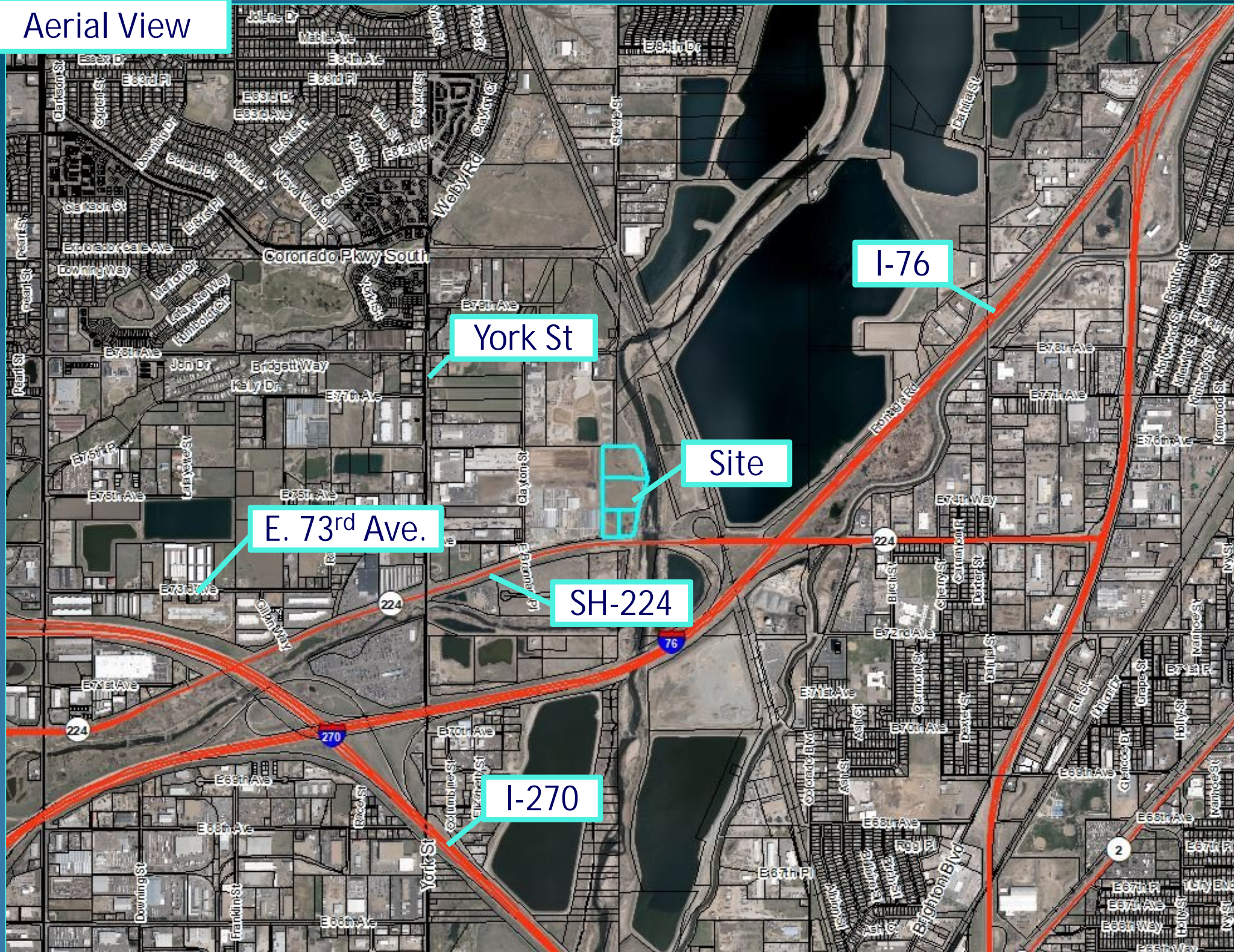
Case Manager: Greg Barnes



Request

- Rezoning:
 - 4 parcels
 - Approximately 15 acres
 - Current: Agricultural-1
 - Proposed: Industrial-1

Aerial View



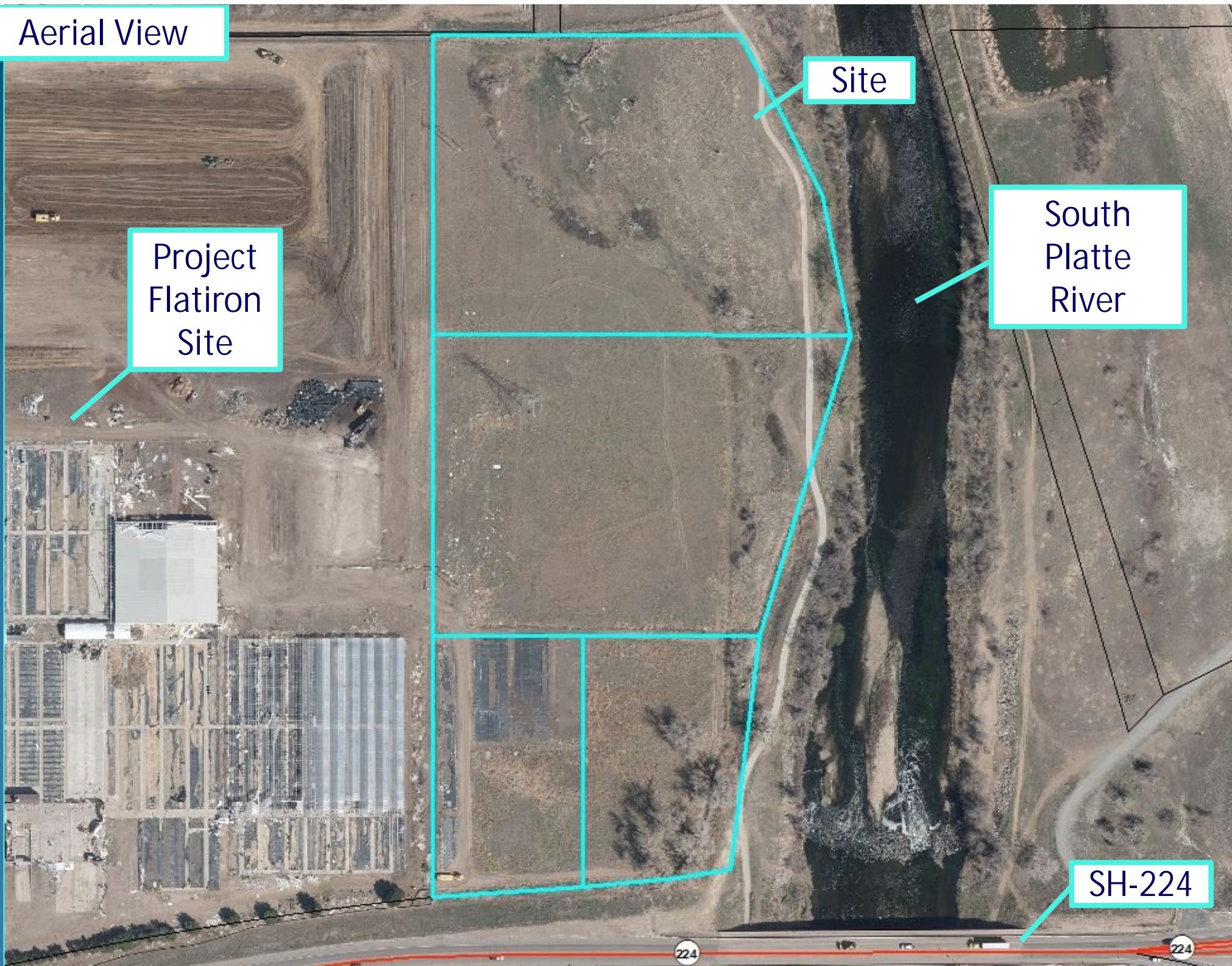
Aerial View

Project
Flatiron
Site

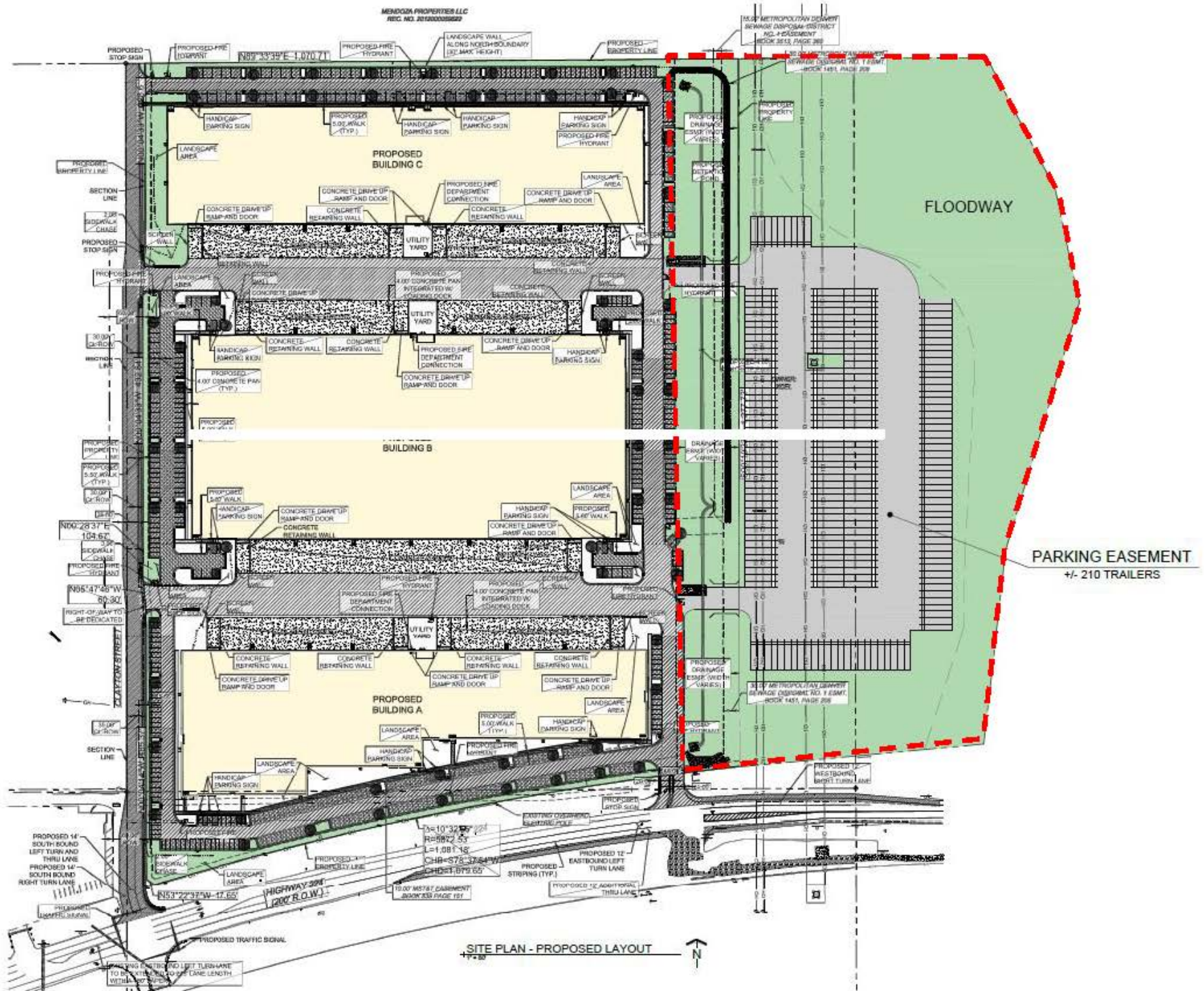
Site

South
Platte
River

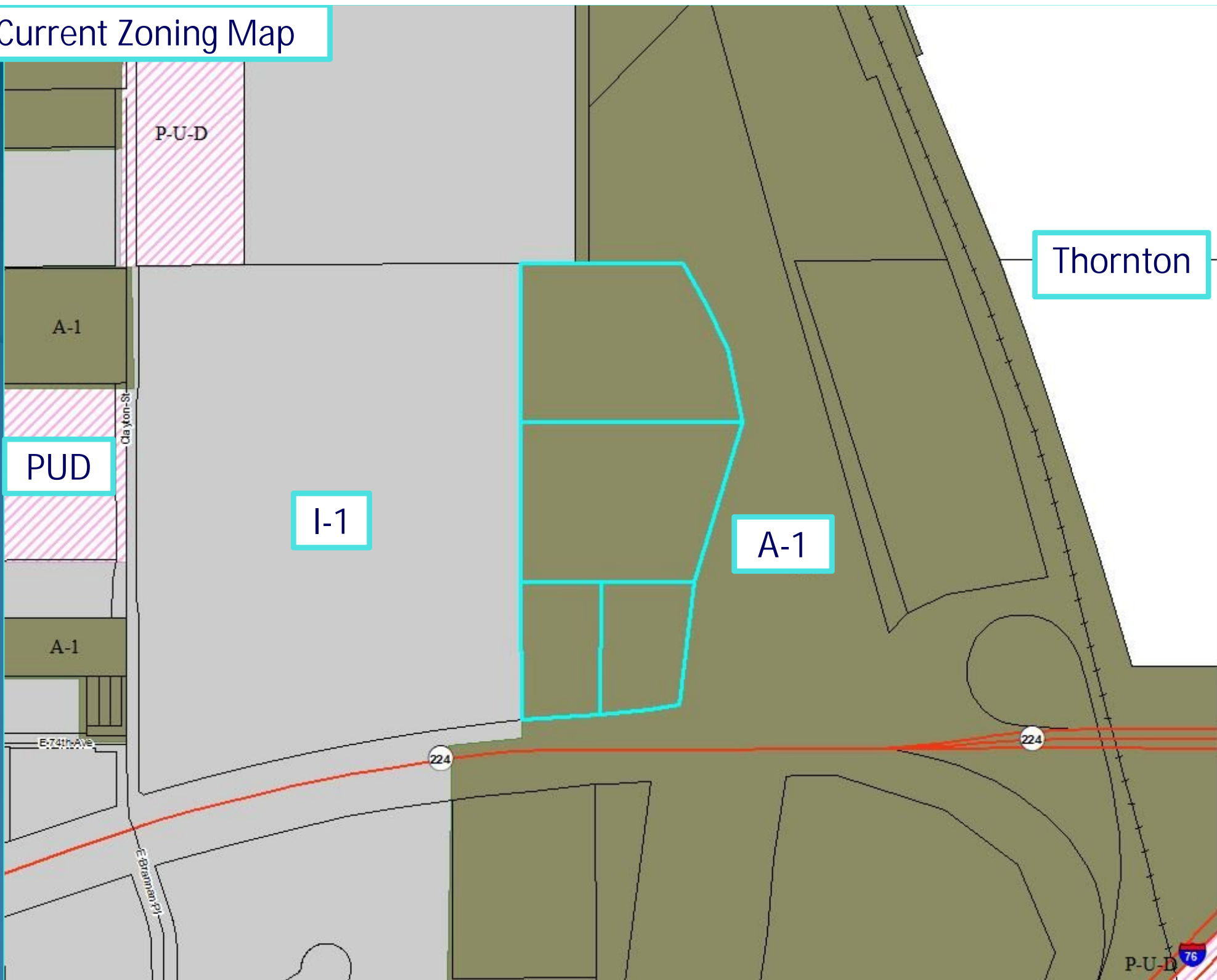
SH-224



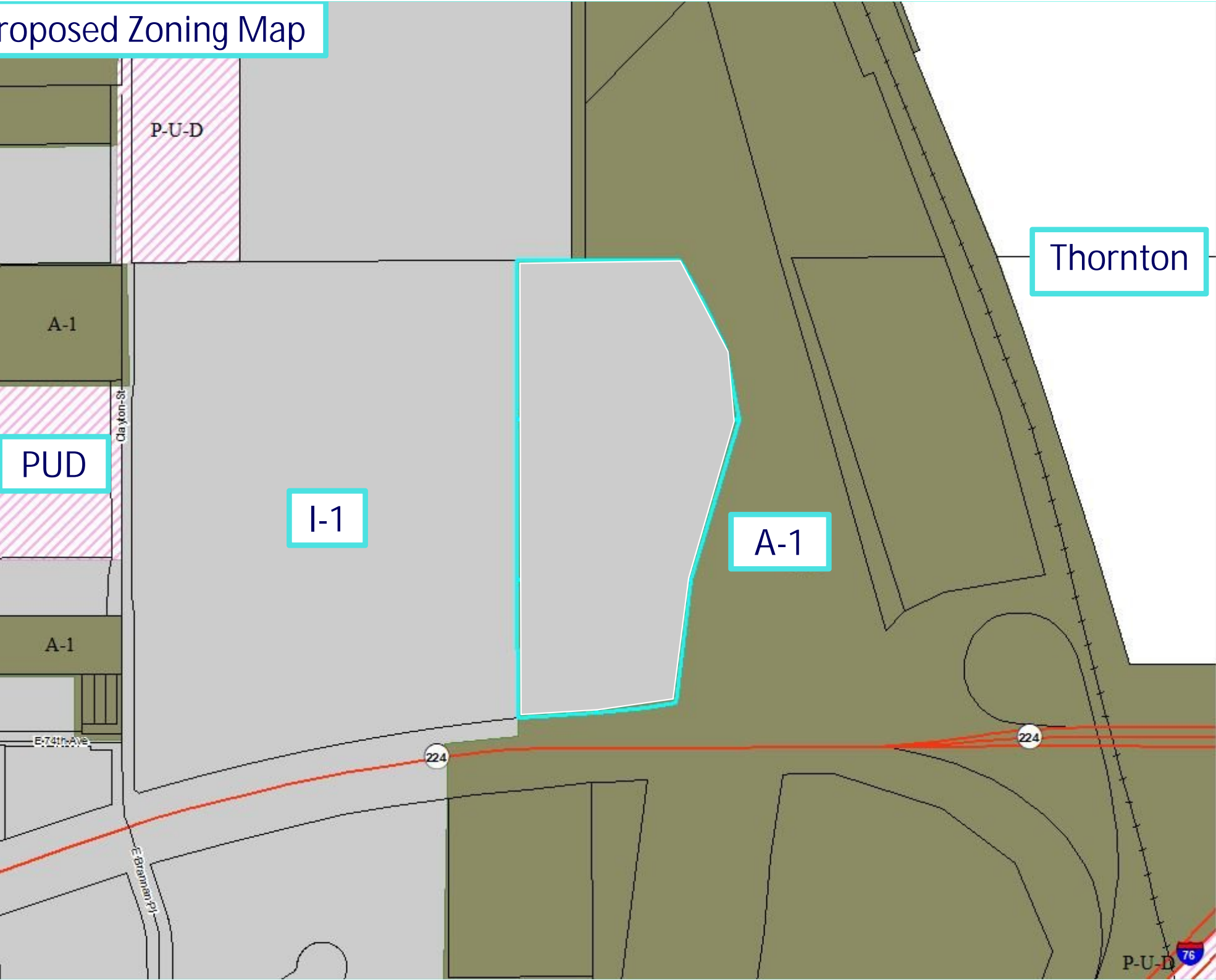
Applicant's Conceptual Site Plan



Current Zoning Map



Proposed Zoning Map



Future Land Use Welby Subarea Plan

Mixed-Use Neighborhood

Mixed-Use Employment

Parks &
Open Space

Industrial

Municipal Area

Clayton St

E 74th Ave

E Brannen Pl

224

224

76



Criteria for Rezoning Approval

Section 2-02-15-06-02

- Consistent with Comprehensive Plan
- Consistent with Purpose of Regulations
- Complies with Zone District Standards
- Compatible & Harmonious to Surrounding Area

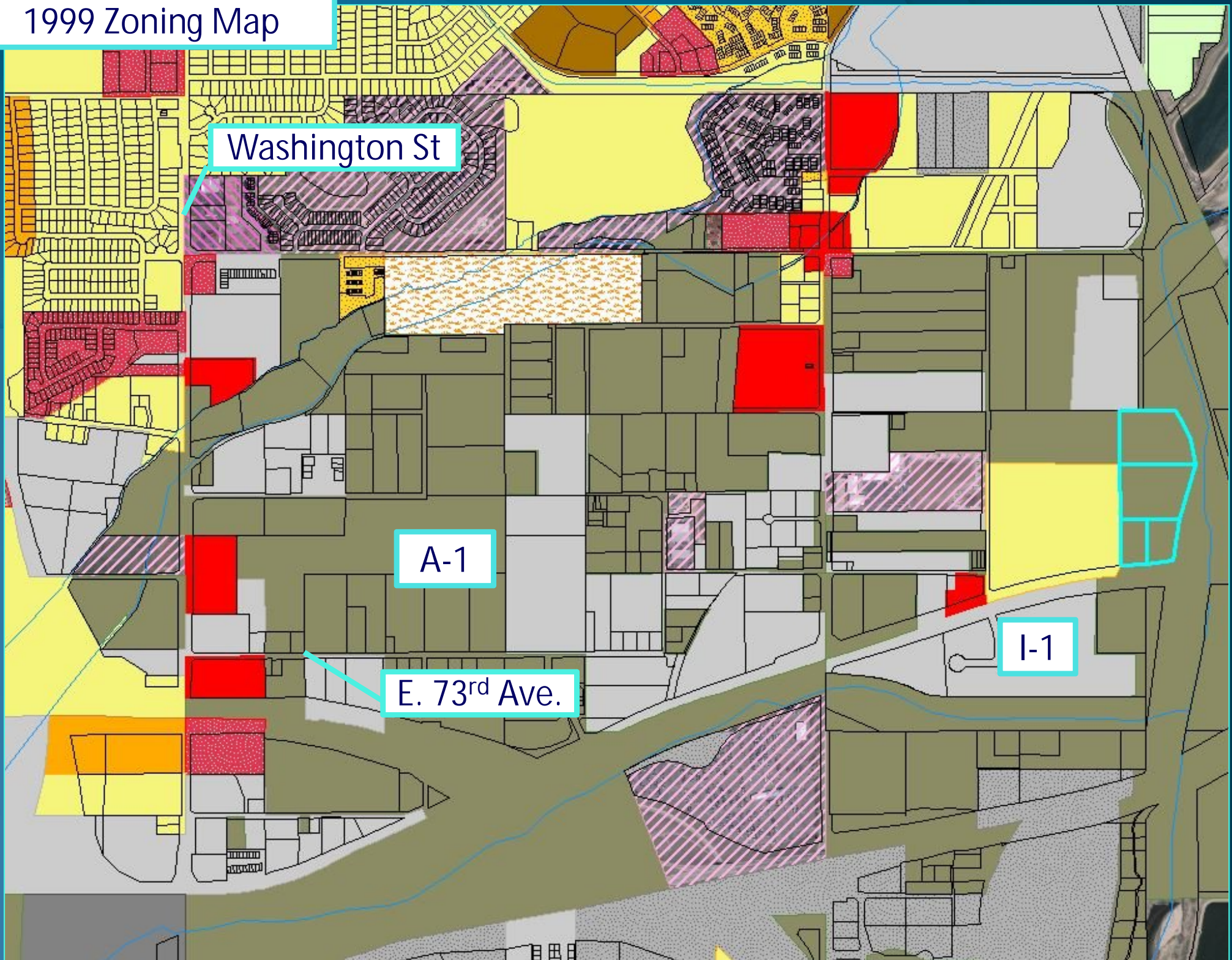
1999 Zoning Map

Washington St

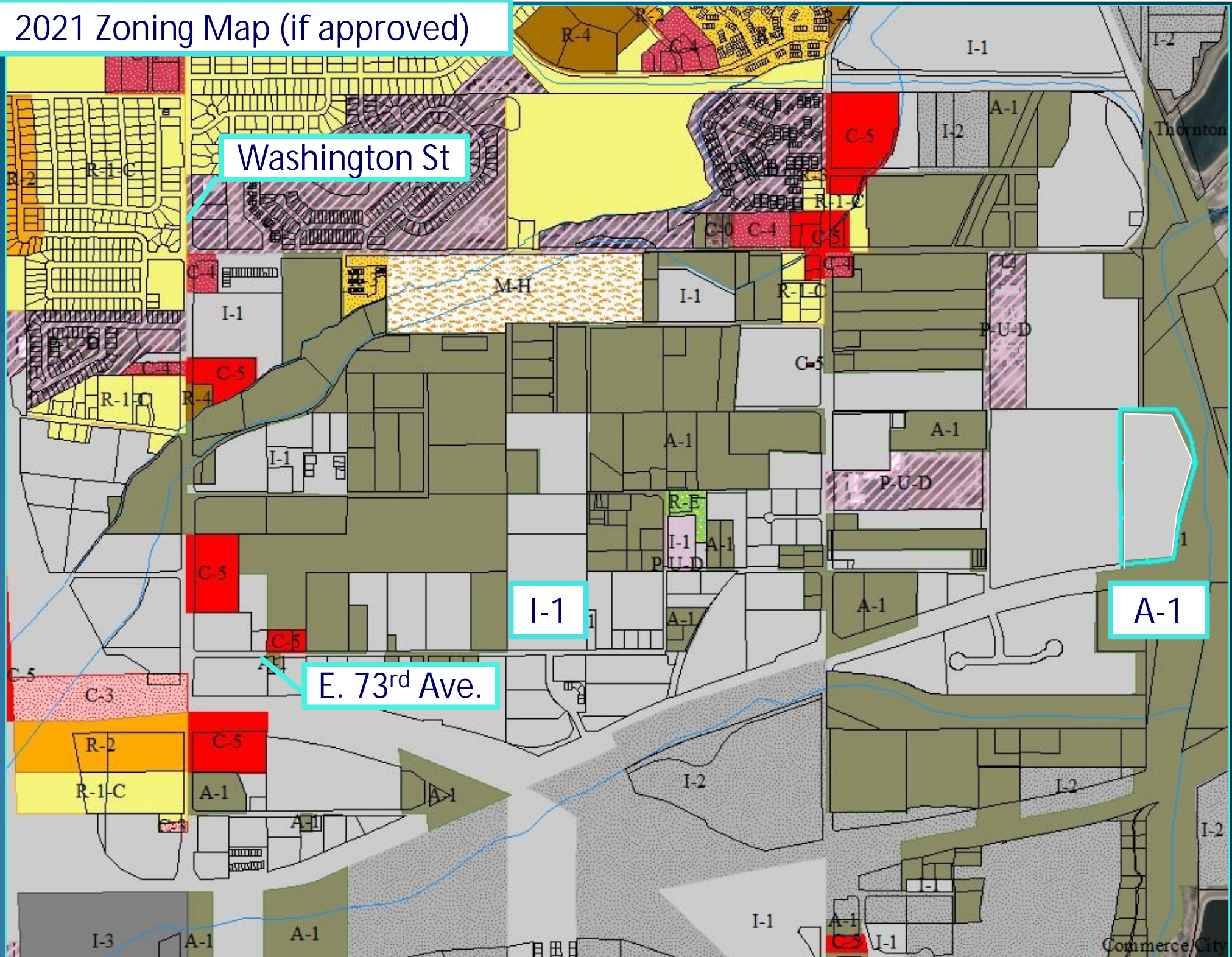
A-1

E. 73rd Ave.

I-1



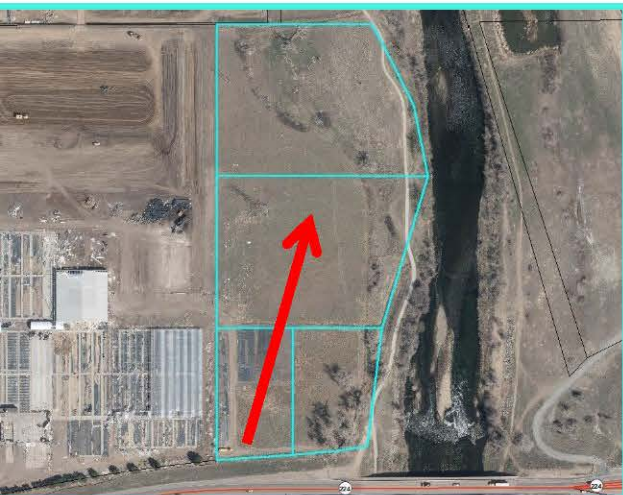
2021 Zoning Map (if approved)



Development Standards

I-1 Zone District

- Minimum Lot Size:
 - 1 acre (required)
 - 1.9 acres (min. proposed)
- Minimum Lot Width:
 - 100 ft. (required)
 - 215 ft. (proposed)
- Minimum Setbacks:
 - 25 ft. (front)
 - 5 ft. (side)
 - 15 ft. (rear)
 - 75 ft. (highway)









Referral Period

Notices Sent*	Comments Received
12	1

1,000-foot referral distance

Concern with the impact of traffic at the intersection of Clayton and State Highway 224.

External Referral Agencies:

No objections to rezoning; although some had concern that would need to be addressed through the permitting process.

Planning Commission Update

May 13, 2021

- Applicant had no objection to staff report and presentation
- One public comment related to traffic and signalization of nearby intersection
- Voted to approve (7-0)

Planning Commission Recommendation

(PRC2021-00005 – NCLC Rezone)

- Consistent with Comprehensive Plan
- Complies with minimum zone district standards
- Compatible with surrounding area

Approval of the rezoning with 4 findings-of-fact and 1 note

Recommended Note:

1. The applicant shall comply with all building, zoning, fire, engineering, and health codes and regulations during the development of the subject site.



Memorandum

To: Board of County Commissioners
From: J. Gregory Barnes, Planner III *JGB*
Subject: NCLC Rezone (RCU2021-00005)
Date: May 28, 2021

If the Board of County Commissioners does not concur with the Staff recommendation of Approval, the following findings may be adopted as part of a decision of Denial:

ALTERNATIVE RECOMMENDED FINDINGS FOR DENIAL

1. The Zoning Map amendment is inconsistent with the Adams County Comprehensive Plan.
2. The Zoning Map amendment is inconsistent with the purposes of these standards and regulations.
3. The Zoning Map amendment will not comply with the requirements of these standards and regulations
4. The Zoning Map amendment is incompatible with the surrounding area, not harmonious with the character of the neighborhood, not detrimental to the immediate area, not detrimental to the future development of the area, and not detrimental to the health, safety, or welfare of the inhabitants of the area and the County.